

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION

FOR

RDM GROUP, LLC

NEELYTOWN BUSINESS PARK DEVELOPMENT

SECTION 36, BLOCK 1, LOTS 33/11.221/11.23/11.212/11.211/11.11/10.1

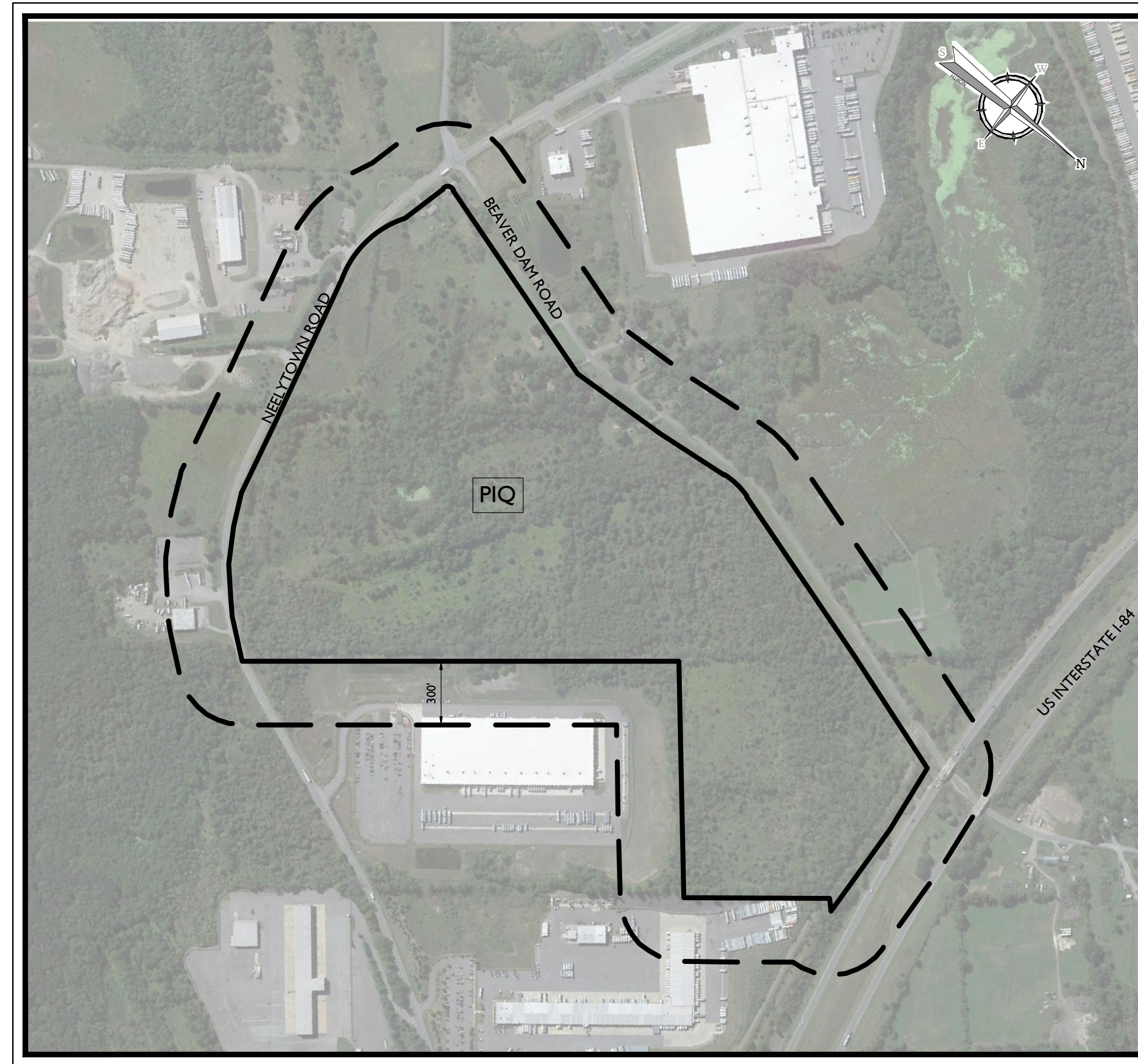
SECTION 33, BLOCK 1, LOT 91

TOWN OF MONTGOMERY

ORANGE COUNTY

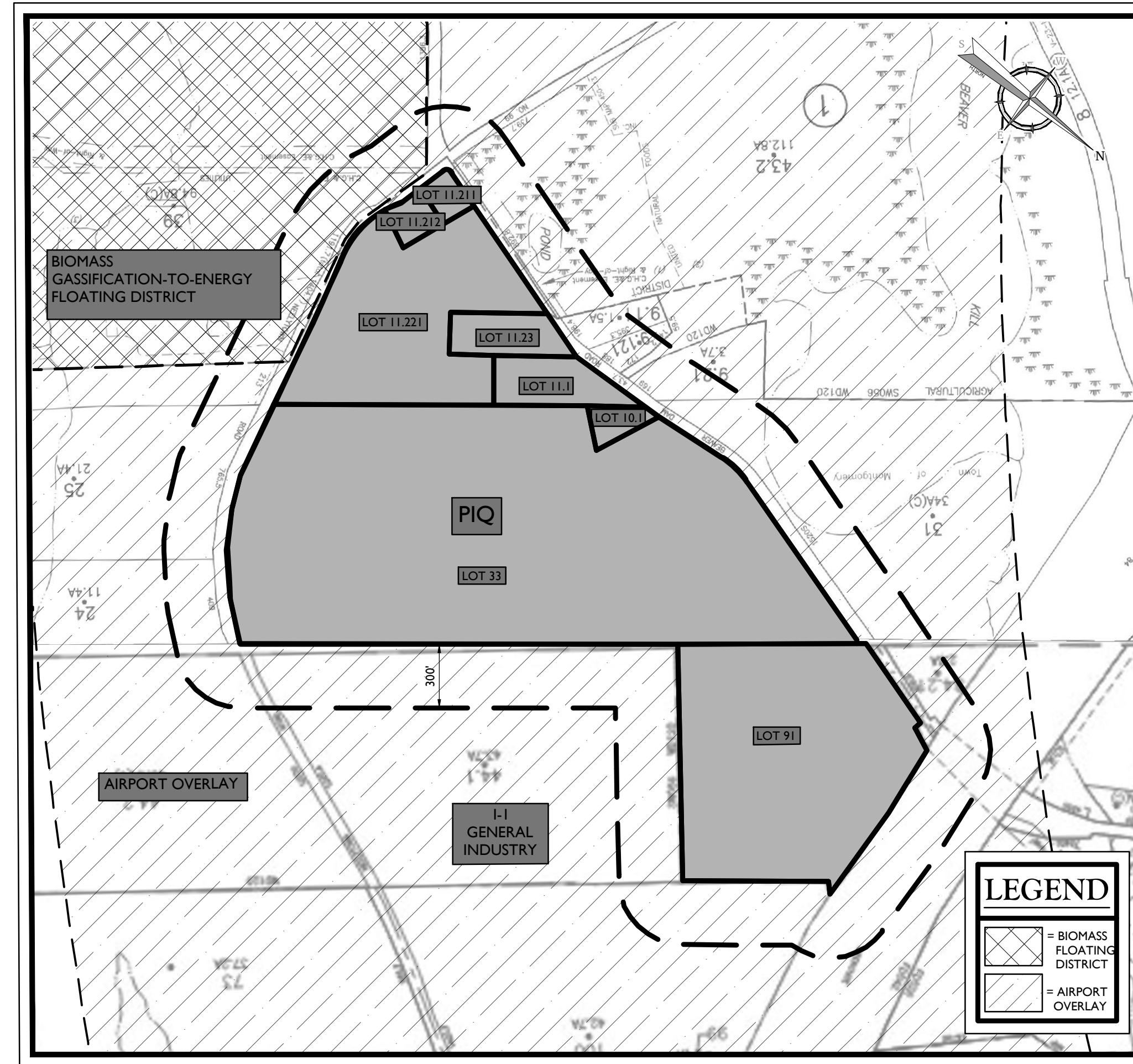
NEW YORK

PROPERTIES WITHIN 300'
(PROPERTY LIST TO BE PROVIDED BY THE TOWN OF MONTGOMERY)



AERIAL MAP

SOURCE: GOOGLE EARTH
SCALE: 1" = 500'



TAX & ZONING MAP

SOURCE: ORANGE COUNTY WEBSITE
SCALE: 1" = 500'

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PREPARED BY

COLLIERS ENGINEERING & DESIGN, CT, P.C.
50 CHESTNUT RIDGE ROAD, SUITE 101
MONTVALE, NJ 07645

Colliers

Engineering & Design

www.colliersengineering.com

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FOR RDM GROUP LLC

TAX LOTS:
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36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design

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Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, P.C.
ENGINEERING AND LAND SURVEYING PA.
#201200000000000000000000

APPROVED BY THE PLANNING BOARD OF THE TOWN OF MONTGOMERY AT THE REGULAR MEETING OF _____ DATE _____

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
ENGINEER _____ DATE _____

SHEET NUMBER
1 of 42

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

DEMOLITION NOTES:

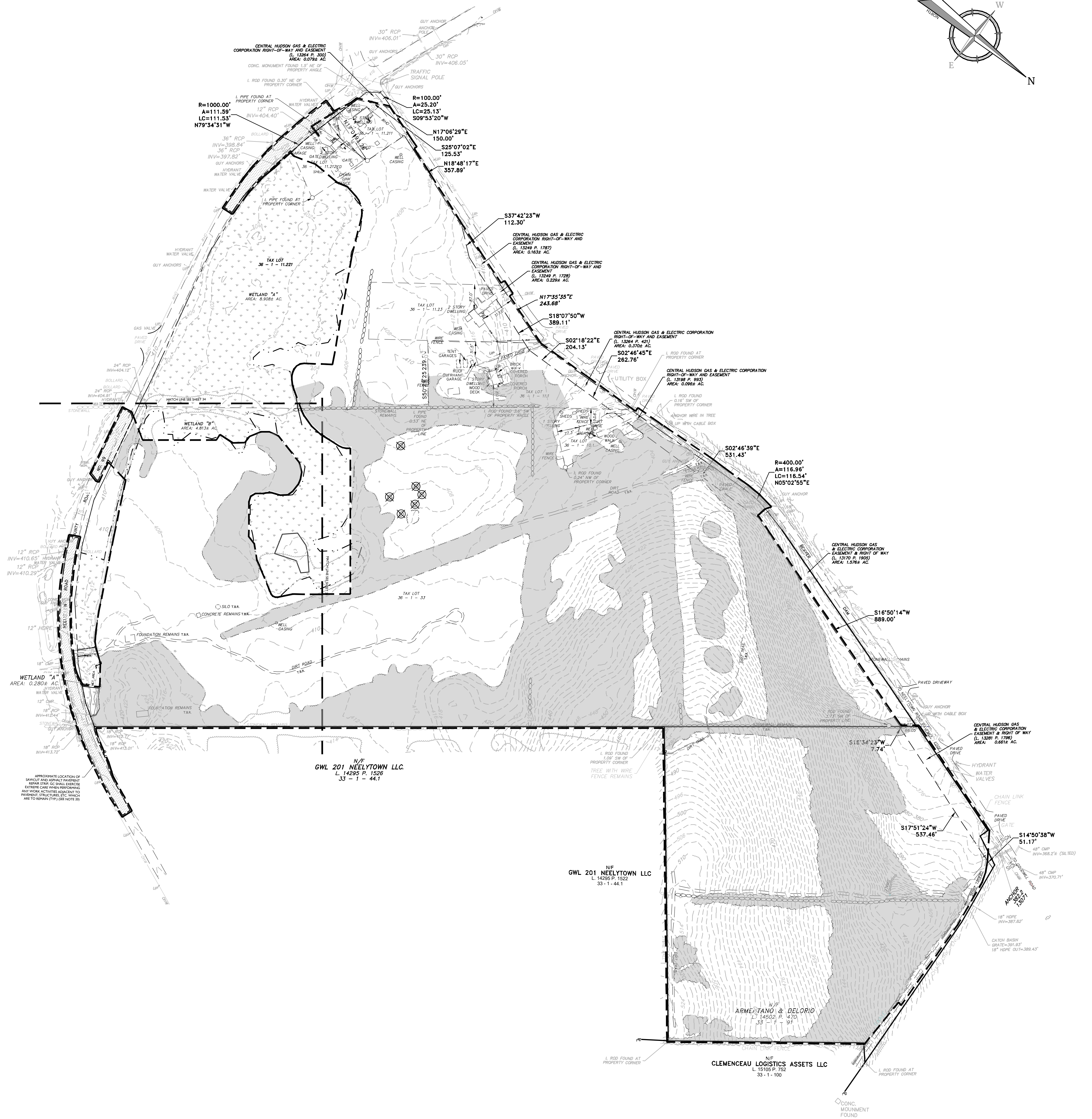
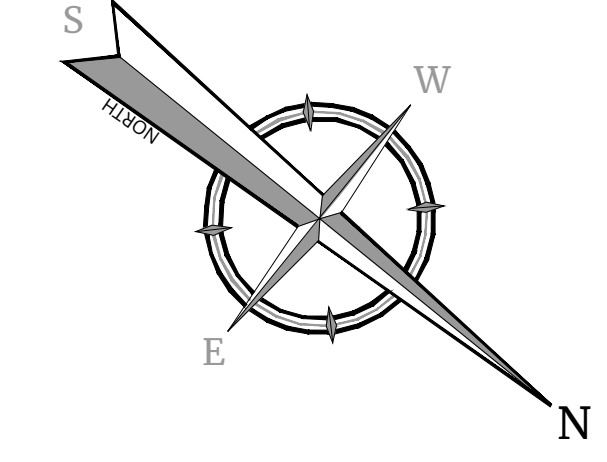
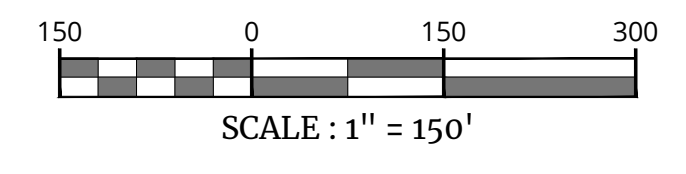
- 1. THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
A. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'SURVEY PREPARED FOR RDM GROUP, LLC, SECTION 36, BLOCK 1, LOT 37, PREPARED BY LANC & TULLY P.C., SHEET 1 OF 1, DATED 3/12/21.
B. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'ALTANSPS LAND TITLE SURVEY & TOPOGRAPHIC MAPPING PLAN, SECTION 33, BLOCK 1, LOT 91, SHEET 1 OF 1, PREPARED BY ENGINEERING & SURVEYING PROPERTIES, LAST REVISED 5/20/21.
C. REPORT OF GEOTECHNICAL INVESTIGATION FOR MID-HUDSON INDUSTRIAL PARK, PREPARED BY KEVIN L. PATTON, DATED 04/20/23.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, 160-CR-ART 733) AS AMENDED.
3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC., WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICES REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING 'OFF-PEAK' HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE 'OFF-PEAK' SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
6. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
7. THE CONTRACTOR SHALL PROVIDE ALL THE 'MEANS AND METHODS' NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
8. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
9. CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
10. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
11. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT RWMA 'WALKWAY ON UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
12. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
13. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
14. THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR 'PRE-DEMOLITION' CONDITION.
15. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
16. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
18. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
19. CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
20. GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE ABOVE-MENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

TREE CLEARING NOTES:

- 1. DUE TO THE PRESENCE OF POTENTIAL ROOTS AND A WOODED AREA OF VARIABLE CANOPY CLOSURE, THE INDIANA BAT HAS THE POTENTIAL TO OCCUR WITHIN THE PROJECT SITE. TREE CLEARING SHOULD BE CONDUCTED FROM OCTOBER 31 TO MARCH 31 TO MINIMIZE THE LIKELIHOOD OF ADVERSE IMPACTS TO THE INDIANA BAT SPECIES.
2. BRIGHT FLAGGING/FENCING SHALL BE USED TO DEMARCATATE TREES TO BE CLEARED.

LEGEND

- - - - - = ITEMS TO BE REMOVED
- - - - - = ITEMS TO REMAIN
- - - - - = LIMIT OF DISTURBANCE
T.B.R. = TO BE REMOVED
[Symbol] = SAWCUT AND ASPHALT PAVEMENT REPAIR
[Symbol] = WOODED AREA TO BE REMOVED
[Symbol] = TREE TO BE REMOVED



N/F GWL 201 NEELYTOWN LLC L. 14295 P. 1526 33-1-44.1

N/F GWL 201 NEELYTOWN LLC L. 14295 P. 1522 33-1-44.1

N/F ARMETANO & DELORIO L. 14502 P. 470 33-1-97
N/F CLEMENCEAU LOGISTICS ASSETS LLC L. 15100 P. 752 33-1-100

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

TAX LOTS: 36-1-33, 36-1-11.221, 36-1-11.23, 36-1-11.212, 36-1-11.211, 36-1-11.1, 36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK

Colliers Engineering & Design 50 Chestnut Ridge Road, Suite 101, Montvale, NJ 07645 Phone: 845.352.0411

SCALE: AS SHOWN DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC PROJECT NUMBER: 21000327A DRAWING NAME: C-DEMO

SHEET TITLE: OVERALL EXISTING CONDITIONS & DEMOLITION PLAN

DEMOLITION NOTES:

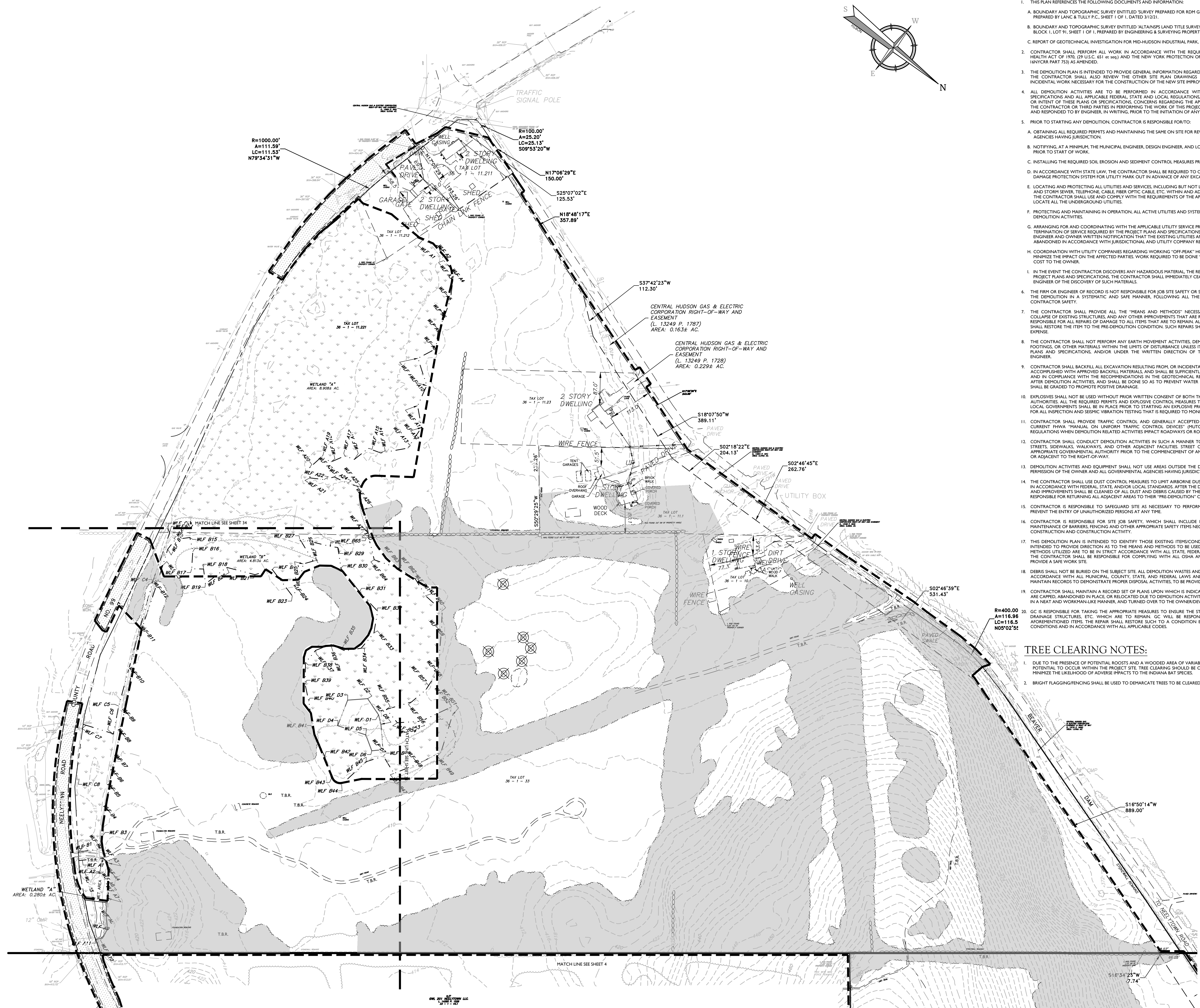
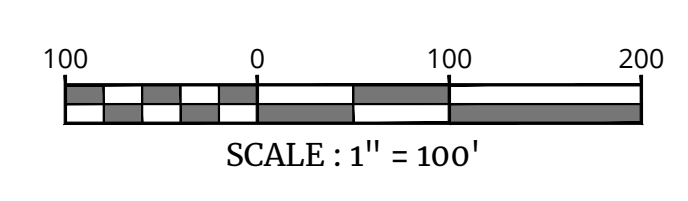
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 - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PREVENT THE USE OF MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
 - CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE OR BURIED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
 - GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE ABOVEMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

TREE CLEARING NOTES:

- DUE TO THE PRESENCE OF POTENTIAL ROOTS AND A WOODED AREA OF VARIABLE CANOPY CLOSURE, THE INDIANA BAT HAVE THE POTENTIAL TO OCCUR WITHIN THE PROJECT SITE. TREE CLEARING SHOULD BE CONDUCTED FROM OCTOBER 31 TO MARCH 31 TO MINIMIZE THE LIKELIHOOD OF ADVERSE IMPACTS TO THE INDIANA BAT SPECIES.
- BRIGHT FLAGGING/FENCING SHALL BE USED TO DEMARCATTE TREES TO BE CLEARED.

