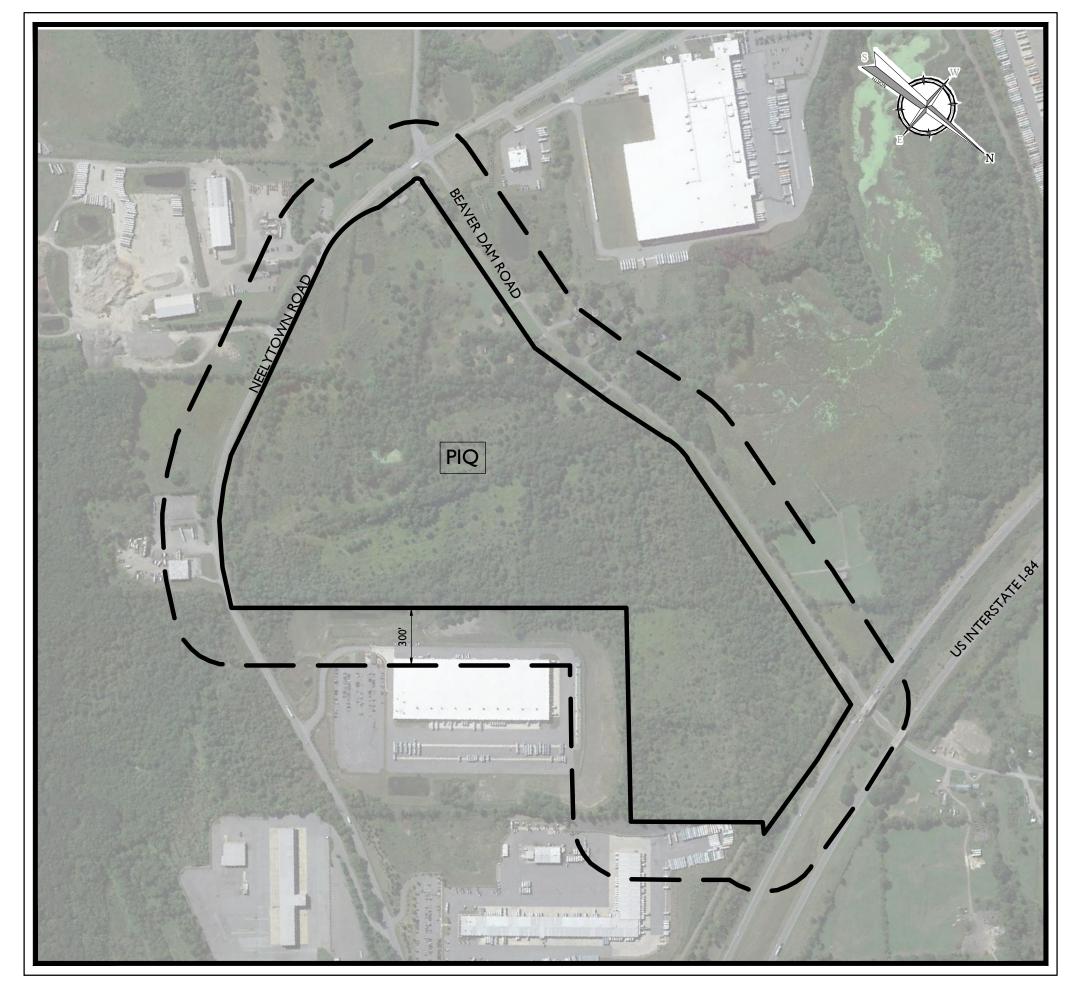
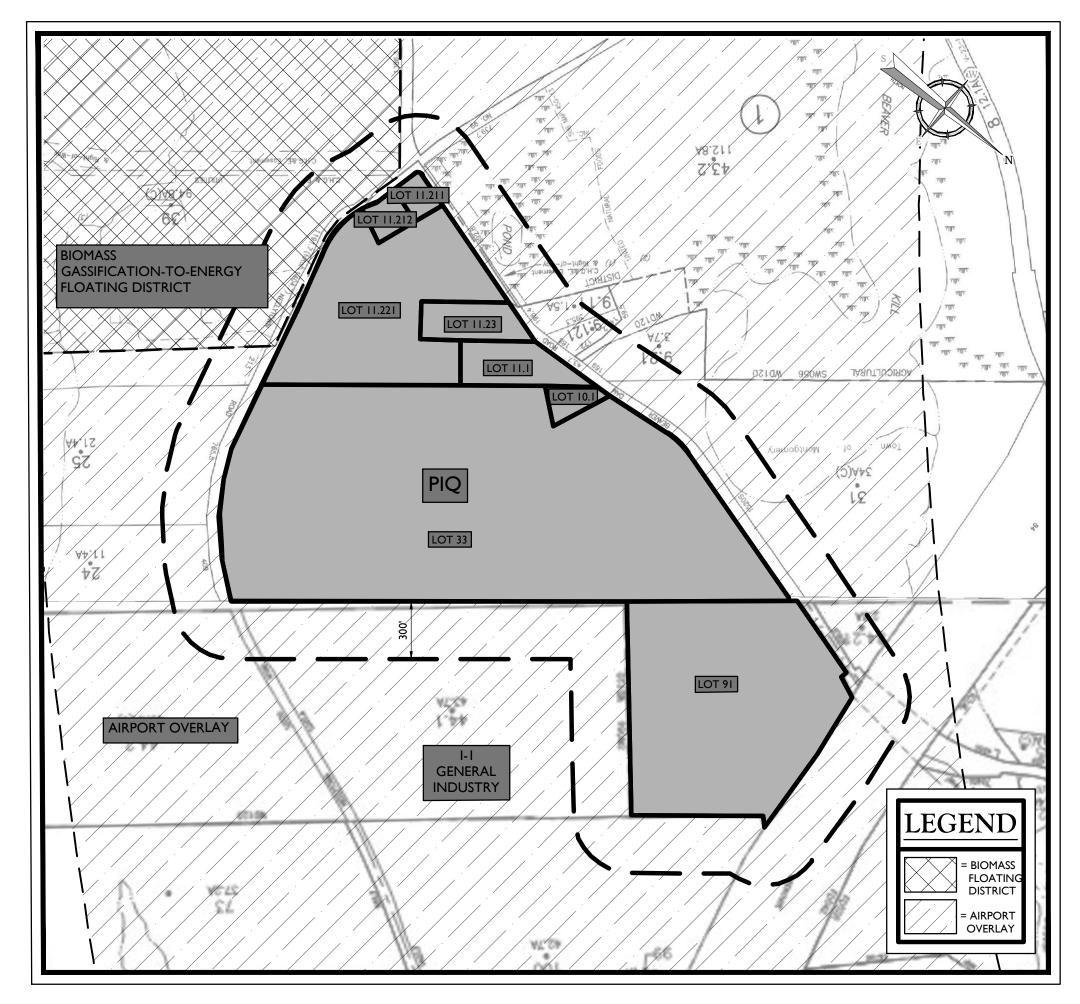
FOR RDM GROUP, LLC NEELYTOWN BUSINESS PARK DEVELOPMENT SECTION 33, BLOCK 1, LOT 91 TOWN OF MONTGOMERY **ORANGE COUNTY** NEW YORK