LEGEND

- - - - - = ITEMS TO BE REMOVED
- — — — — = ITEMS TO REMAIN
- - - - - = LIMIT OF DISTURBANCE
- T.B.R. = TO BE REMOVED
- ▨ = SAWCUT AND ASPHALT PAVEMENT REPAIR
- ▩ = WOODED AREA TO BE REMOVED
- ⊗ = TREE TO BE REMOVED



PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design

50 Chestnut Ridge Road,
Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, LLC
REGISTERED PROFESSIONAL ENGINEERS
REGISTERED LAND SURVEYORS IN NJ
REGISTERED PROFESSIONAL SURVEYORS IN NY

SCALE: AS SHOWN DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC
PROJECT NUMBER: 210003274 DRAWING NAME: C-DEM0

SHEET TITLE:
EXISTING CONDITIONS &
DEMOLITION PLAN - SOUTH



DEMOLITION NOTES:

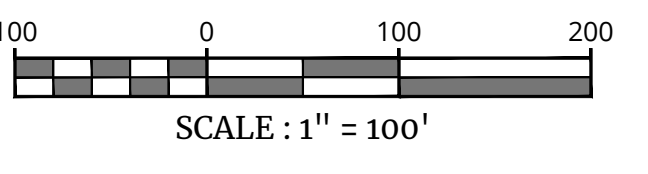
1. THIS PLAN REFERENCE THE FOLLOWING DOCUMENTS AND INFORMATION:
 - A. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'SURVEY PREPARED FOR RDM GROUP, LLC, SECTION 36, BLOCK 1, LOT 33, PREPARED BY LANC & TULLY P.C., SHEET 1 OF 1, DATED 3/1/21.
 - B. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'ALTANSPS LAND TITLE SURVEY & TOPOGRAPHIC MAPPING PLAN, SECTION 33, BLOCK 1, LOT 31, SHEET 1 OF 1, PREPARED BY ENGINEERING & SURVEYING PROPERTIES, LAST REVISED 5/20/21.
 - C. REPORT OF GEOTECHNICAL INVESTIGATION FOR MID-HUDSON INDUSTRIAL PARK, PREPARED BY KEVIN L. PATTON, DATED 04/20/23.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651 et seq.) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, HAYTOR PART 733) AS AMENDED.
3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
 - A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
 - B. NOTIFYING AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC., WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICES REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
6. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
8. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
9. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
11. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
12. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
13. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
14. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
15. THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
16. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
19. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
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21. GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE ABOVE-MENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

TREE CLEARING NOTES:

1. DUE TO THE PRESENCE OF POTENTIAL ROOSTS AND A WOODED AREA OF VARIABLE CANOPY CLOSURE, THE INDIANA BAT HAVE THE POTENTIAL TO OCCUR WITHIN THE PROJECT SITE. TREE CLEARING SHOULD BE CONDUCTED FROM OCTOBER 31 TO MARCH 31 TO MINIMIZE THE LIKELIHOOD OF ADVERSE IMPACTS TO THE INDIANA BAT SPECIES.
2. BRIGHT FLAGGING/FENCING SHALL BE USED TO DEMARCATTE TREES TO BE CLEARED.

LEGEND

- = ITEMS TO BE REMOVED
- = ITEMS TO REMAIN
- - - = LIMIT OF DISTURBANCE
- = TO BE REMOVED
- T.B.R. = TO BE REMOVED
- ▨ = SAWCUT AND ASPHALT PAVEMENT REPAIR
- ▤ = WOODED AREA TO BE REMOVED
- ⊗ = TREE TO BE REMOVED



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REV	DATE	DRAWN BY	DESCRIPTION

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design
50 Chestnut Ridge Road, Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, L.L.C.
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN PROFESSIONAL JURISDICTION

SCALE: AS SHOWN DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC
PROJECT NUMBER: 21000327A DRAWING NAME: C-DEMO

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN - NORTH

SHEET NUMBER:
4 of 42

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

ZONING TABLE

TABLE OF BULK REQUIREMENTS ZONE: I-1 DISTRICT (GENERAL INDUSTRY) TABLE with columns: ITEM, PERMITTED (1), PROPOSED (LOT 1), PROPOSED (LOT 2), PROPOSED (LOT 3), COMPLIES

TABLE OF SPECIAL USE REQUIREMENTS USE: INTENSIVE WAREHOUSE TABLE with columns: ITEM, REQUIREMENT, PROVIDED, COMPLIES

LOT AREA REDUCTION TABLE TABLE with columns: LOT, DESCRIPTION, REDUCTION, AREA

- 1. THE BULK TABLE REQUIREMENTS HAVE BEEN UPDATED BASED ON THE ZONING LAW AS AMENDED... 2. THE PROJECT SITE IS LOCATED WITHIN THE (I-1) GENERAL INDUSTRY DISTRICT...

AS DESIGNATED IN LOCAL LAW 10 OF 2022, PER §235.9-B A PERFORMANCE BUFFER IS TO BE PROVIDED ALONG THE OUTER PERIMETER OF A DEVELOPMENT SITE OR IN ANY OTHER AREA DEEMED NECESSARY AND APPROPRIATE BY THE PLANNING BOARD...

GENERAL NOTES

- 1. THE SUBJECT PROPERTIES ARE KNOWN AS SECTION 36, BLOCK 1, LOTS 33, 11.221, 11.23, 11.212, 11.211, 11.1, 10.1, AND SECTION 33, BLOCK 1, LOT 91 AS SHOWN ON SECTIONS 33 AND 36 OF THE OFFICIAL TAX MAP OF THE TOWN OF MONTGOMERY, ORANGE COUNTY, NEW YORK, LAST REVISED FEBRUARY 28, 2018.

PARKING & LOADING REQUIREMENT:

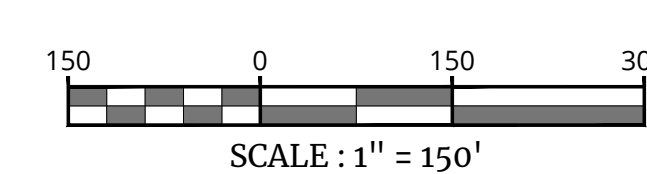
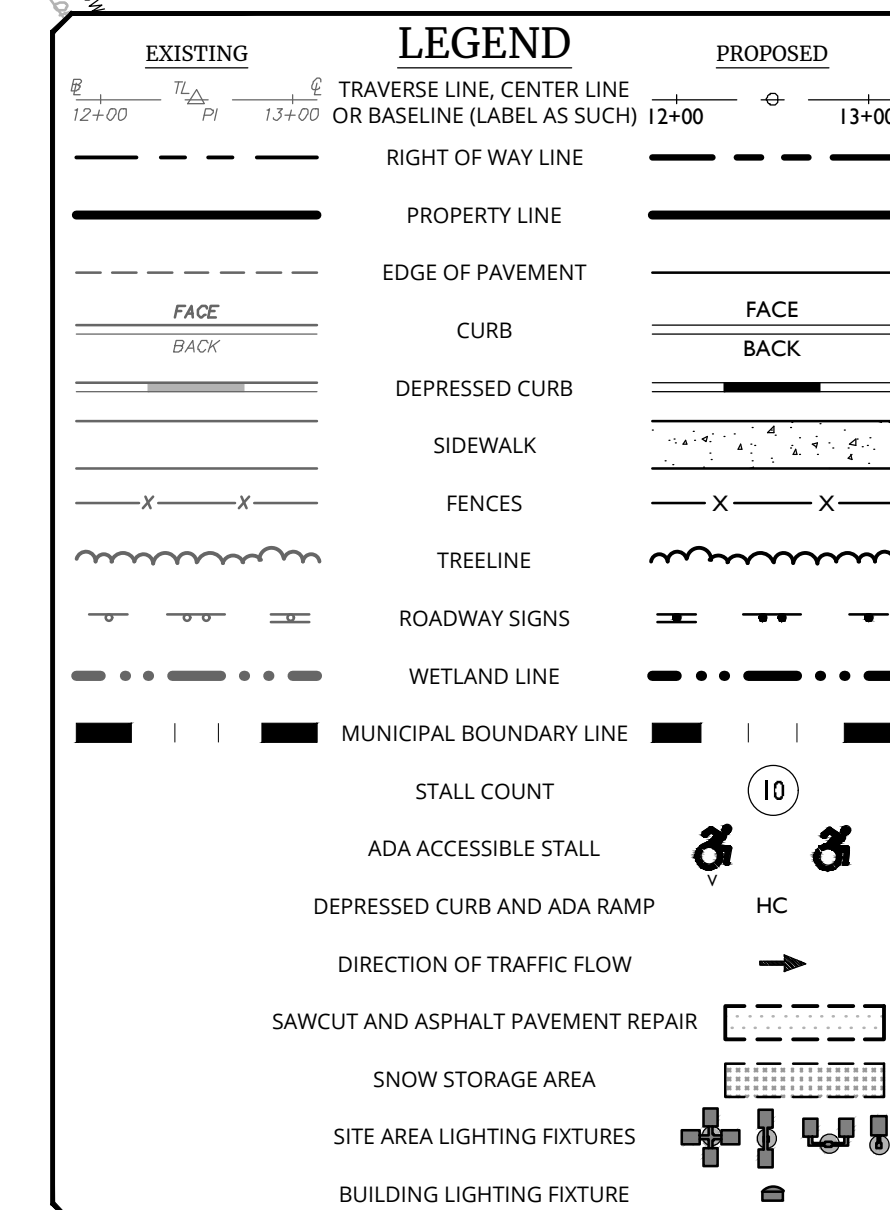
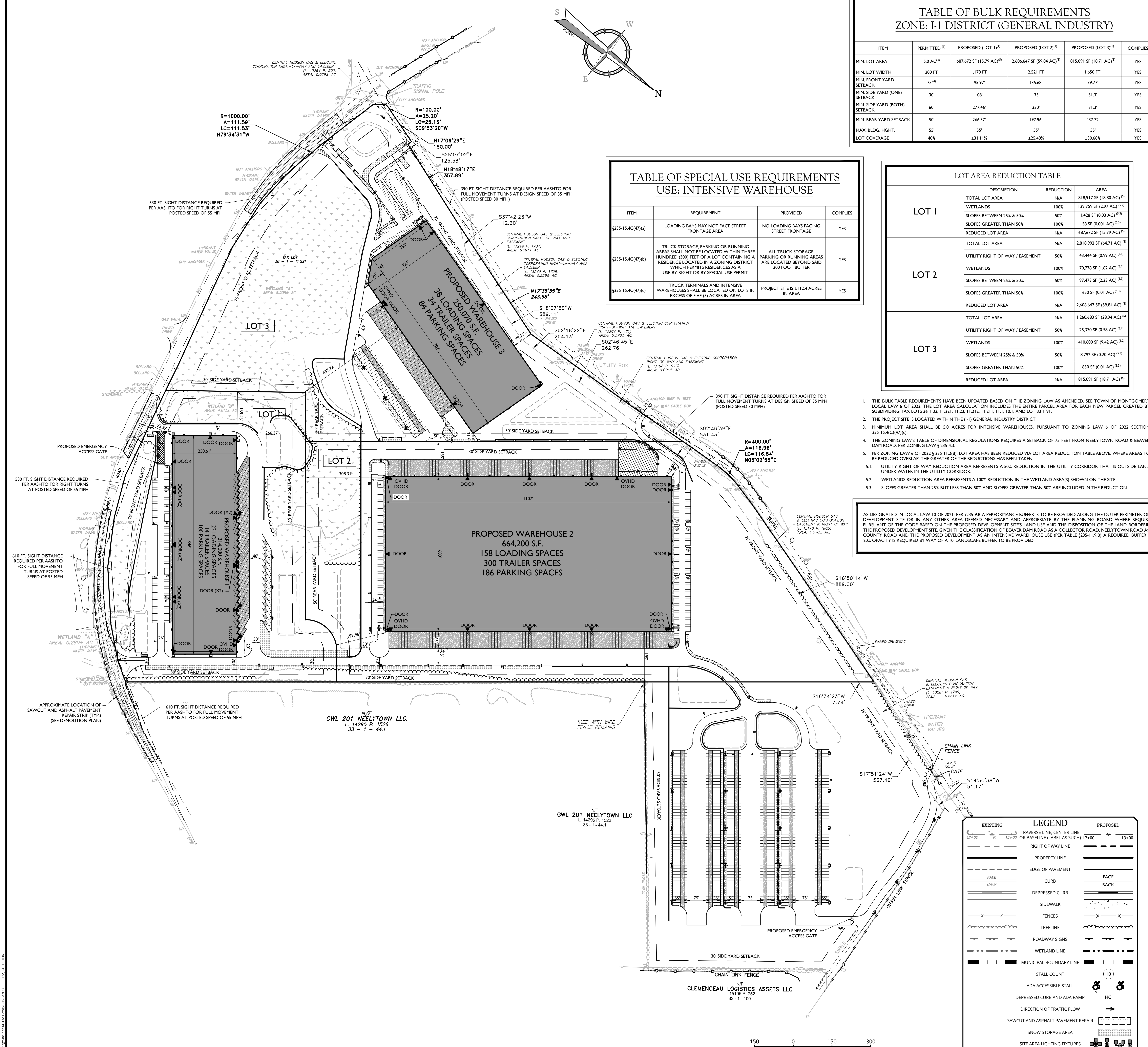
- MINIMUM STALL SIZE (PARKING STALL): 9' X 20' (COMPLIES) MINIMUM STALL SIZE (TRUCK LOADING SPACE): 12' W X 25' L X 14' H (COMPLIES)

WETLANDS DISTURBANCE:

APPROXIMATE AREA OF USACE WETLAND DISTURBANCE = +11,326 SF (0.26 ACRES) (SITE DRIVEWAYS ON NEELYTOWN ROAD)

REFERENCE:

EXISTING SITE INFORMATION TAKEN FROM MAP REFERENCE 'SURVEY PREPARED FOR RDM GROUP LLC' PREPARED BY LANC & TULLY DATED 03/12/2021.

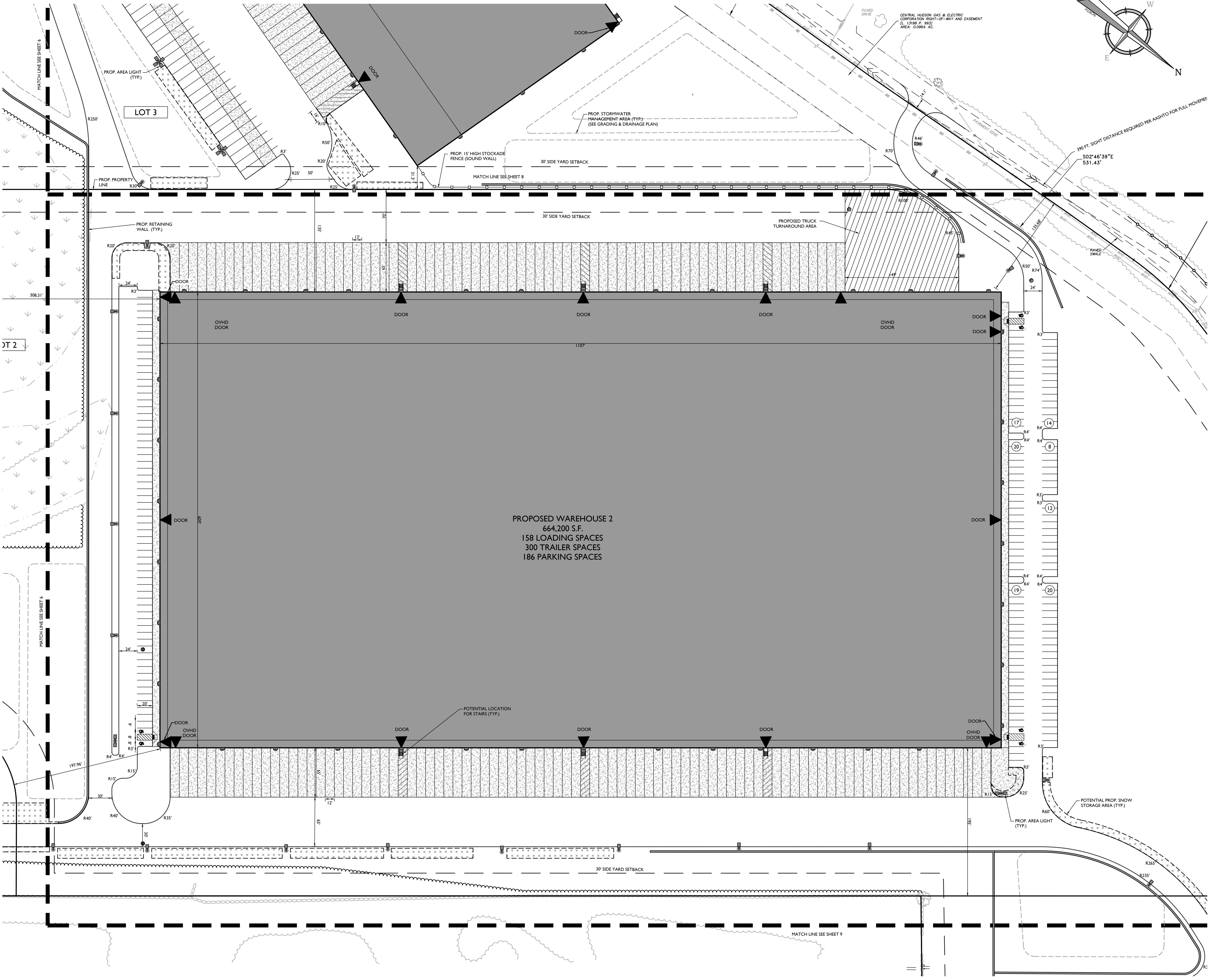
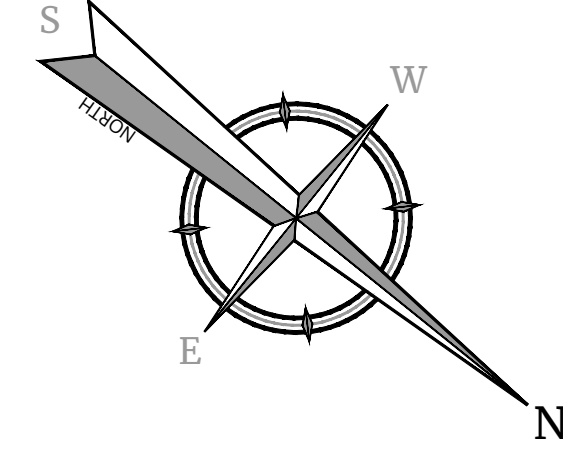


PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK

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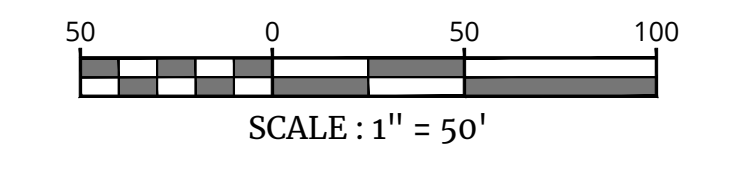
DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC

OVERALL LAYOUT PLAN



PROPOSED WAREHOUSE 2
664,200 S.F.
158 LOADING SPACES
300 TRAILER SPACES
186 PARKING SPACES

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	FACE OF PAVEMENT	
	CURB	
	BACK OF PAVEMENT	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREE LINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	
	SAWCUT AND ASPHALT PAVEMENT REPAIR	
	SNOW STORAGE AREA	
	SITE AREA LIGHTING FIXTURES	
	BUILDING LIGHTING FIXTURE	



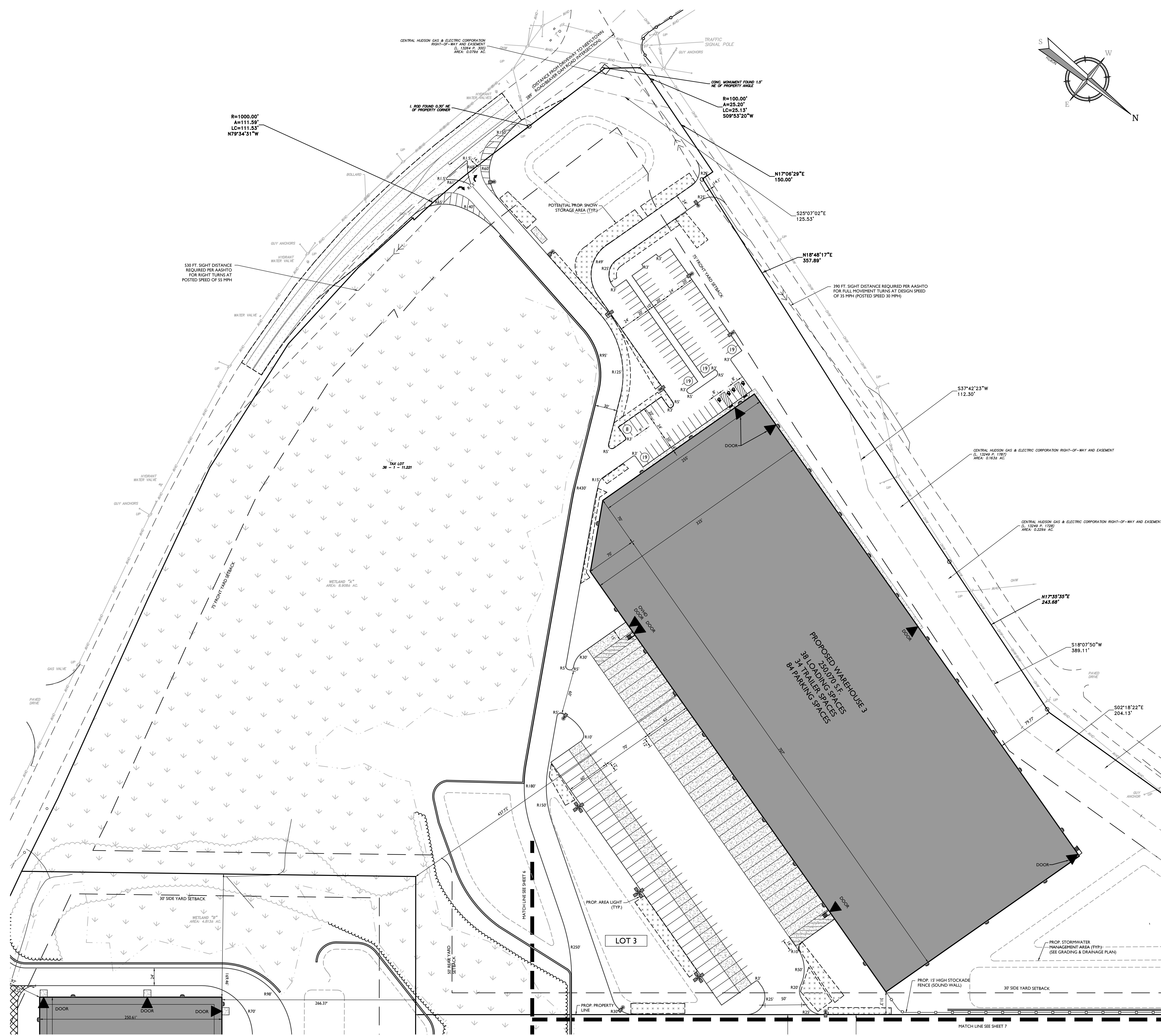
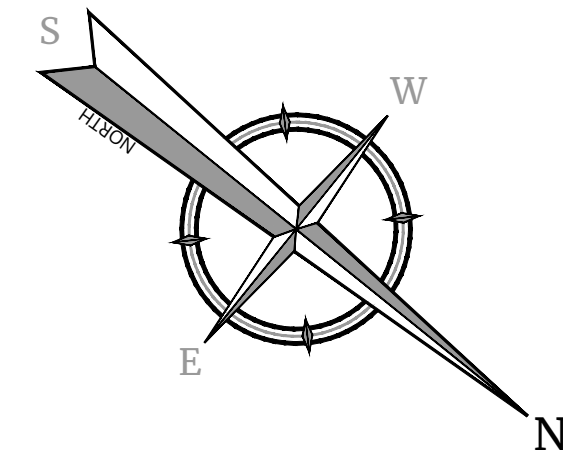
PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
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COLLIERS ENGINEERING & DESIGN, INC.
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN NJ, NY, AND SEVERAL OTHER STATES

SCALE: AS SHOWN
DATE: 05/12/23
PROJECT NUMBER: 21000327A
DRAWN BY: CMA
CHECKED BY: JBC
DRAWING NAME: C-LAY
SHEET TITLE: LAYOUT PLAN - BUILDING 2
SHEET NUMBER: 7 of 42



R=1000.00'
A=111.59°
LC=111.53°
N7°54'51"W

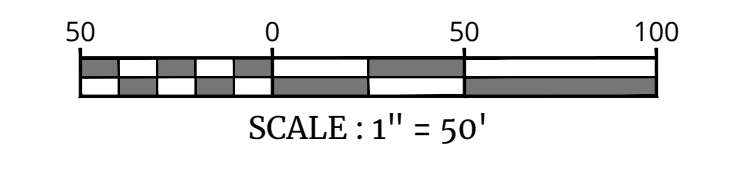
CONC. MONUMENT FOUND 1.5'
NE OF PROPERTY CORNER
R=100.00'
A=25.20°
LC=25.13°
S09°53'20"W

330 FT. SIGHT DISTANCE
REQUIRED PER AASHTO
FOR RIGHT TURNS AT
POSTED SPEED OF 55 MPH

330 FT. SIGHT DISTANCE REQUIRED PER AASHTO
FOR FULL MOVEMENT TURNS AT DESIGN SPEED
OF 35 MPH (POSTED SPEED 30 MPH)

PROPOSED WAREHOUSE 3
250,070 S.F.
38 LOADING SPACES
34 TRAILER SPACES
84 PARKING SPACES

EXISTING	LEGEND	PROPOSED
12+00	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
13+00	RIGHT OF WAY LINE	13+00
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	STALL COUNT	10
---	ADA ACCESSIBLE STALL	♿
---	DEPRESSED CURB AND ADA RAMP	HC
---	DIRECTION OF TRAFFIC FLOW	→
---	SAWCUT AND ASPHALT PAVEMENT REPAIR	---
---	SNOW STORAGE AREA	---
---	SITE AREA LIGHTING FIXTURES	---
---	BUILDING LIGHTING FIXTURE	---



SCALE: 1" = 50'

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION

FOR RDM GROUP LLC

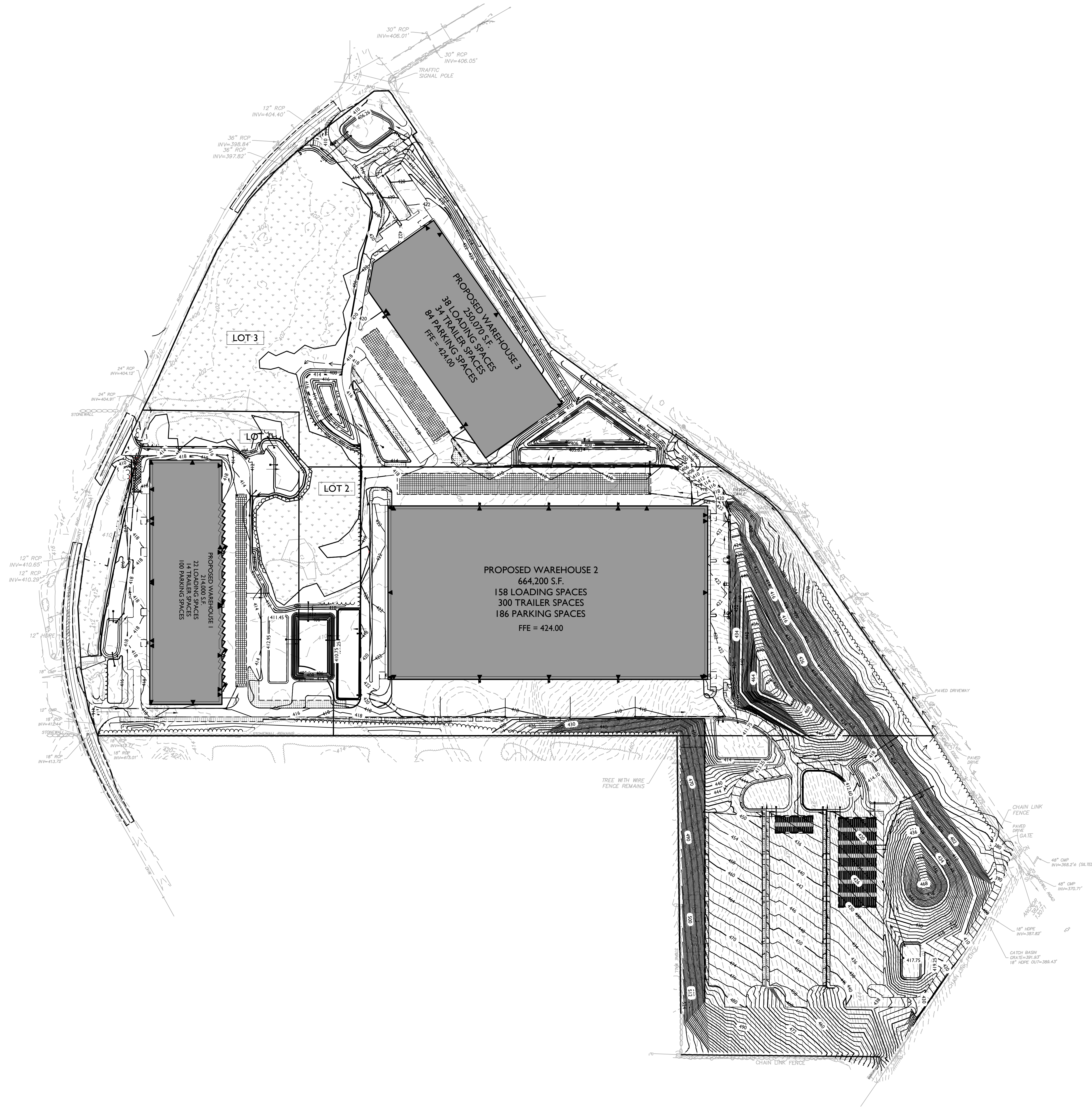
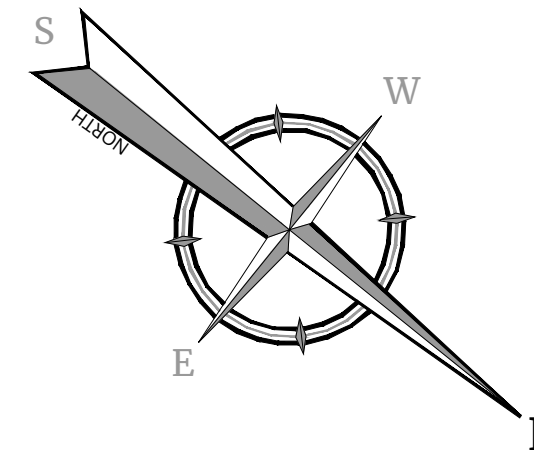
TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
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TOWN OF MONTGOMERY
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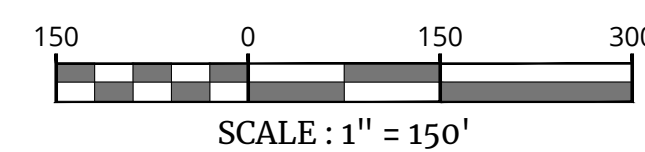
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COLLIERS ENGINEERING & DESIGN, P.C.
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SCALE: AS SHOWN
DATE: 05/12/23
PROJECT NUMBER: 21000327A
DRAWN BY: CMA
CHECKED BY: JBC
DRAWING NAME: C-LAY1

LAYOUT PLAN - BUILDING 3



EXISTING	LEGEND	PROPOSED
127.50	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00	134.00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
FACE	CURB	FACE
BACK	DEPRESSED CURB	BACK
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	CATCH BASIN	---
---	DRAIN INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CONTOURS	---
X G 29.0	SPOT ELEVATION	X G 29.0
X TC 29.0	DIRECTION OF OVERLAND FLOW	X TC 29.0
X BC 29.0	TOP OF CURB ELEVATION	X BC 29.0
X BC 29.0	BOTTOM OF CURB ELEVATION	X BC 29.0
X TDC 29.0	TOP OF DEPRESSED CURB ELEVATION	X TDC 29.0



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REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

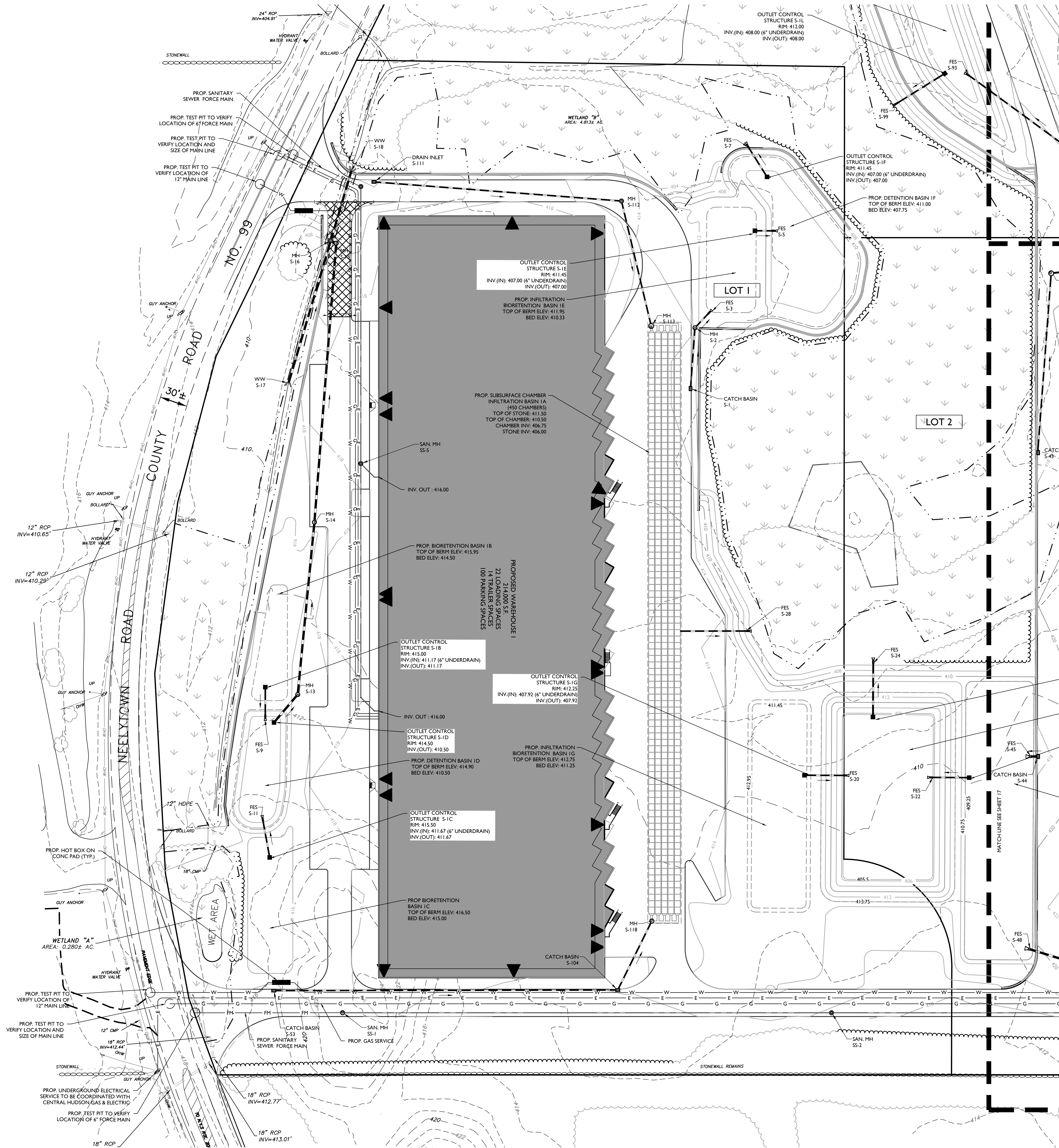
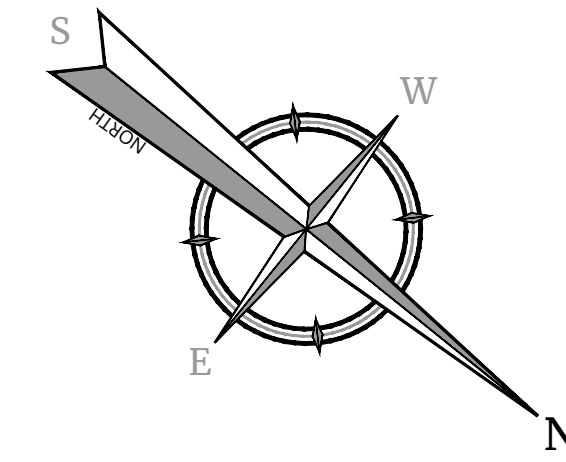
TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers 50 Chestnut Ridge Road, Suite 101, Montvale, NJ 07645
Engineering & Design Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, P.C.
ENGINEERS AND LAND SURVEYORS, PA.
A PROFESSIONAL CORPORATION

SCALE: AS SHOWN 05/12/23 CMA JBC
PROJECT NUMBER: 21000327A DRAWING NAME: C-GRAD

SHEET TITLE: OVERALL GRADING & DRAINAGE PLAN

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

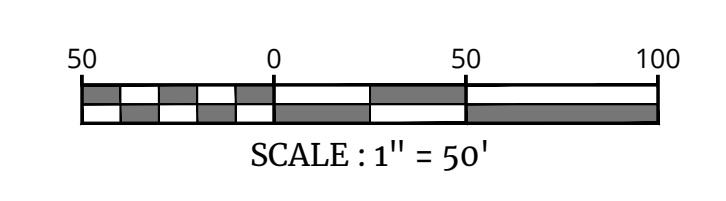


UTILITY NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
3. THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY FORCE MAIN PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
4. ALL NEW UTILITIES/SERVICES TO BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON NEELYTOWN ROAD. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATIONS, AND AMERICAN WATERWORKS ASSOCIATION STANDARDS, PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC BITUMY TYPIC COATING. ALL WATER SERVICE PIPES TO BE 12" DIAMETER TYPE K SEAMLESS COPPER. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY FORCE MAIN CONNECTION TO EXISTING SEWER MAIN ON NEELYTOWN ROAD. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATIONS, PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS, EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
7. ALL MATERIALS USED FOR SANITARY SEWER SYSTEMS SHALL BE MANUFACTURED IN THE UNITED STATES, WHEREVER AVAILABLE, AS GOVERNED BY P.L. 1982, c. 107, EFFECTIVE DATE OCTOBER 3, 1982.
8. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. ANY WATER SERVICE LOCATED IN THE SAME TRENCH AS A SEWER LINE MUST BE LOCATED ABOVE AND TO ONE SIDE OF THE SEWER LINE AT LEAST ONE FOOT AWAY FROM THE SEWER LINE. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
11. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
12. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), 18 GAUGE ALUMINIZED TYPE II COATED CORRUGATED PIPE (COP), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), HANCOCK SURE-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPEP), OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

FOR THE PURPOSES OF THE PLAN SET FOR DES REVIEW STORMWATER INVERTS ARE NOT SHOWN

EXISTING	LEGEND	PROPOSED
12+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00 13+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	CATCH BASIN	---
---	DRAIN INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---



PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

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COLLIERS ENGINEERING & DESIGN, INC.
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN NEW YORK AND NEW JERSEY

SCALE: AS SHOWN
DATE: 05/12/23
PROJECT NUMBER: 21000327A
DRAWN BY: CMA
CHECKED BY: JBC
DRAWING NAME: C-UTL

SHEET TITLE: UTILITIES PLAN - BUILDING 1

SHEET NUMBER: 16 of 42

REV.	DATE	DRAWN BY	DESCRIPTION

REV.	DATE	DRAWN BY	DESCRIPTION

REV.	DATE	DRAWN BY	DESCRIPTION

**PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION**

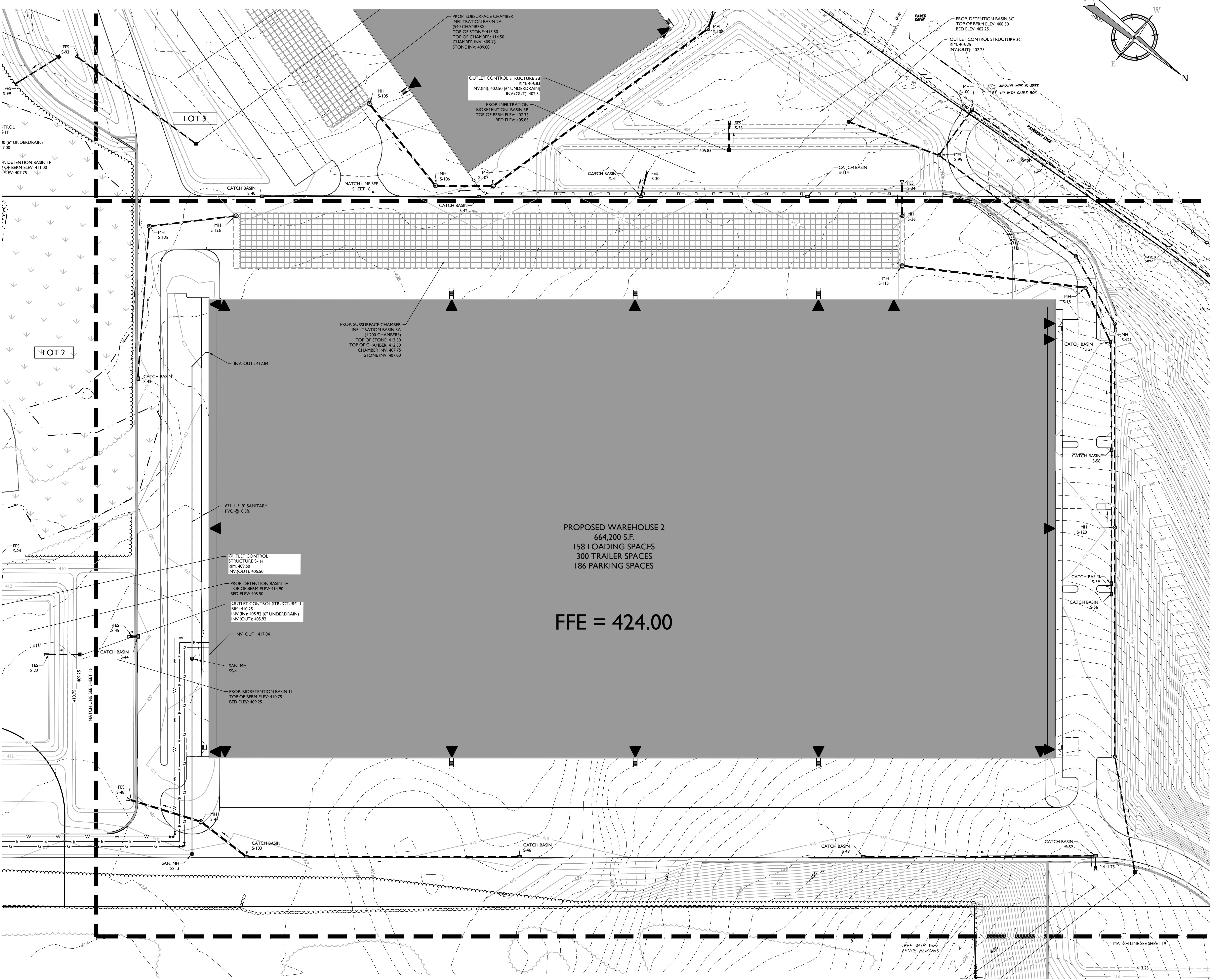
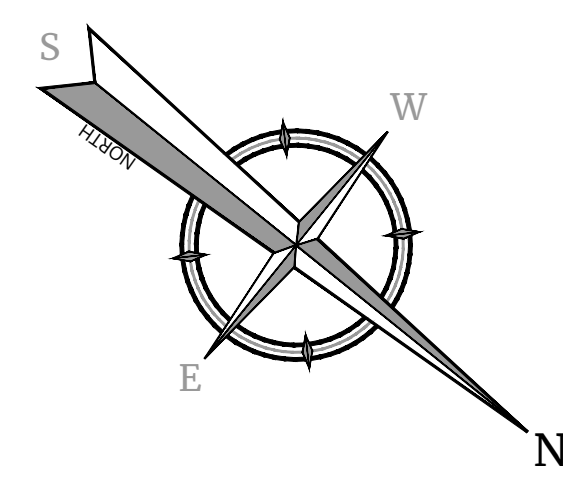
FOR
RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.211,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

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SCALE: AS SHOWN	DATE: 05/12/23	DRAWN BY: CMA	CHECKED BY: JBC
PROJECT NUMBER: 21000327A	DRAWING NAME: C-UTIL	DATE: 05/12/23	SCALE: AS SHOWN

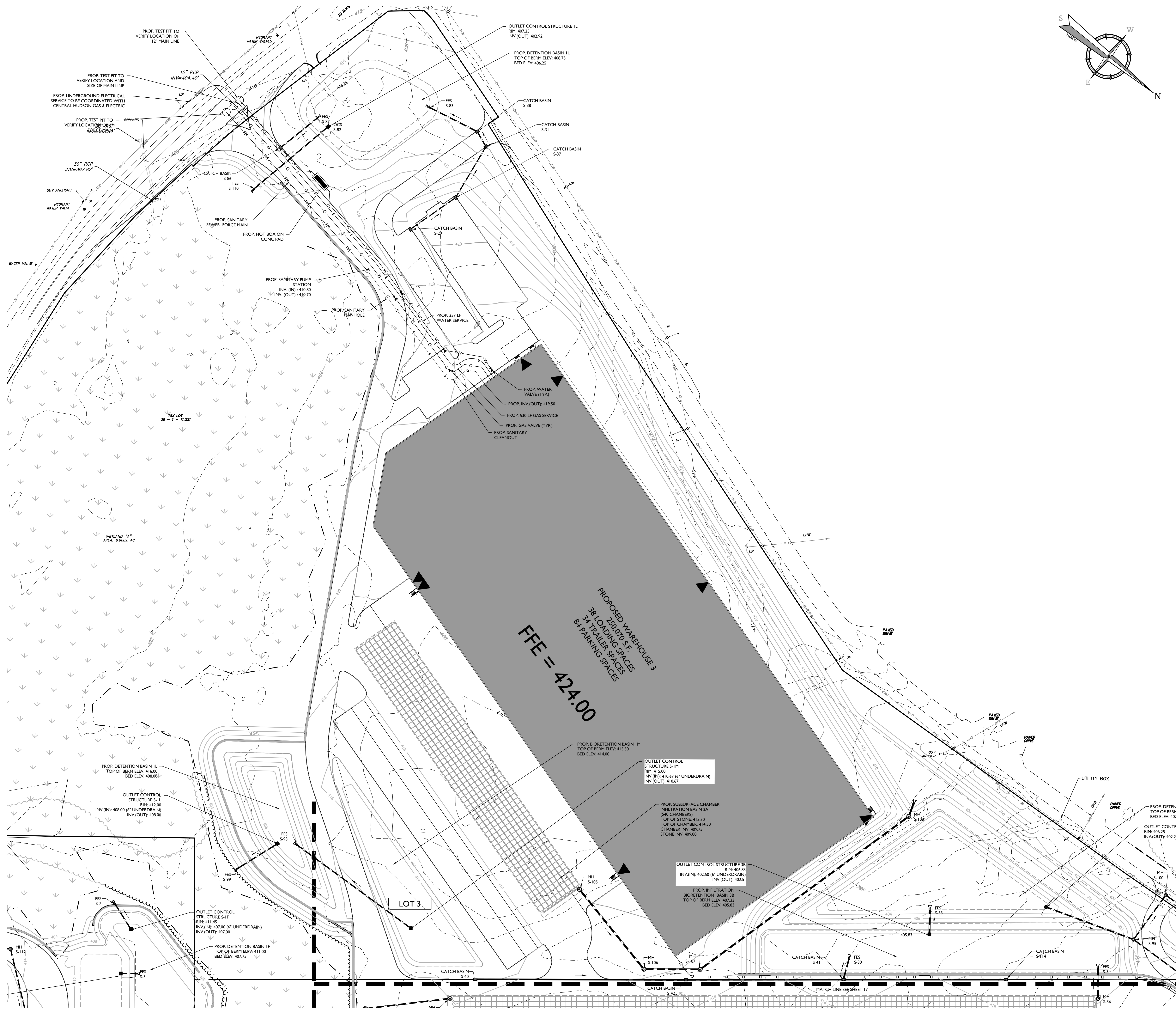
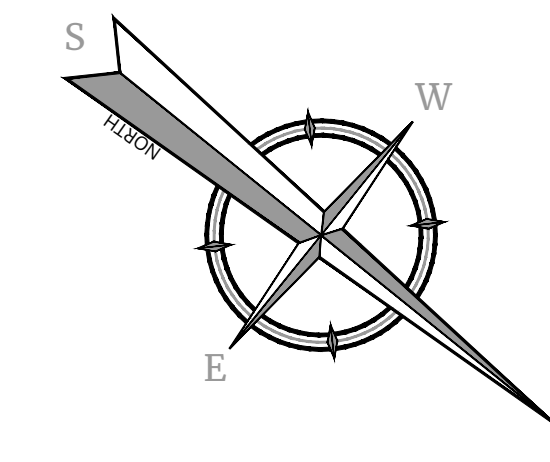


FOR THE PURPOSES OF THE PLAN SET FOR DIS
REVIEW STORMWATER INVERTS ARE NOT SHOWN

EXISTING		LEGEND		PROPOSED	
			TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)		
			PROPERTY LINE		
			FACE BACK		
			SIDEWALK		
			TREELINE		
			WETLAND LINE		
			CATCH BASIN		
			STORM MANHOLE		
			FLARED END SECTION		
			HYDRANT		
			CABLE TV CONDUIT		
			GAS MAIN		
			ELECTRIC CONDUIT		
			STORM PIPE		

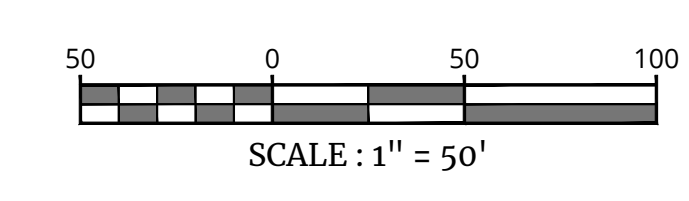
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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



FOR THE PURPOSES OF THE PLAN SET FOR DEIS
REVIEW STORMWATER INVERTS ARE NOT SHOWN

EXISTING	LEGEND	PROPOSED
12+00	TRVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	13+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	CATCH BASIN	---
---	DRAIN INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
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---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---



PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.11, 33-1-91,

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REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

**PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC**

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

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IN THE STATE OF NEW YORK.

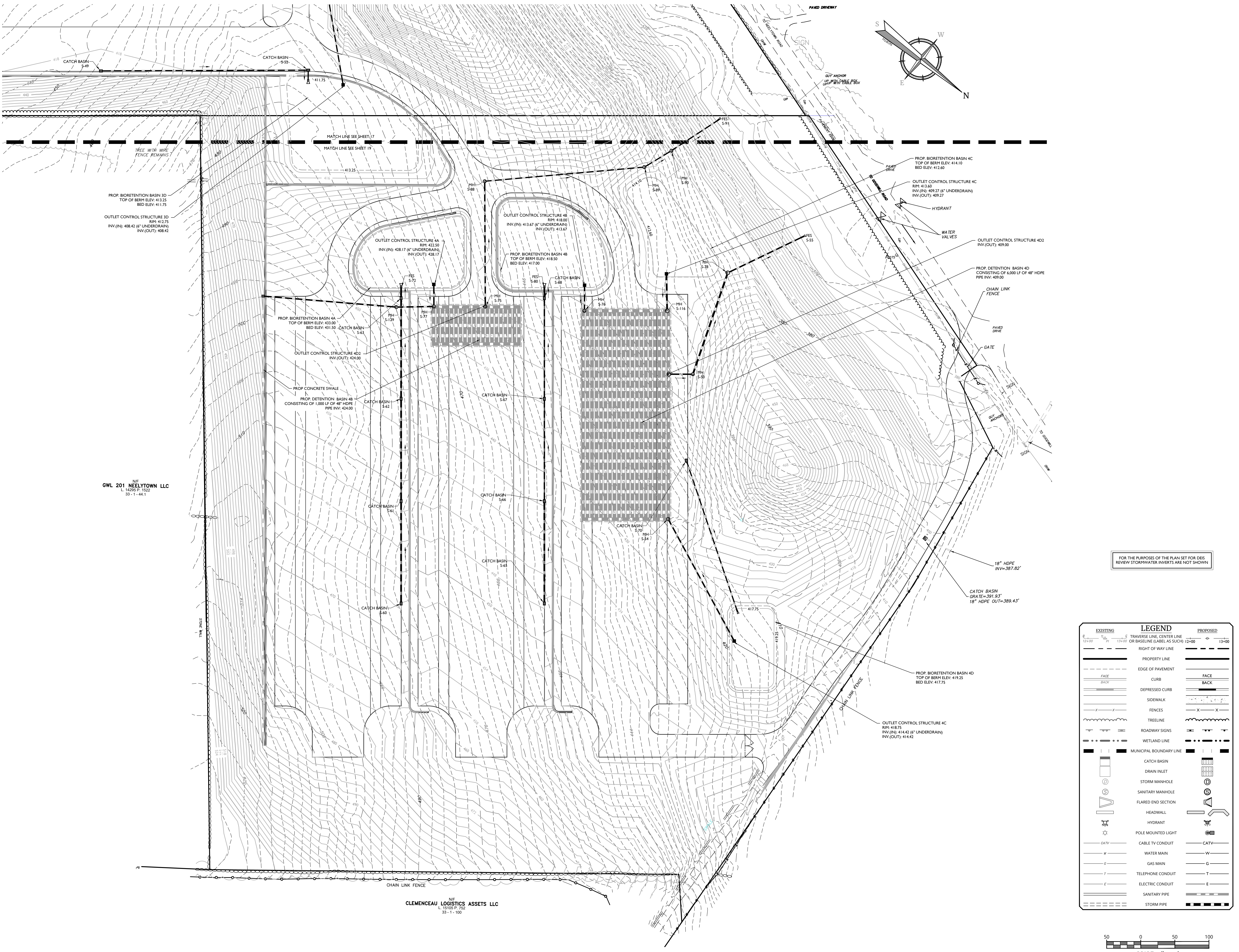
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	05/12/23	CMA	JBC

PROJECT NUMBER	DRAWING NAME
21000327A	C-UTL

SHEET TITLE:
**UTILITIES PLAN - TRAILER
PARKING**

SHEET NUMBER:
19 of 42

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



NF
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L 1320 P 1022
33-1-44.1

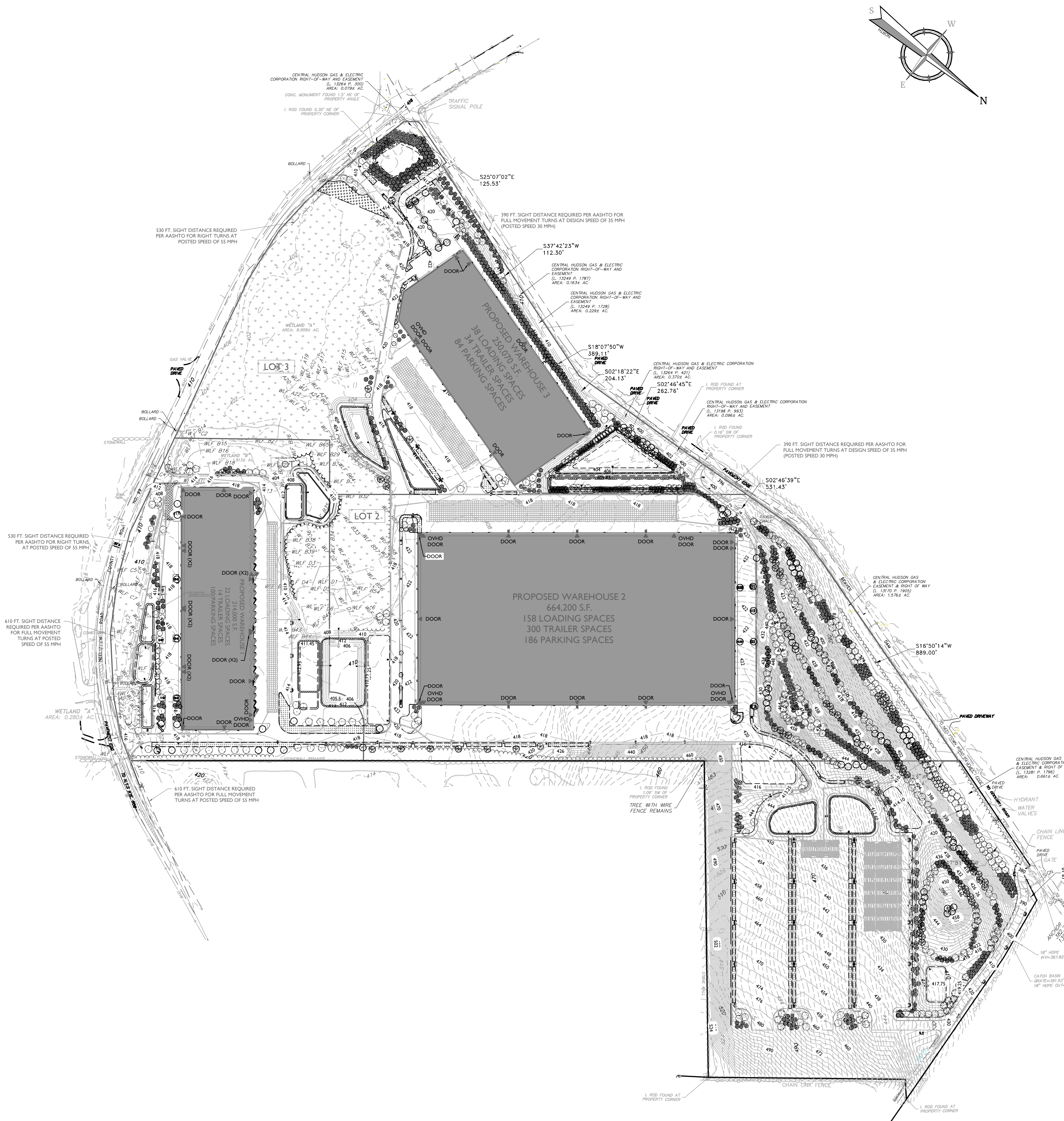
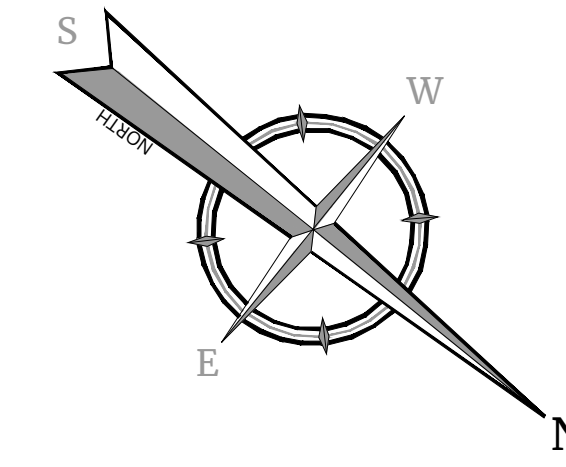
NF
CLEMENCEAU LOGISTICS ASSETS LLC
L 15100 P 1022
33-1-100

FOR THE PURPOSES OF THE PLAN SET FOR DIS
REVIEW STORMWATER INVERTS ARE NOT SHOWN

EXISTING		LEGEND		PROPOSED	
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00		12+00		13+00
	RIGHT OF WAY LINE		PROPERTY LINE		
	EDGE OF PAVEMENT		FACE CURB		BACK CURB
	DEPRESSED CURB		DEPRESSED CURB		SIDEWALK
	FENCES		FENCES		TREELINE
	ROADWAY SIGNS		ROADWAY SIGNS		WETLAND LINE
	WETLAND LINE		MUNICIPAL BOUNDARY LINE		CATCH BASIN
	CATCH BASIN		DRAIN INLET		STORM MANHOLE
	STORM MANHOLE		SANITARY MANHOLE		FLARED END SECTION
	HEADWALL		HYDRANT		POLE MOUNTED LIGHT
	POLE MOUNTED LIGHT		CABLE TV CONDUIT		CATV
	CABLE TV CONDUIT		WATER MAIN		W
	WATER MAIN		GAS MAIN		G
	GAS MAIN		TELEPHONE CONDUIT		T
	TELEPHONE CONDUIT		ELECTRIC CONDUIT		E
	ELECTRIC CONDUIT		SANITARY PIPE		STORM PIPE
	STORM PIPE				

SCALE : 1" = 50'

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LANDSCAPE PLAN NOTES

- SEE SHEET 21 FOR PLANT SCHEDULE.
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 3'-0" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

TOWN OF MONTGOMERY LANDSCAPE NOTES

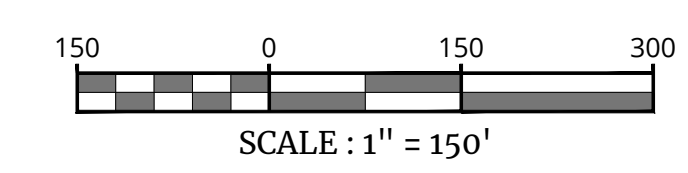
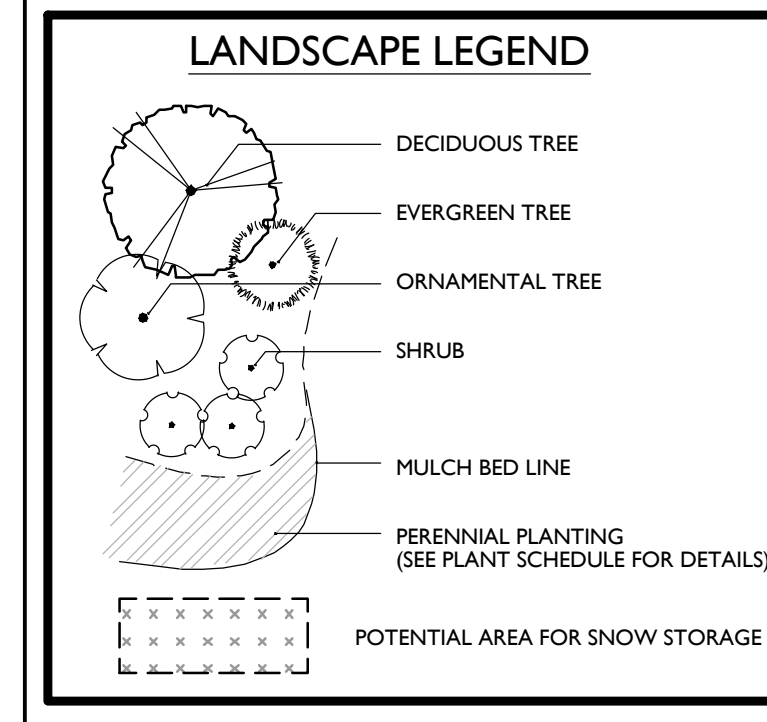
- PER §235-16.5.C(3)(b)(4)
- LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
 - PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
 - TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER, ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
 - A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
 - THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
 - LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
 - ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
 - ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPING SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

- PER §235-16.5.C(3)(b)(5)
- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE/LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES



PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
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36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

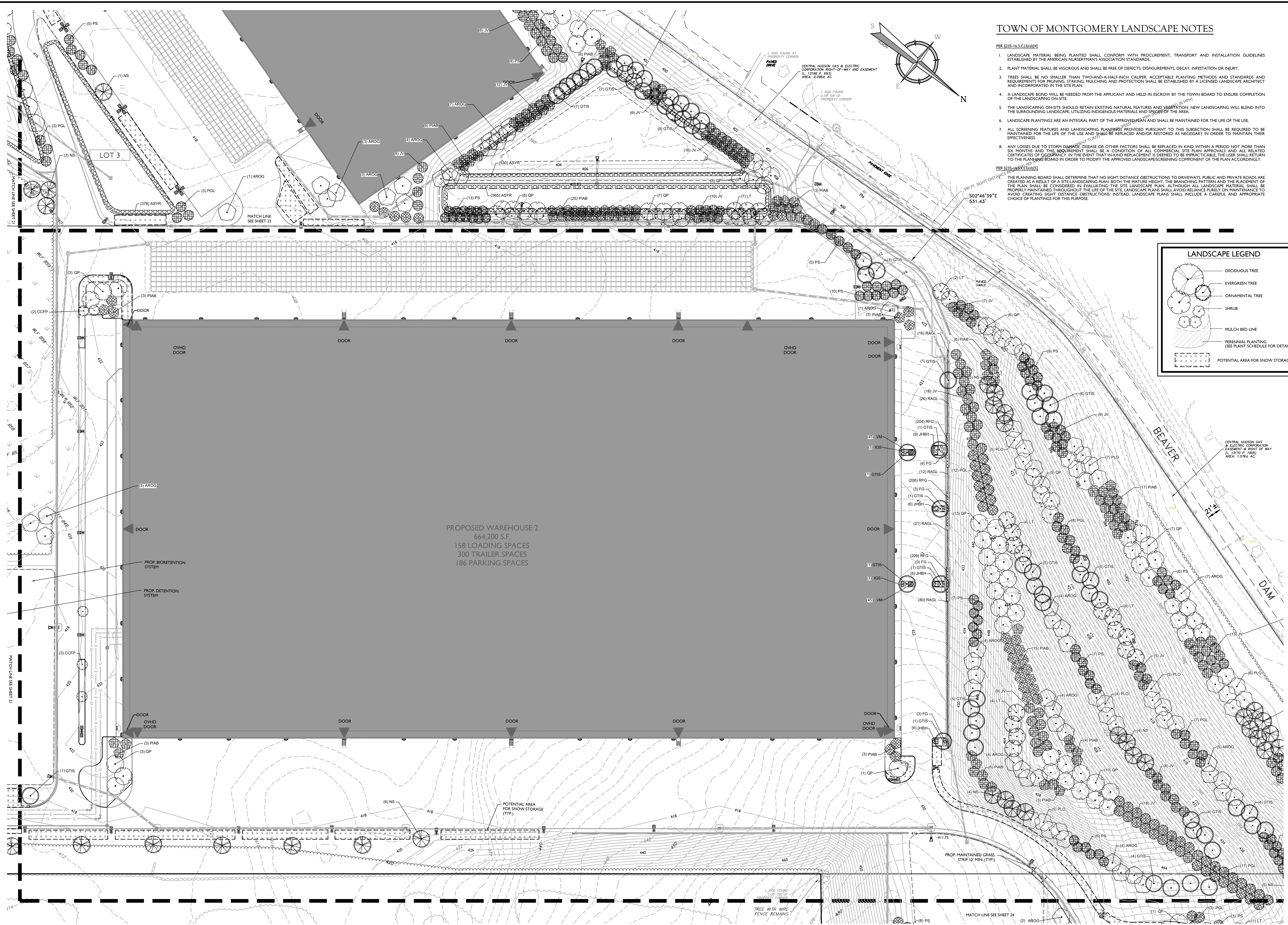
TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design
50 Chestnut Ridge Road,
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Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, P.C.
REGISTERED PROFESSIONAL ENGINEERS AND LANDSCAPE ARCHITECTS
NEW YORK STATE LICENSE NO. 00000000000000000000

SCALE: AS SHOWN
DATE: 05/12/23
PROJECT NUMBER: 21000327A
DRAWN BY: CMA
CHECKED BY: JBC
DRAWING NAME: C-LAND

SHEET TITLE:
OVERALL LANDSCAPE PLAN

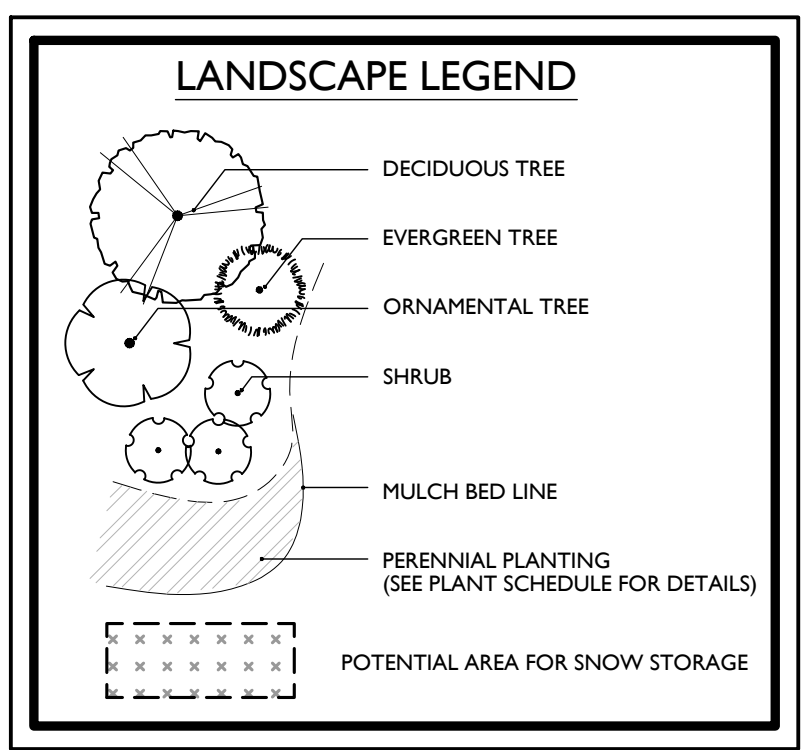
SHEET NUMBER:
20 of 42



TOWN OF MONTGOMERY LANDSCAPE NOTES

- LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
- TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
- THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
- LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
- ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
- ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THE REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPING SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

PER 2325-16.5 C(3)(i)(iv)
 PER 2325-16.5 C(3)(i)(v)
 THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.



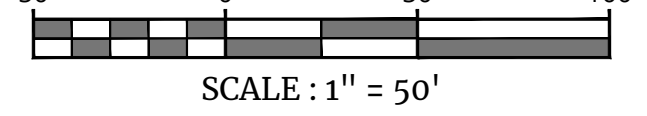
LANDSCAPE PLAN NOTES

- SEE SHEET 21 FOR PLANT SCHEDULE.
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING RED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 3'0" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.



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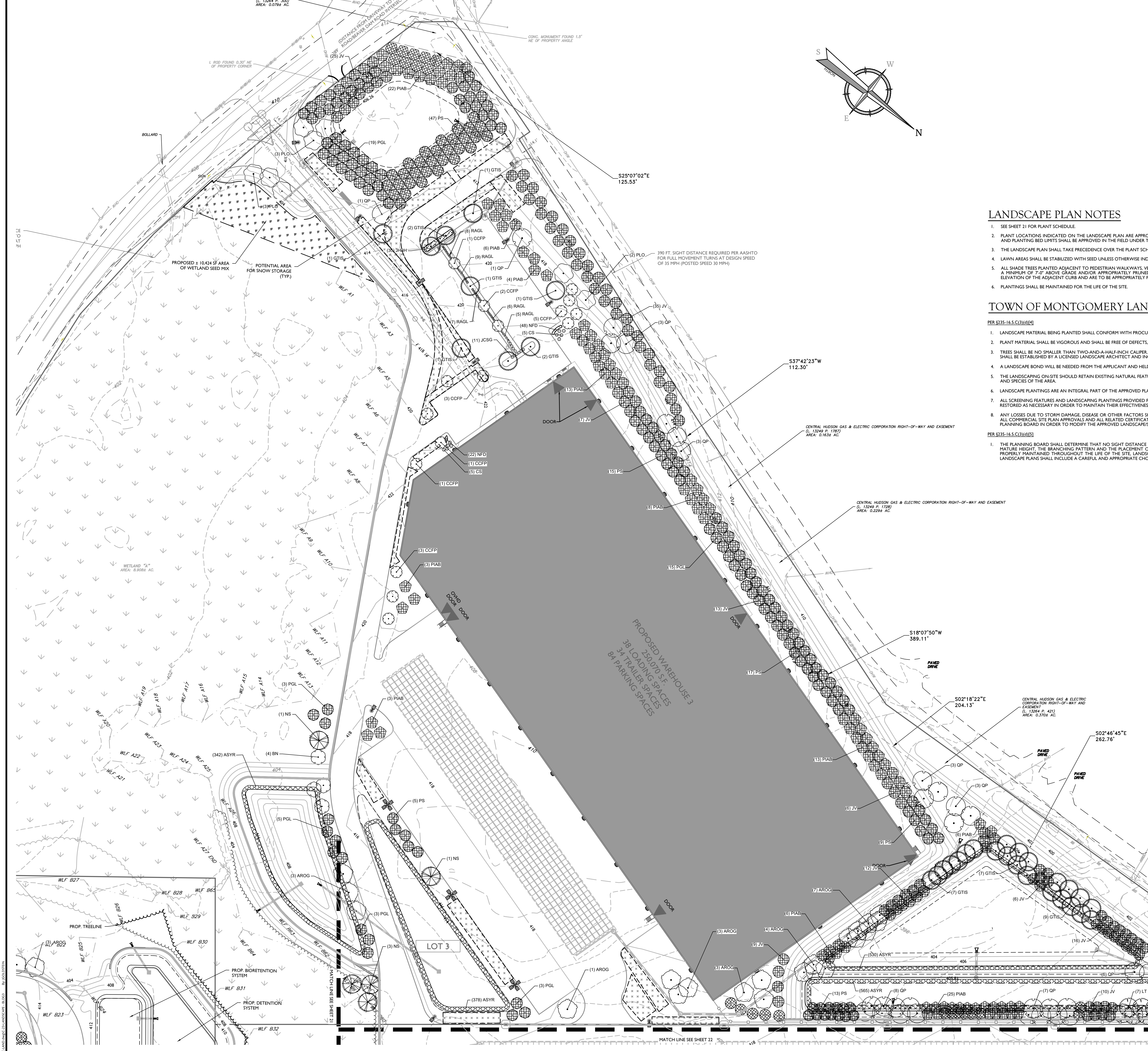
REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION
 FOR
RDM GROUP LLC
 TAX LOTS:
 36-1-33, 36-1-11.221,
 36-1-11.23, 36-1-11.212,
 36-1-11.211, 36-1-11.1,
 36-1-10.11, 33-1-91,
TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers 50 Chestnut Ridge Road, Suite 101, Montvale, NJ 07645
 Phone: 845.352.0411
 COLLIERS ENGINEERING & DESIGN, INC. ENGINEERS AND LANDSCAPE ARCHITECTS PROFESSIONAL CORPORATION
 SCALE: AS SHOWN DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC
 PROJECT NUMBER: 21000327A DRAWING NAME: C-LAND
 SHEET TITLE: LANDSCAPE PLAN - BUILDING 2
 SHEET NUMBER: 22 of 42

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



LANDSCAPE PLAN NOTES

- 1. SEE SHEET 21 FOR PLANT SCHEDULE.
- 2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- 3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- 4. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- 5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7"0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7"0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 3'0" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- 6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

TOWN OF MONTGOMERY LANDSCAPE NOTES

- PER §235-16.5.C(3)(d)(4)
- 1. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMANS ASSOCIATION STANDARDS.
 - 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
 - 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
 - 4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
 - 5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
 - 6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
 - 7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
 - 8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPESCREENING COMPONENT OF THE PLAN ACCORDINGLY.
- PER §235-16.5.C(3)(d)(5)
- 1. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITESLANDSCAPE PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLANT SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

LANDSCAPE LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUB
- MULCH BED LINE
- PERENNIAL PLANTING (SEE PLANT SCHEDULE FOR DETAILS)
- POTENTIAL AREA FOR SNOW STORAGE

SCALE: 1" = 50'

50 0 50 100

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

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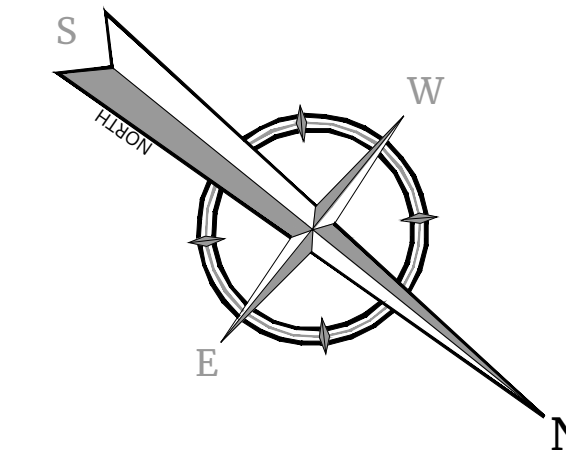
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Colliers Engineering & Design

50 Chestnut Ridge Road, Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING AND DESIGN, INC.
REGISTERED PROFESSIONAL ENGINEERS
AND LANDSCAPE ARCHITECTS
NEW YORK STATE LICENSE NO. 200003274

SCALE: AS SHOWN 05/12/23 CMA JBC
PROJECT NUMBER: 210003274 DRAWING NAME: C-LAND

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



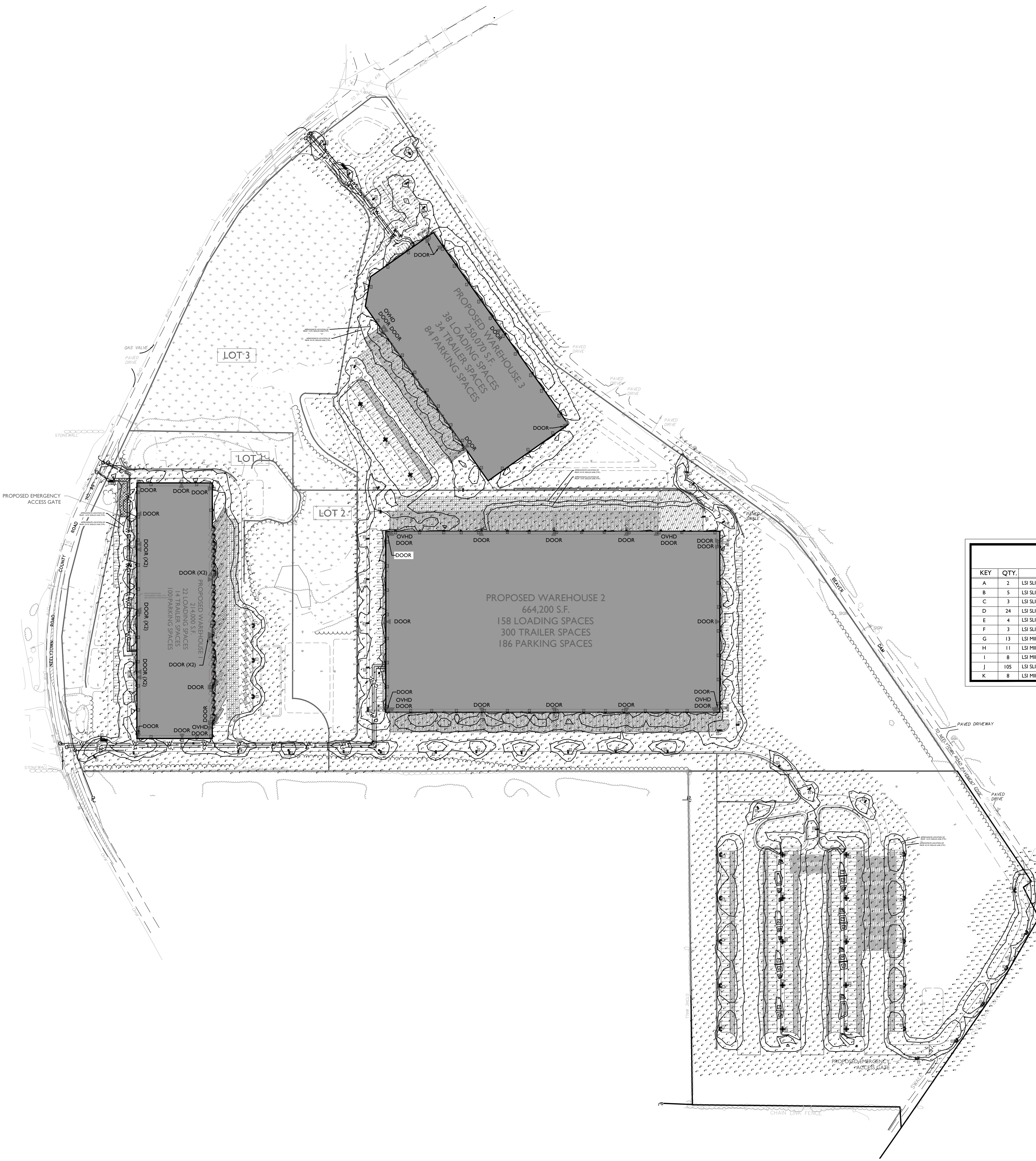
LIGHTING PLAN NOTES

- REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND THE LUMINAIRE SCHEDULE BELOW FOR ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY LSI INDUSTRIES, LLC OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE COORDINATED.

TOWN OF MONTGOMERY LIGHTING PLAN NOTES

- A. ALL EXTERIOR LUMINAIRES SHALL BE LED SEVERE FULL CUT OFF TYPE UNITS WITH A FLAT LENS ATTACHED TO A POLE OR BUILDING ON A FIXED ARM OR WALL MOUNT WITH THE LENS ORIENTATION PARALLEL TO THE GROUND. CERTAIN CIRCUMSTANCES MAY REQUIRE APPROVAL OF OTHER TYPE LIGHTING LUMINAIRES. THE ABOVE IS IN ACCORDANCE WITH ZONING LAW 9235-16.5, "SITE PLAN LIGHTING REQUIREMENTS".
- THE FOLLOWING INFORMATION PERTAINING TO THE PROPOSED LIGHTING FIXTURES AND PLAN MUST BE PROVIDED:
- COMPUTER PREPARED PHOTOMETRIC LAYOUT ON A SEPARATE SITE LIGHTING PLAN OF THE PROPOSED LIGHTED AREA, WHICH INDICATES POINT-BY-POINT FC, C-PLANT OF THE SYSTEM'S PERFORMANCE.
 - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, ISOCANDLES, CANDLE PLOT, AND CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH, AND HOUSING DESCRIPTION.
 - THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
 - A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.
- B. AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT BASED UPON AN APPLICATION OF THE RELEVANT ZONING LAW PROVISIONS. IN CONNECTION WITH ANY REQUIREMENT FOR ADDITIONAL SHIELDING, PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW.
- C. EXTERIOR ARCHITECTURAL LIGHTING MUST BE SHOWN ON THIS PLAN. INTERIOR LIGHTING FIXTURES OR REFLECTING SURFACES WHICH ARE VISIBLE OUTSIDE THE BUILDING ALSO MUST BE SHOWN ON THE PLAN. ALL SUCH SITUATIONS MUST BE REVIEWED BY THE PLANNING BOARD AND MEET TOWN LAW REQUIREMENTS/ZONING LAW 9235-16.5 REGARDING SITE PLAN LIGHTING AND LIGHT TRESPASS.
- D. ALL LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION MUST BE SUBMITTED TO AND APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH THE ABOVE.
- E. THE LIGHTING PLAN SHALL BE SHOWN ON A SEPARATE SHEET AS PART OF THE OVERALL PLAN SET. THE LIGHTING PLAN SHALL INCLUDE: A POINT-BY-POINT FOOT CANDLE (F-C) PLOT; LUMINAIRE SCHEDULE, CALCULATION SUMMARY AND A DRAWING OF THE LUMINAIRES, POLE AND POLE BASE.

LUMINAIRE SCHEDULE (APPLIES TO FULL SITE - SHEETS 25-29)										
KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS	LLF	WATTAGE (W)	IES FILE NAME	CATALOG #	
A	2	LSI SLICE MEDIUM LED AREA LIGHT	TWIN	25'	7,015	95	205.8	SLM-LED-12L-SIL-SW-AMBER	SLM-LED-12L-SIL-SW-AMB	
B	5	LSI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,015	95	102.9	SLM-LED-12L-SIL-SW-AMBER	SLM-LED-12L-SIL-SW-AMB	
C	3	LSI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,516	95	102.9	SLM-LED-12L-SIL-FT-AMBER	SLM-LED-12L-SIL-FT-AMB	
D	24	LSI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,862	95	102.9	SLM-LED-12L-SIL-3-AMBER	SLM-LED-12L-SIL-3-AMB	
E	4	LSI SLICE MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	SINGLE	25'	4,710	95	102.9	SLM-LED-12L-SIL-FT-AMBER-IL	SLM-LED-12L-SIL-FT-AMB-IL	
F	3	LSI SLICE MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	SINGLE	25'	5,336	95	102.9	SLM-LED-12L-SIL-3-AMBER-IL	SLM-LED-12L-SIL-3-AMB-IL	
G	13	LSI MIRADA MEDIUM LED AREA LIGHT	QUAD	30'	9,620	95	532.0	MRM-LED-18L-SIL-FT-AMBER	MRM-LED-18L-SIL-FT-AMB	
H	11	LSI MIRADA MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	TWIN (BULL HORN)	30'	6,018	95	266.0	MRM-LED-18L-SIL-FT-AMBER-IL	MRM-LED-18L-SIL-FT-AMB-IL	
I	8	LSI MIRADA MEDIUM LED AREA LIGHT	TWIN (BULL HORN)	30'	9,620	95	266.0	MRM-LED-18L-SIL-FT-AMBER	MRM-LED-18L-SIL-FT-AMB	
J	105	LSI SLICE MEDIUM LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25'	7,516	95	102.9	SLM-LED-12L-SIL-FT-AMBER	SLM-LED-12L-SIL-FT-AMB	
K	8	LSI MIRADA MEDIUM LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	30'	48,521	95	366.0	MRM-LED-48L-SIL-FT-40-70CRI	MRM-LED-48L-SIL-FT-40-70CRI	

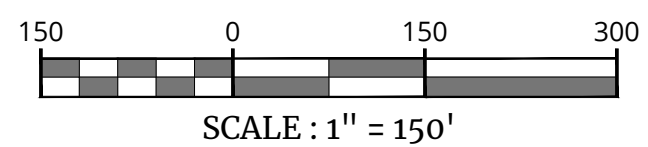


LEGEND

- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED WALL MOUNTED LIGHT

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

THIS PLAN WAS PREPARED IN ASSISTANCE WITH STEVE VARDMAN FROM INNOVATIVE LIGHTING SOLUTIONS. STEVE SHOULD BE CONTACTED AT 817.925.7322 FOR ALL PRICING INQUIRIES



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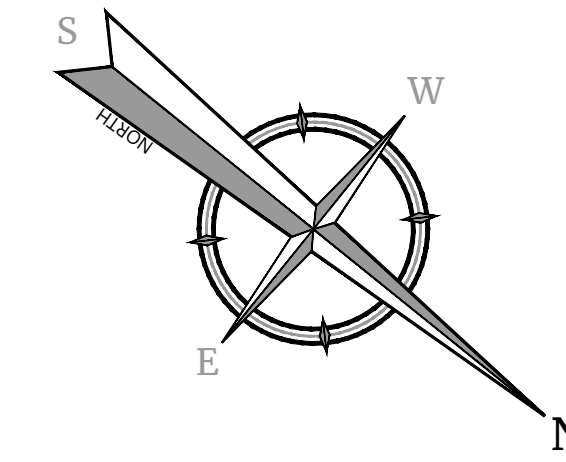
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1000 WEST LEBANON AVENUE, SUITE 200
LEBANON, PA 17042

SCALE: AS SHOWN 05/12/23 CMA JBC
PROJECT NUMBER: 21000327A DRAWING NAME: C-1-GHT

SHEET TITLE:
OVERALL LIGHTING PLAN

SHEET NUMBER:
25 of 42



LIGHTING PLAN NOTES

- REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND SHEET 25 ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
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- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
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- LUMINAIRE AND POLE FINISHES TO BE COORDINATED.

TOWN OF MONTGOMERY LIGHTING PLAN NOTES

- A. ALL EXTERIOR LUMINAIRES SHALL BE LED SEVERE FULL CUT OFF TYPE UNITS WITH A FLAT LENS ATTACHED TO A POLE OR BUILDING ON A FIXED ARM OR WALL MOUNT WITH THE LENS ORIENTED PARALLEL TO THE GROUND. CERTAIN CIRCUMSTANCES MAY REQUIRE APPROVAL OF OTHER TYPE LIGHTING LUMINAIRES. THE ABOVE IS IN ACCORDANCE WITH ZONING LAW §235-16.5, "SITE PLAN LIGHTING REQUIREMENTS".
- THE FOLLOWING INFORMATION PERTAINING TO THE PROPOSED LIGHTING FIXTURES AND PLAN MUST BE PROVIDED:
- COMPUTER PREPARED PHOTOMETRIC LAYOUT ON A SEPARATE SITE LIGHTING PLAN OF THE PROPOSED LIGHTED AREA, WHICH INDICATES POINT-BY-POINT FC, PLOT OF THE SYSTEM'S PERFORMANCE.
 - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, FOOT-CANDLE PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH, AND HOUSING DESCRIPTION.
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 - A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.
- B. AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT BASED UPON AN APPLICATION OF THE RELEVANT ZONING LAW PROVISIONS, IN CONNECTION WITH ANY REQUIREMENT FOR ADDITIONAL SHIELDING PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW.
- C. EXTERIOR ARCHITECTURAL LIGHTING MUST BE SHOWN ON THIS PLAN. INTERIOR LIGHTING FIXTURES OR REFLECTING SURFACES WHICH ARE VISIBLE OUTSIDE THE BUILDING ALSO MUST BE SHOWN ON THE PLAN. ALL SUCH SITUATIONS MUST BE REVIEWED BY THE PLANNING BOARD AND MEET TOWN LAW REQUIREMENTS ZONING LAW §235-16.5 REGARDING SITE PLAN LIGHTING AND LIGHT TRESPASS.
- D. ALL LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION MUST BE SUBMITTED TO AND APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH THE ABOVE.
- E. THE LIGHTING PLAN SHALL BE SHOWN ON A SEPARATE SHEET AS PART OF THE OVERALL PLAN SET. THE LIGHTING PLAN SHALL INCLUDE: A POINT-BY-POINT FOOT-CANDLE FC-PLOT, LUMINAIRE SCHEDULE, CALCULATION SUMMARY AND A DRAWING OF THE LUMINAIRE, POLE AND POLE BASE.

CALCULATION SUMMARY

(APPLIES TO LOT 1 ONLY)

AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
DOCK AREA	FC	1.4	3.4	0.2	17.0:1	8.0:1
EMPLOYEE PARKING	FC	0.9	1.4	0.2	7.0:1	4.5:1
ENTRANCE DRIVE	FC	1.0	1.7	0.3	5.7:1	3.3:1
TRUCK PARKING	FC	1.8	3.5	0.3	11.7:1	6.0:1

COMPLIANCE TABLE FOR LIGHTING REQUIREMENTS

SECTION	REQUIREMENT	PROVIDED	COMPLIES
§235-16.5(c)	ALL EXTERIOR LUMINAIRES SHALL BE PULSE-START METAL HALIDE OR LIGHT EMITTING DIODES (LED) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES
§235-16.5(c)(4)	PARKING LOT, WALKWAY AND OTHER COMMERCIAL SITE LIGHTING AREAS SHALL MAINTAIN AN AVERAGE ILLUMINATION LEVEL OF THREE QUARTERS (0.75) TO FIVE (5) FOOT-CANDELS AT THE GROUND	THE PARKING LOT AREA IS WITHIN THE ACCEPTABLE RANGE	YES
§235-16.5(c)(5)	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES

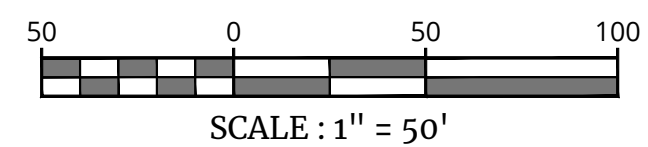
LEGEND

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- = PROPOSED AREA LIGHT
- = PROPOSED WALL MOUNTED LIGHT

SEE CONSTRUCTION DETAILS FOR LIGHTING DETAILS

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

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PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION

FOR RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
36-1-11.23, 36-1-11.212,
36-1-11.211, 36-1-11.1,
36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design
50 Chestnut Ridge Road,
Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, INC.
REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN
NEW YORK STATE

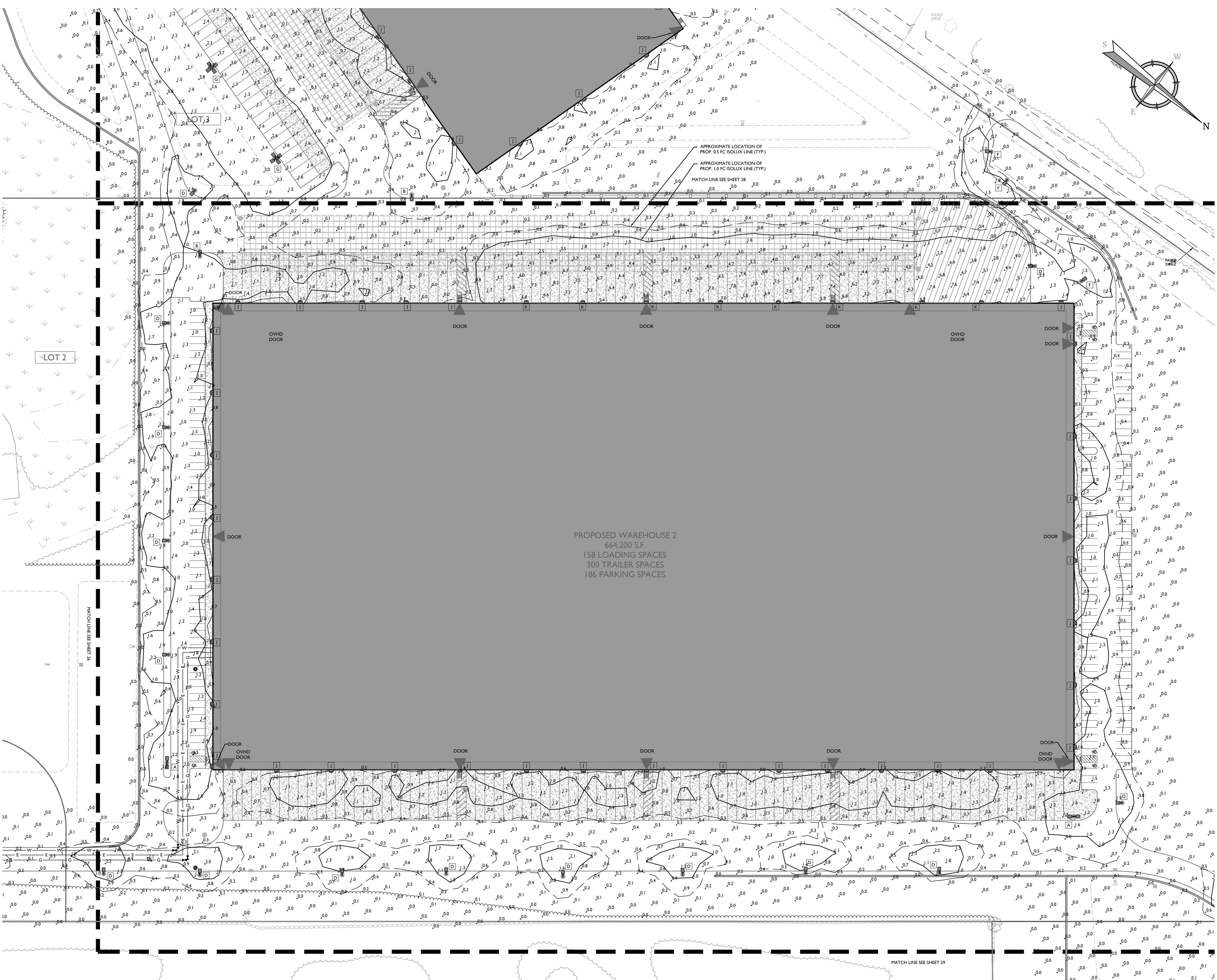
SCALE: AS SHOWN DATE: 05/12/23 DRAWN BY: CMA CHECKED BY: JBC
PROJECT NUMBER: 210003274 DRAWING NAME: C-LGHT

SHEET TITLE:
LIGHTING PLAN - BUILDING 1

SHEET NUMBER:
26 of 42

LIGHTING PLAN NOTES

- REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND SHEET 25 ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOT-CANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED, UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY LSI INDUSTRIES, LLC OR APPROVED EQUAL.
- LUMINAIRE AND POLE FINISHES TO BE COORDINATED.



CALCULATION SUMMARY
(APPLIES TO LOT 2 ONLY)

AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
DOCK AREA	FC	1.5	5.2	0.1	52.0	15.0
EMPLOYEE PARKING	FC	1.0	2.3	0.4	5.7	2.5
ENTRANCE DRIVE	FC	1.3	2.7	0.2	13.5	6.5

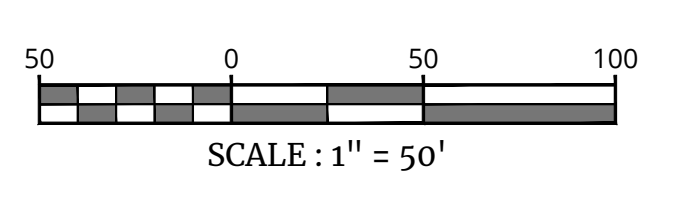
LEGEND

- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED WALL MOUNTED LIGHT

SEE CONSTRUCTION DETAILS FOR LIGHTING DETAILS

THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

THIS PLAN WAS PREPARED IN ASSISTANCE WITH STEVE VARDMAN FROM INNOVATIVE LIGHTING SOLUTIONS. STEVE SHOULD BE CONTACTED AT 817.925.7322 FOR ALL PRICING INQUIRIES



TOWN OF MONTGOMERY LIGHTING PLAN NOTES

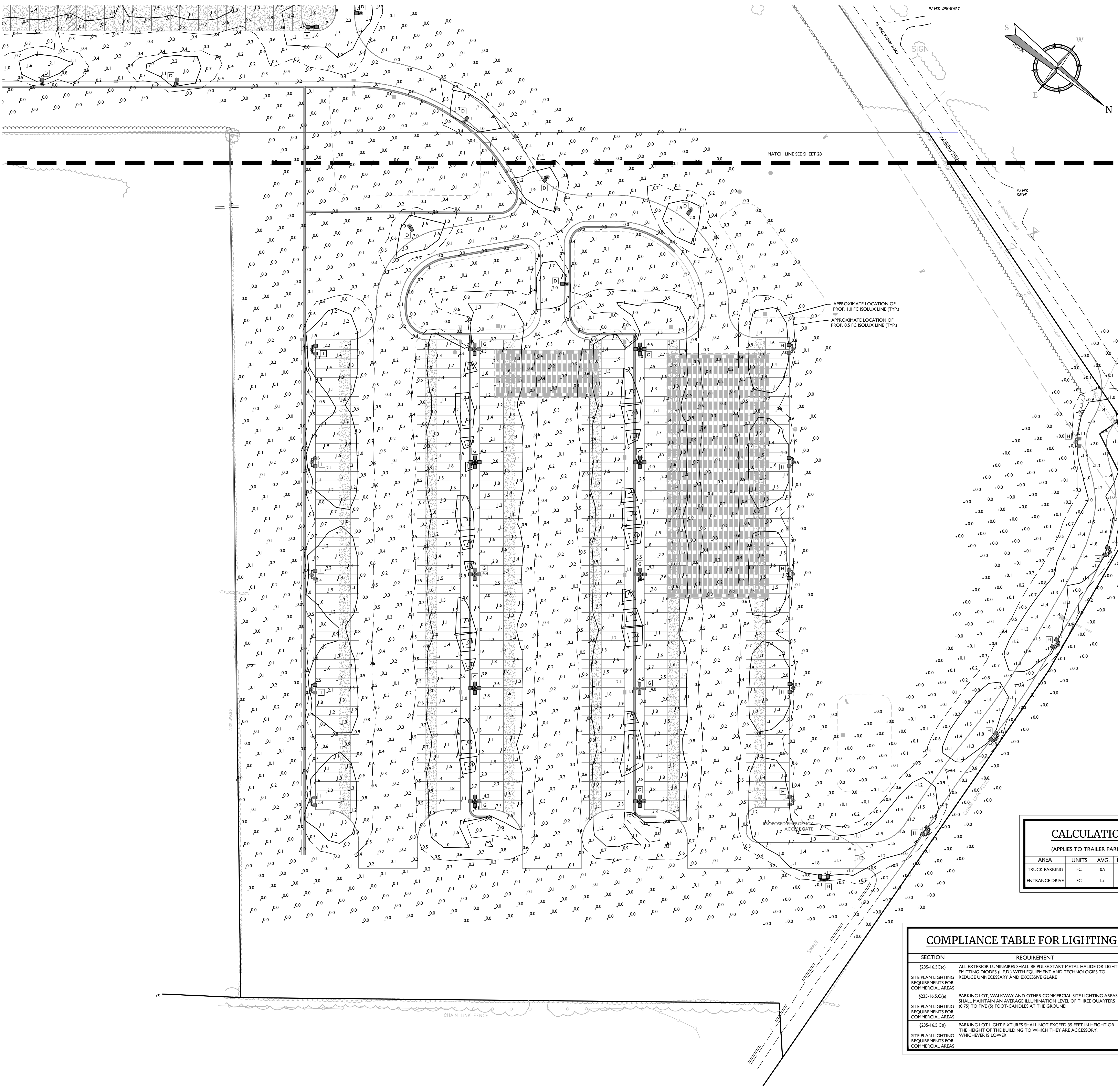
- ALL EXTERIOR LUMINAIRE SHALL BE LED SEVERE FULL CUT OFF TYPE UNITS WITH A FLAT LENS ATTACHED TO A POLE OR BUILDING ON A FIXED ARM OR WALL MOUNT WITH THE LENS ORIENTED PARALLEL TO THE GROUND. CERTAIN CIRCUMSTANCES MAY REQUIRE APPROVAL OF OTHER TYPE LIGHTING LUMINAIRE. THE ABOVE IS IN ACCORDANCE WITH ZONING LAW 9235-16.5, "SITE PLAN LIGHTING REQUIREMENTS".
THE FOLLOWING INFORMATION PERTAINING TO THE PROPOSED LIGHTING FIXTURES AND PLAN MUST BE PROVIDED:
 - COMPUTER PREPARED PHOTOMETRIC LAYOUT ON A SEPARATE SITE LIGHTING PLAN OF THE PROPOSED LIGHTED AREA, WHICH INDICATES POINT-BY-POINT PL-C PLOT OF THE SYSTEM'S PERFORMANCE.
 - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, ISOFOT CANDLE PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLAST, WATTAGE, VOLTAGE, FINISH AND HOUSING DESCRIPTION.
 - THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
 - A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.
- AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT BASED UPON AN APPLICATION OF THE RELEVANT ZONING LAW PROVISIONS. IN CONNECTION WITH ANY REQUIREMENT FOR ADDITIONAL SHIELDING, PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW.
- EXTERIOR ARCHITECTURAL LIGHTING MUST BE SHOWN ON THIS PLAN. INTERIOR LIGHTING FIXTURES OR REFLECTING SURFACES WHICH ARE VISIBLE OUTSIDE THE BUILDING ALSO MUST BE SHOWN ON THE PLAN. ALL SUCH SITUATIONS MUST BE REVIEWED BY THE PLANNING BOARD AND MEET TOWN LAW REQUIREMENTS/ZONING LAW 9235-16.5 REGARDING SITE PLAN LIGHTING AND LIGHT TRESPASS.
- ALL LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION MUST BE SUBMITTED TO AND APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH THE ABOVE.
- THE LIGHTING PLAN SHALL BE SHOWN ON A SEPARATE SHEET AS PART OF THE OVERALL PLAN SET. THE LIGHTING PLAN SHALL INCLUDE A POINT-BY-POINT FOOT CANDLE (PL-C) PLOT, LUMINAIRE SCHEDULE, CALCULATION SUMMARY AND A DRAWING OF THE LUMINAIRE, POLE AND POLE BASE.

COMPLIANCE TABLE FOR LIGHTING REQUIREMENTS

SECTION	REQUIREMENT	PROVIDED	COMPLIES
9235-16.5(c)	ALL EXTERIOR LUMINAIRE SHALL BE FLUORESCENT METAL HALIDE OR LIGHT EMITTING DIODES (LED) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES
9235-16.5(d)	PARKING LOT, WALKWAY AND OTHER COMMERCIAL SITE LIGHTING AREAS SHALL MAINTAIN AN AVERAGE ILLUMINATION LEVEL OF THREE QUARTERS (0.75) TO FIVE (5) FOOT CANDLES AT THE GROUND	THE PARKING LOT AREA IS WITHIN THE ACCEPTABLE RANGE	YES
9235-16.5(f)	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES

PRELIMINARY/FINAL
MAJOR SITE PLAN & MINOR
SUBDIVISION
FOR
RDM GROUP LLC

TAX LOTS:
36-1-11.23, 36-1-11.221,
36-1-11.211, 36-1-11.1,
36-1-10.11, 33-1-91,
TOWN OF MONTGOMERY
ORANGE COUNTY
NEW YORK



LIGHTING PLAN NOTES

- REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND SHEET 25 ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
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- LUMINAIRES AND POLE FINISHES TO BE COORDINATED.

TOWN OF MONTGOMERY LIGHTING PLAN NOTES

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- COMPUTER PREPARED PHOTOMETRIC LAYOUT ON A SEPARATE SITE LIGHTING PLAN OF THE PROPOSED LIGHTED AREA, WHICH INDICATES POINT-BY-POINT FL-C PLOT OF THE SYSTEM'S PERFORMANCE.
 - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, SOFPOOT CANDLE PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH, AND HOUSING DESCRIPTION.
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CALCULATION SUMMARY
(APPLIES TO TRAILER PARKING AREA OF LOT 2 ONLY)

AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
TRUCK PARKING	FC	0.9	4.0	0.1	40.0	9.0
ENTRANCE DRIVE	FC	1.3	2.0	0.8	2.5	1.6

LEGEND

- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED AREA LIGHT
- = PROPOSED WALL MOUNTED LIGHT

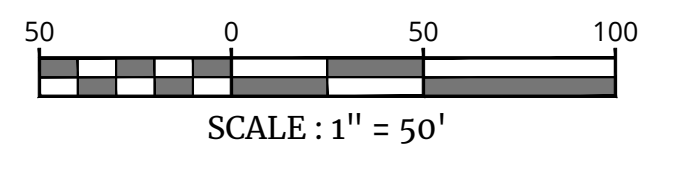
COMPLIANCE TABLE FOR LIGHTING REQUIREMENTS

SECTION	REQUIREMENT	PROVIDED	COMPLIES
§235-16.5(C) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	ALL EXTERIOR LUMINAIRES SHALL BE PULSE-START METAL HALIDE OR LIGHT EMITTING DIODES (LED) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES
§235-16.5(C)(6) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT, WALKWAY AND OTHER COMMERCIAL SITE LIGHTING AREAS SHALL MAINTAIN AN AVERAGE ILLUMINATION LEVEL OF THREE QUARTERS (0.75 TO FIVE (5) FOOT-CANDELS AT THE GROUND)	THE PARKING LOT AREA IS WITHIN THE ACCEPTABLE RANGE	YES
§235-16.5(C)(7) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES

SEE CONSTRUCTION DETAILS FOR LIGHTING DETAILS

THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

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PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION
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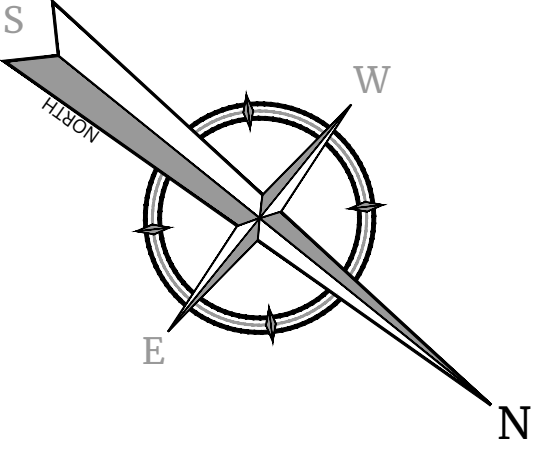
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REGISTERED PROFESSIONAL ENGINEERS
EXERCISING AUTHORITY IN THE STATE OF NEW YORK

DATE: 05/12/23
AS SHOWN: CMA
PROJECT NUMBER: 21000327A
DRAWING NAME: C-LGHT
DRAWN BY: JBC
CHECKED BY: JBC

SHEET TITLE:
LIGHTING PLAN - TRAILER PARKING
SHEET NUMBER:
29 of 42



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING, WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
13. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
14. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.
15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

MAINTENANCE PLAN DURING CONSTRUCTION:

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-030-001. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).

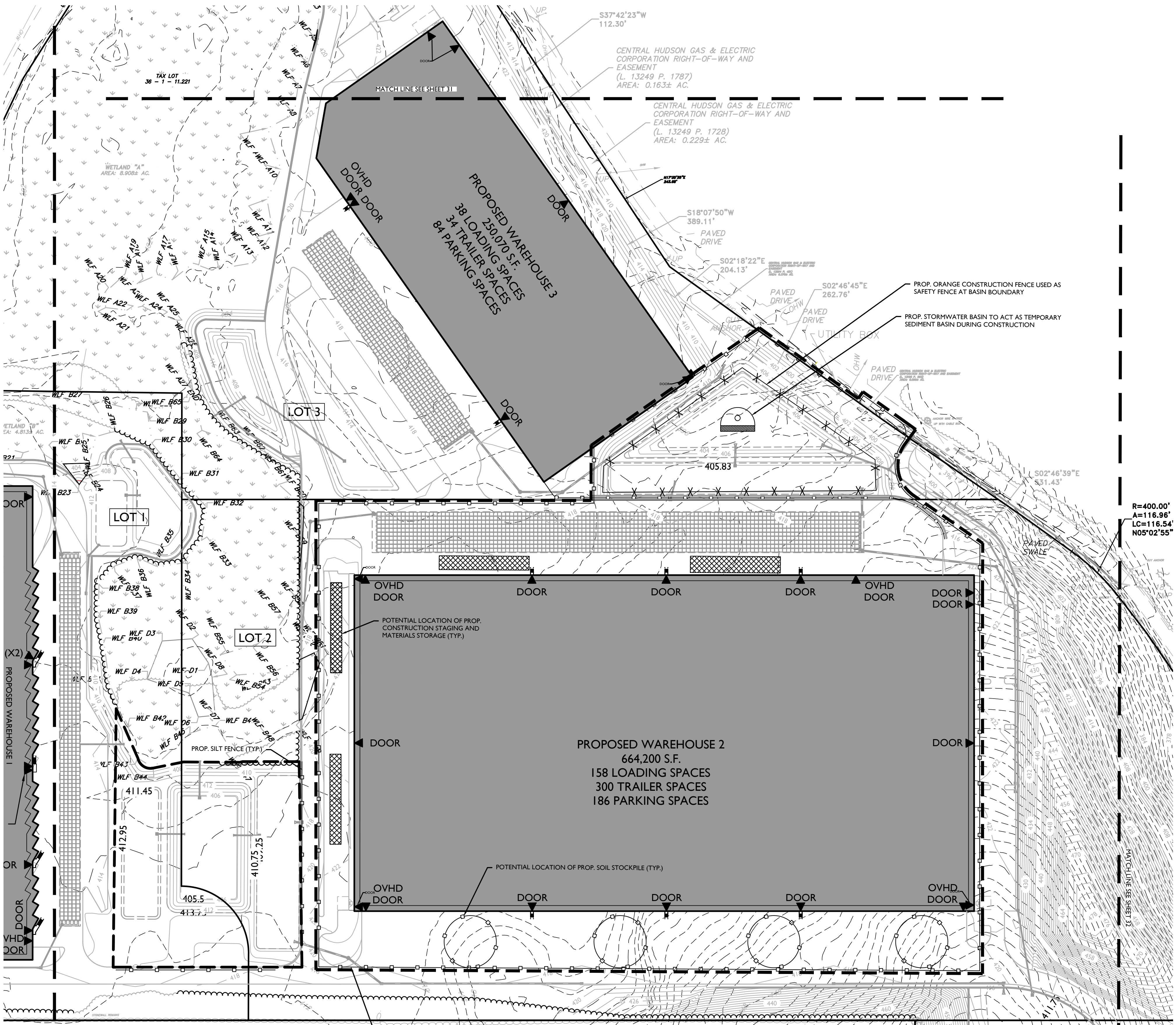
SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 3)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

1. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

PHASE 3: CONSTRUCTION OF BUILDING 2 AND STORMWATER BASIN

1. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE, AS PER THE APPROVED PLANS.
2. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE 3.
3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.
4. EXCAVATE AND CONSTRUCT STORMWATER BASIN.
5. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.
6. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING.
7. INSTALL UTILITY AND STORMWATER PIPESTRUCTURES AS INDICATED ON THE GRADING AND UTILITY PLANS.
8. ROUGH GRADE THE LIMITS WITHIN PHASE 3.
9. CONSTRUCT BUILDING 2 FOUNDATION, STRUCTURE, AND RETAINING WALLS AS SHOWN ON THE GRADING PLAN.
10. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED LOADING DOCKS BASED ON THE LAYOUT AND GRADING PLANS.
11. ADD PARKING STRIPING AS SHOWN ON THE LAYOUT PLAN.
12. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES. ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 4 MAY BEGIN.



PROP. LIMIT OF PHASE 3
TOTAL AREA = ±1,094,184 SF (±25.12 AC)
(SILT FENCE OFFSET 5' FROM LOD FOR GRAPHICAL PURPOSES)

SEE CONSTRUCTION DETAILS FOR EROSION AND SEDIMENT CONTROL DETAILS

THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY.

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 96.22 ACRES

LEGEND

- [Symbol] = SILT FENCE
- [Symbol] = INLET PROTECTION
- [Symbol] = STAGING AREA
- [Symbol] = CONSTRUCTION ENTRANCE
- [Symbol] = LIMIT OF DISTURBANCE
- [Symbol] = SAWCUT AND ASPHALT PAVEMENT REPAIR
- [Symbol] = ORANGE CONSTRUCTION FENCE
- [Symbol] = TEMPORARY STONE OUTLET SEDIMENT TRAP
- [Symbol] = COMPOST FILTER SOCK



SCALE: 1" = 100'

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION

FOR RDM GROUP LLC

TAX LOTS:
36-1-33, 36-1-11.221,
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REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS IN PA, NJ, AND SEVERAL OTHER STATES

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	05/12/23	CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21000327A	C-SE-SC		

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 3

SHEET NUMBER:
33 of 42

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

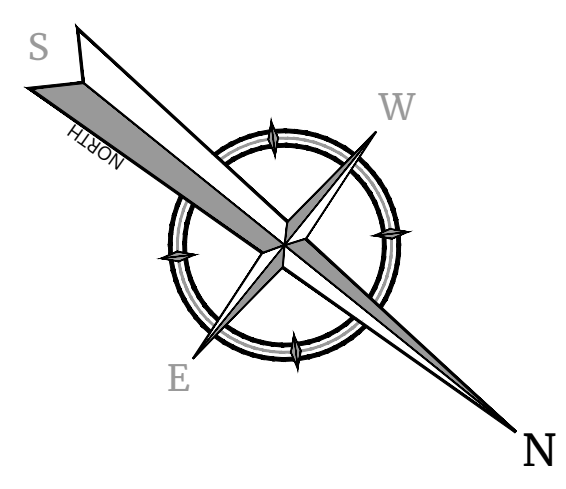
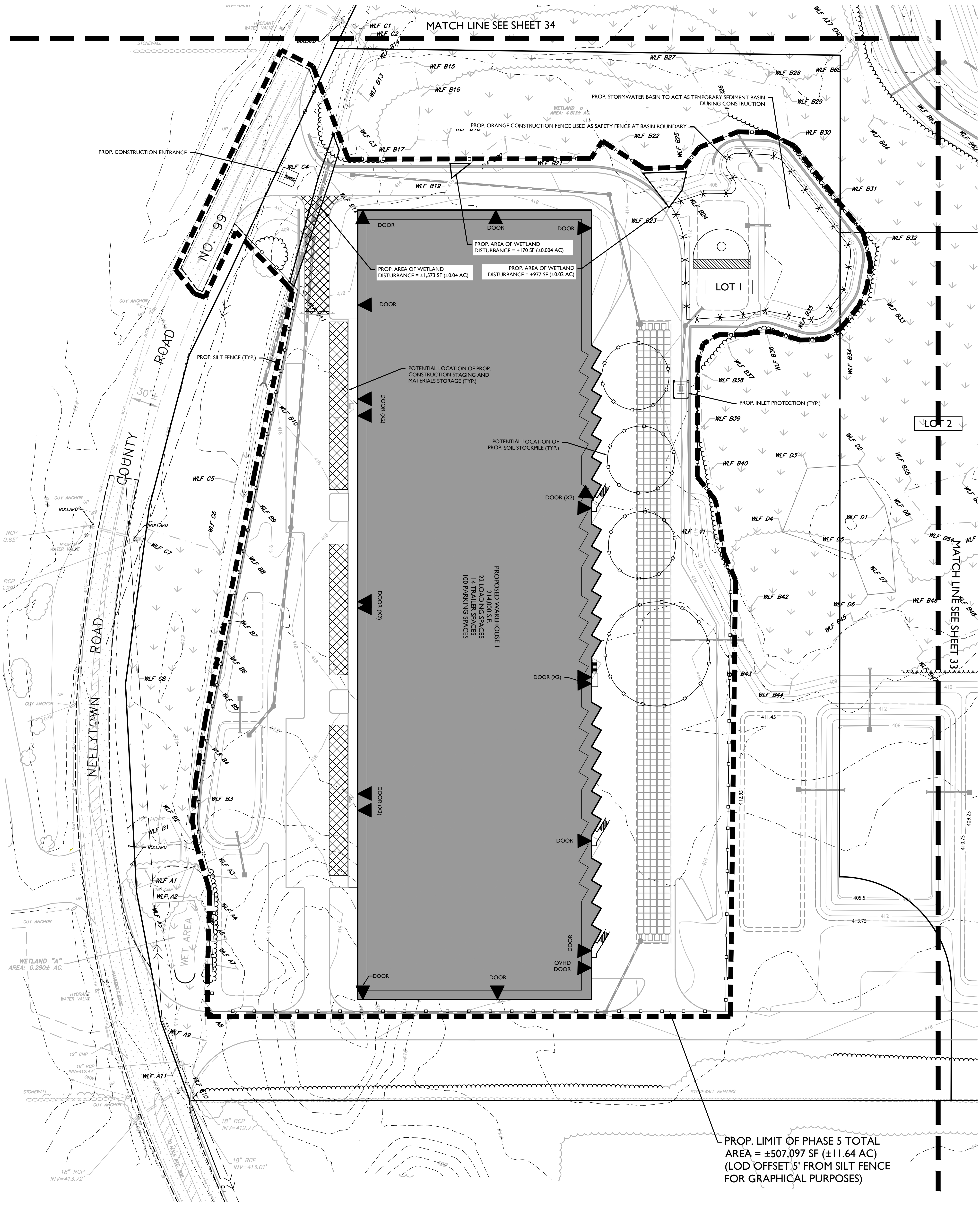
PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

TAX LOTS: 36-1-33, 36-1-11.221, 36-1-11.23, 36-1-11.212, 36-1-11.211, 36-1-11.1, 36-1-10.1, 33-1-91,

TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK

Colliers Engineering & Design. 50 Chestnut Ridge Road, Suite 101, Montvale, NJ 07645. Phone: 845-352-0411

DATE: 05/12/23, DRAWN BY: CMA, CHECKED BY: JBC, PROJECT NUMBER: 21000327A, DRAWING NAME: C-SEFC



SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE...
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS...
3. PERMANENT VEGETATION TO BE SEEDED OR SODED ON ALL EXPOSED AREAS...
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION...
7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS...
8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED...
9. UNFILTERED DEWATERING IS NOT PERMITTED...
10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY...
11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE...
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR...
13. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD...
14. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR...
15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT...
MAINTENANCE PLAN DURING CONSTRUCTION:
INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-030-001. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED...
DRAWN BY: CMA

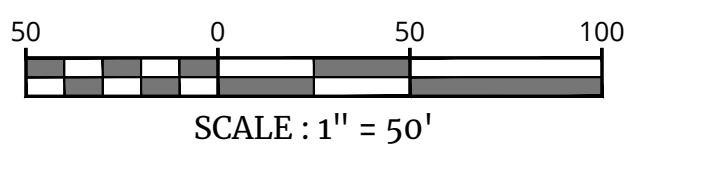
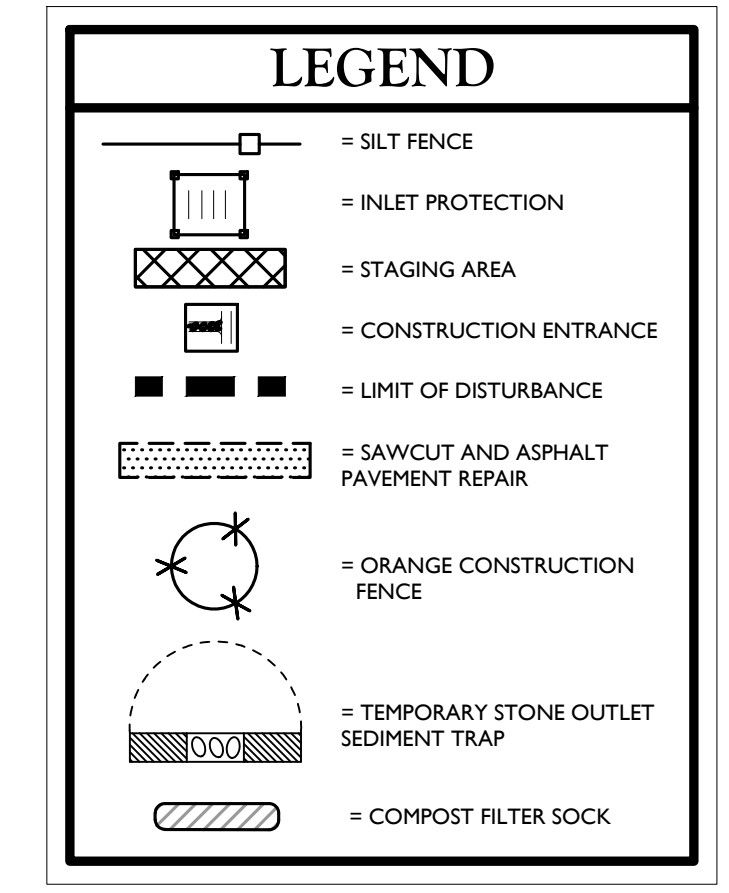
SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 5)

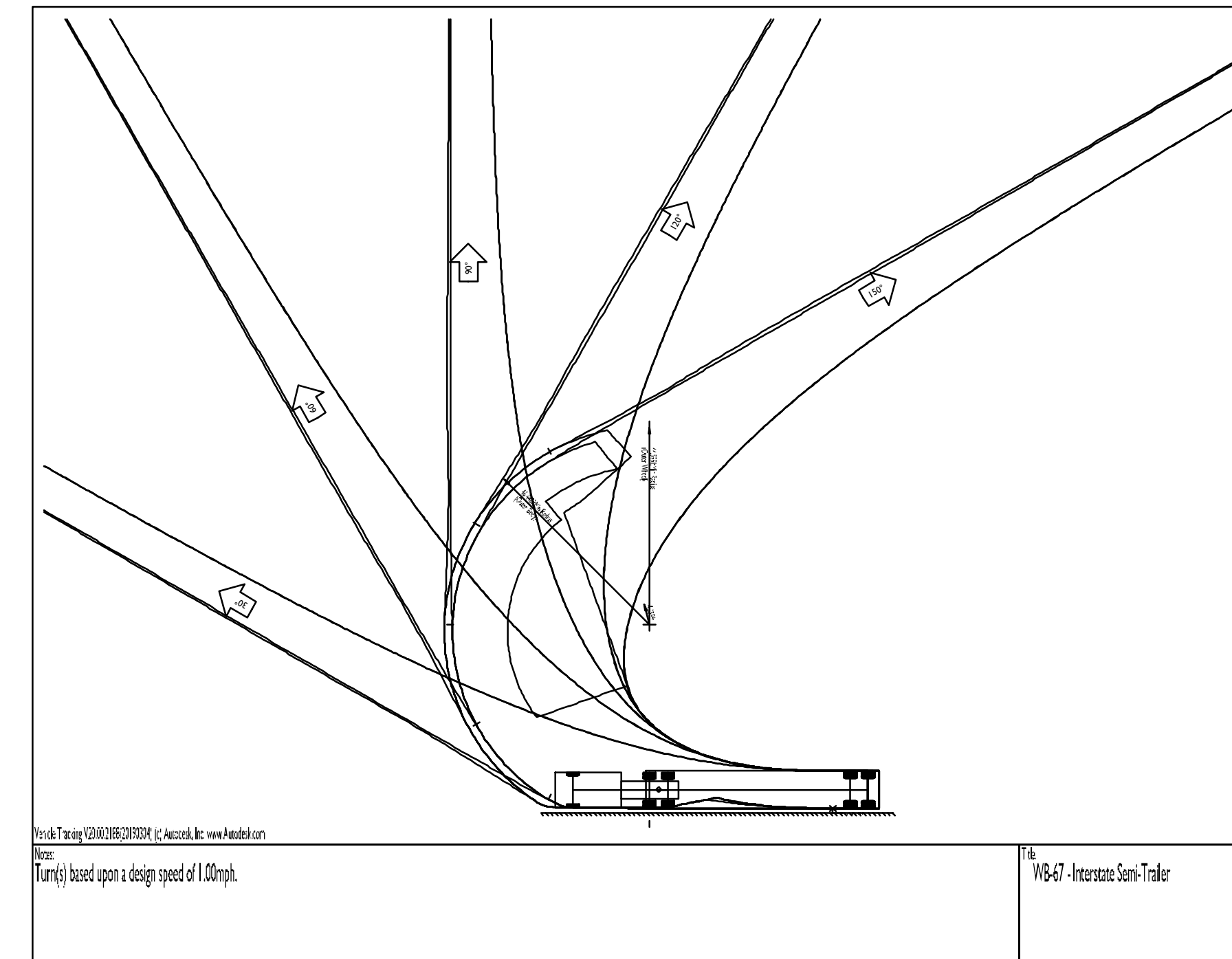
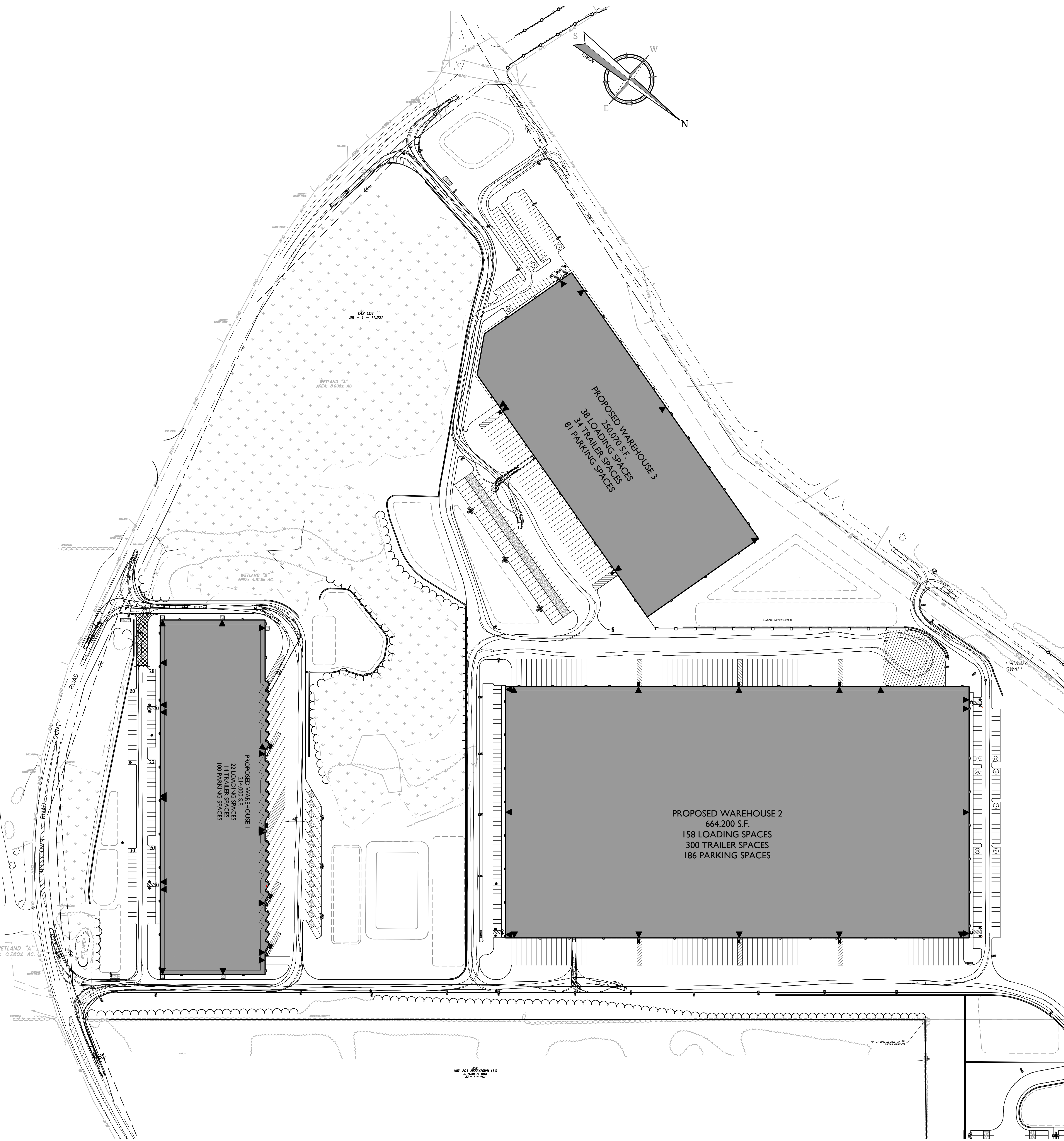
- GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:
1. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS...
3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE...
4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS...
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED...
6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION...
PHASE 5: CONSTRUCTION OF BUILDING 1 AND STORMWATER BASIN
1. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE...
2. CLEAR STUMPS AND ANY REMAINING VEGETATION...
3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.
4. EXCAVATE AND CONSTRUCT STORMWATER BASIN.
5. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN...
6. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING.
7. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES...
8. ROUGH GRADE THE LIMITS WITHIN PHASE 5.
9. CONSTRUCT BUILDING 1 FOUNDATION, STRUCTURE, AND RETAINING WALLS...
10. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE)...
11. ADD PARKING STRIPING...
12. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED...

SEE CONSTRUCTION DETAILS FOR EROSION AND SEDIMENT CONTROL DETAILS

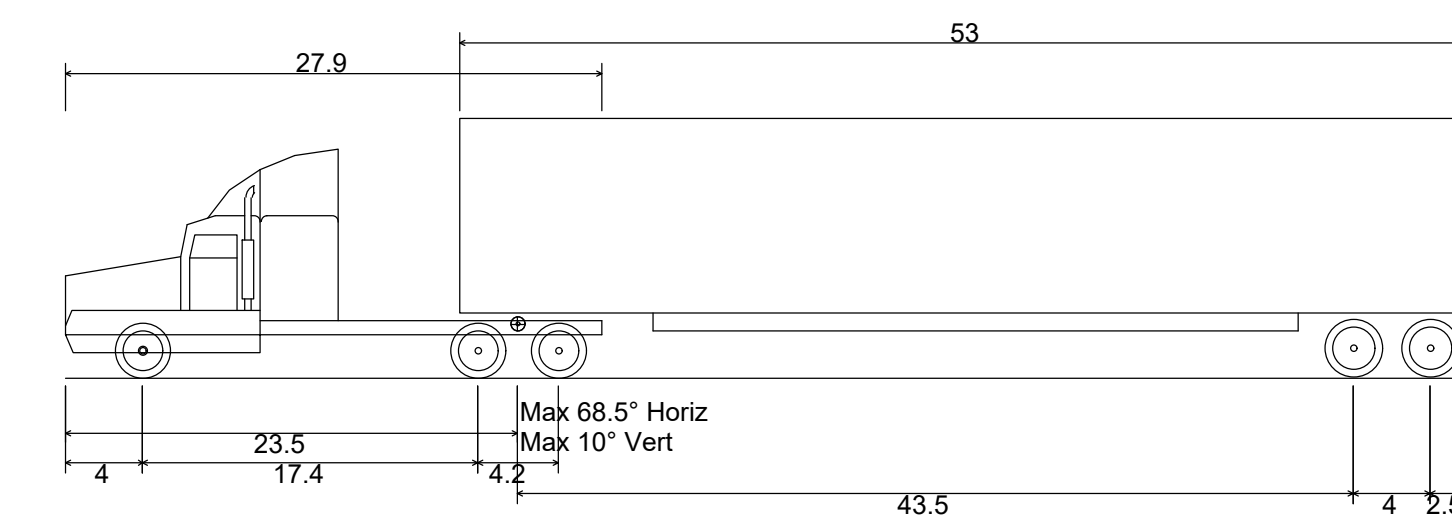
THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY.

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 96.22 ACRES



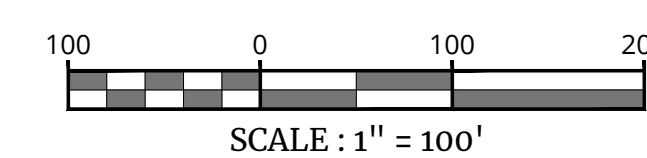


TURNING TEMPLATE
SCALE: 1" = 30'



WB-67 - Interstate Semi-Trailer
 Overall Length 73.50ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.50ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40°

VEHICLE PROFILE
SCALE: 1" = 10'



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 FOR
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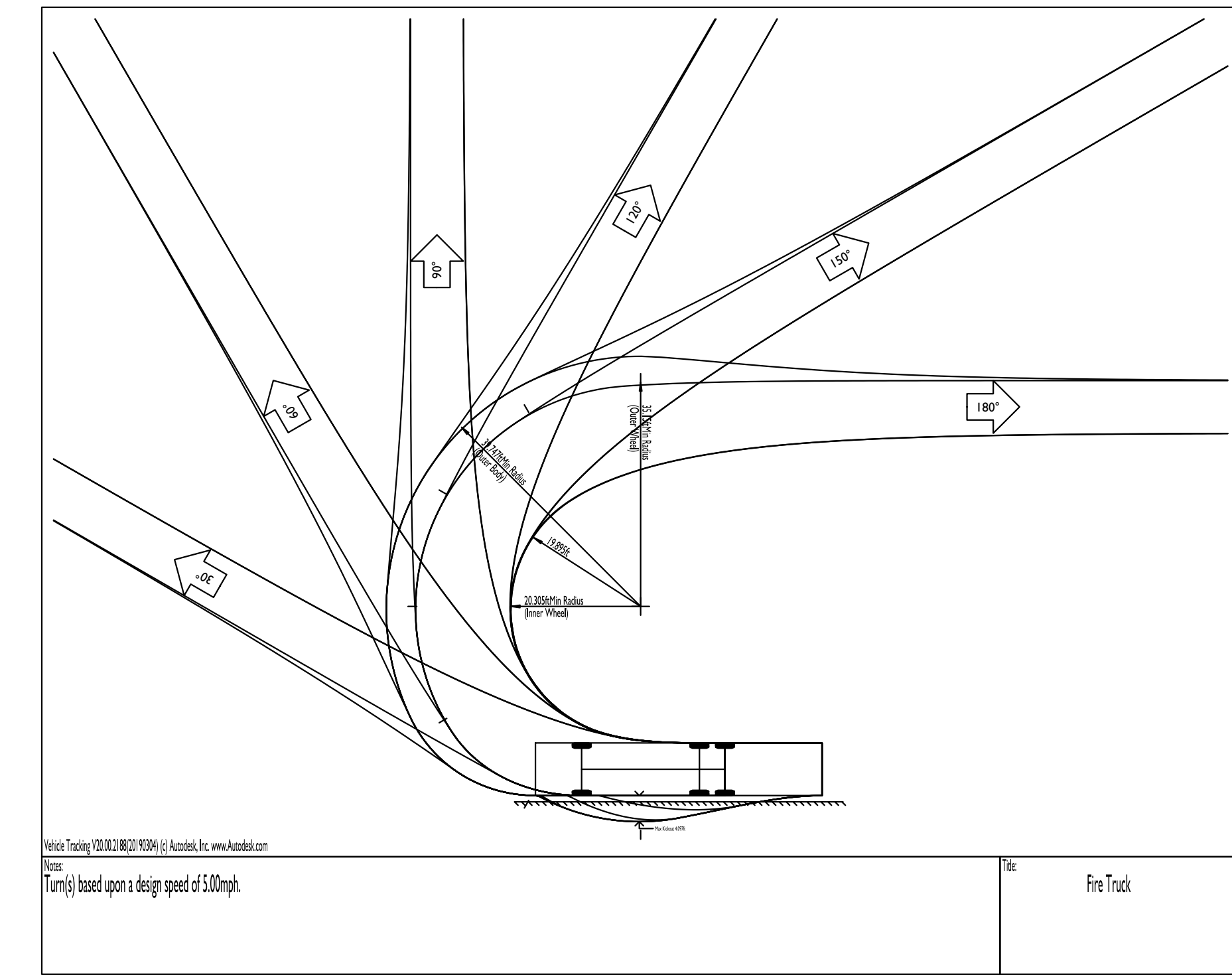
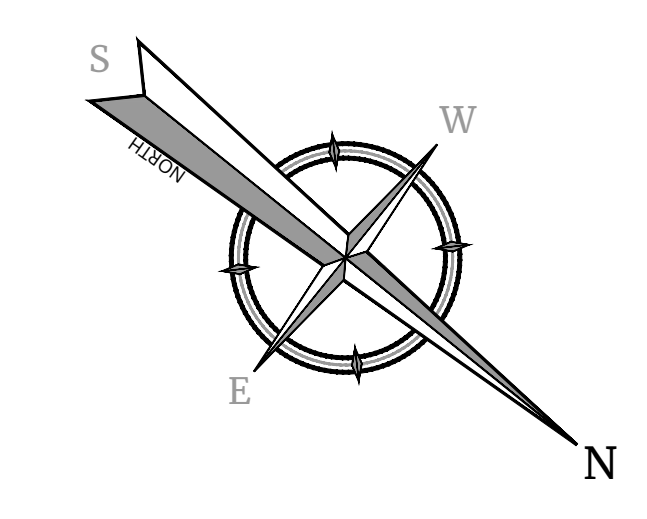
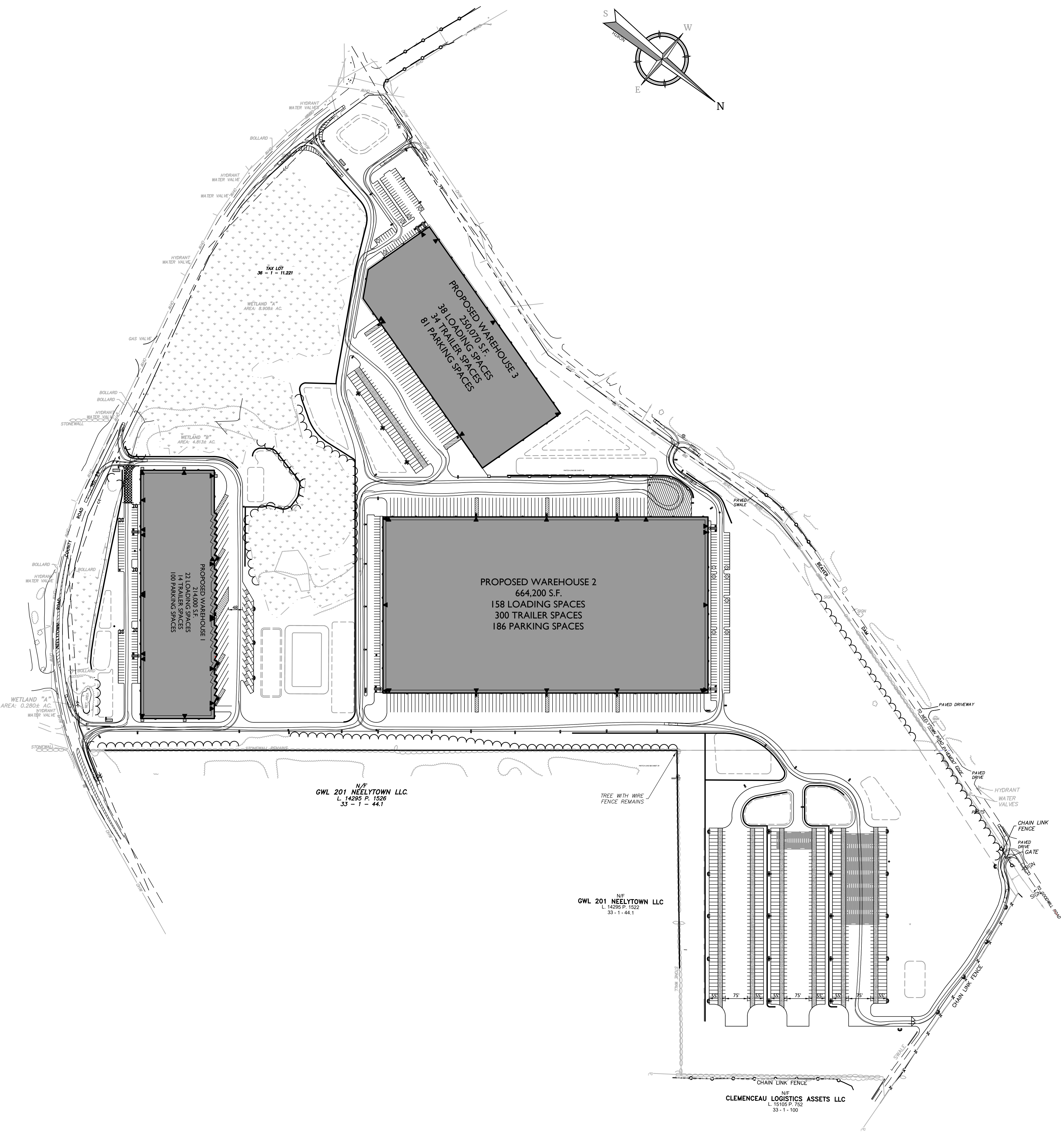
Colliers
 Engineering & Design
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 Suite 101
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 Phone: 845.352.0411
 COLLIERS ENGINEERING & DESIGN, P.C.
 ENGINEERS AND LAND SURVEYORS, P.A.
 A PROFESSIONAL CORPORATION

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	05/12/23	CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21000327A	C-TRUCK-TURN		

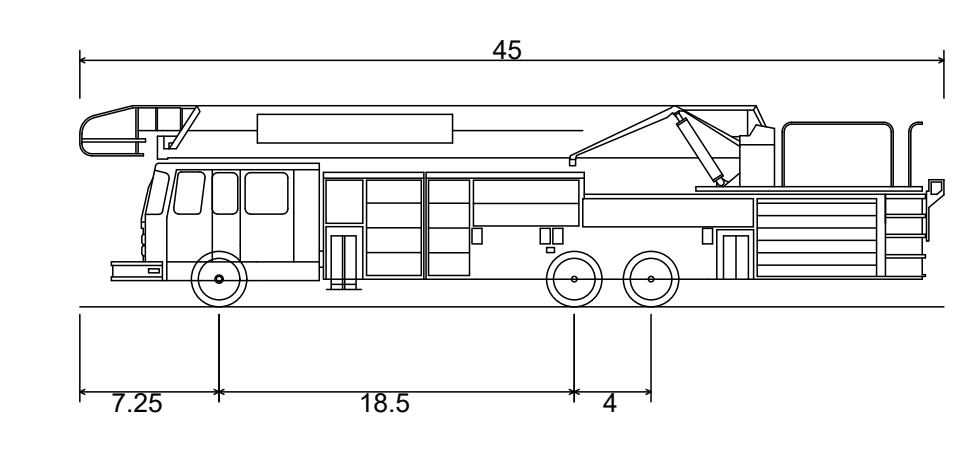
SHEET TITLE:
TRUCK TURNING PLAN

SHEET NUMBER:
 40 of 42

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

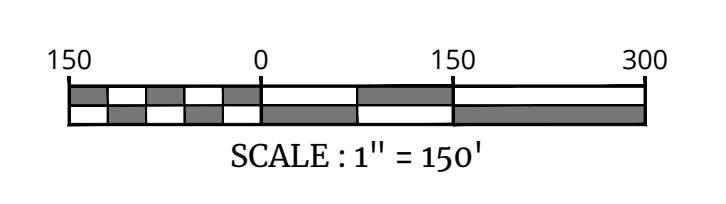


TURNING TEMPLATE
SCALE: 1" = 20'



Fire Truck
Overall Length 45.000ft
Overall Width 8.250ft
Overall Body Height 10.475ft
Min Body Ground Clearance 0.906ft
Track Width 8.250ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 35.150ft

VEHICLE PROFILE
SCALE: 1" = 10'



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COLLIERS ENGINEERING & DESIGN, L.L.C.
REGISTERED PROFESSIONAL ENGINEERS AND ARCHITECTS IN NJ, NY, PA, and OHIO

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	05/12/23	CMA	JBC
PROJECT NUMBER:	DRAWING NAME:		
21000327A	C-TRUCK-TURN		

SHEET TITLE:
FIRE TRUCK TURNING PLAN

SHEET NUMBER:
41 of 42