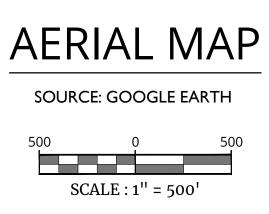
PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION SECTION 36, BLOCK 1, LOTS 33/11.221/11.23/11.212/11.211/11.11/10.1



(PROPERTY LIST TO BE PROVIDED BY THE TOWN OF MONTGOMERY)







SOURCE: ORANGE COUNTY WEBSITE 0 SCALE : 1" = 500'

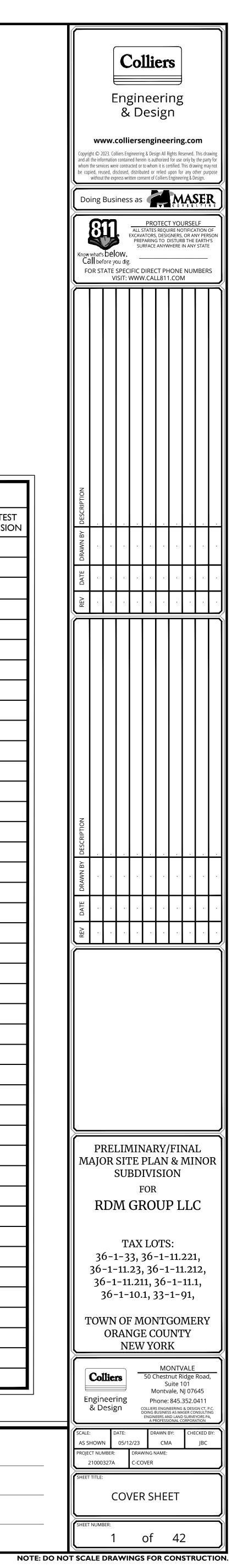
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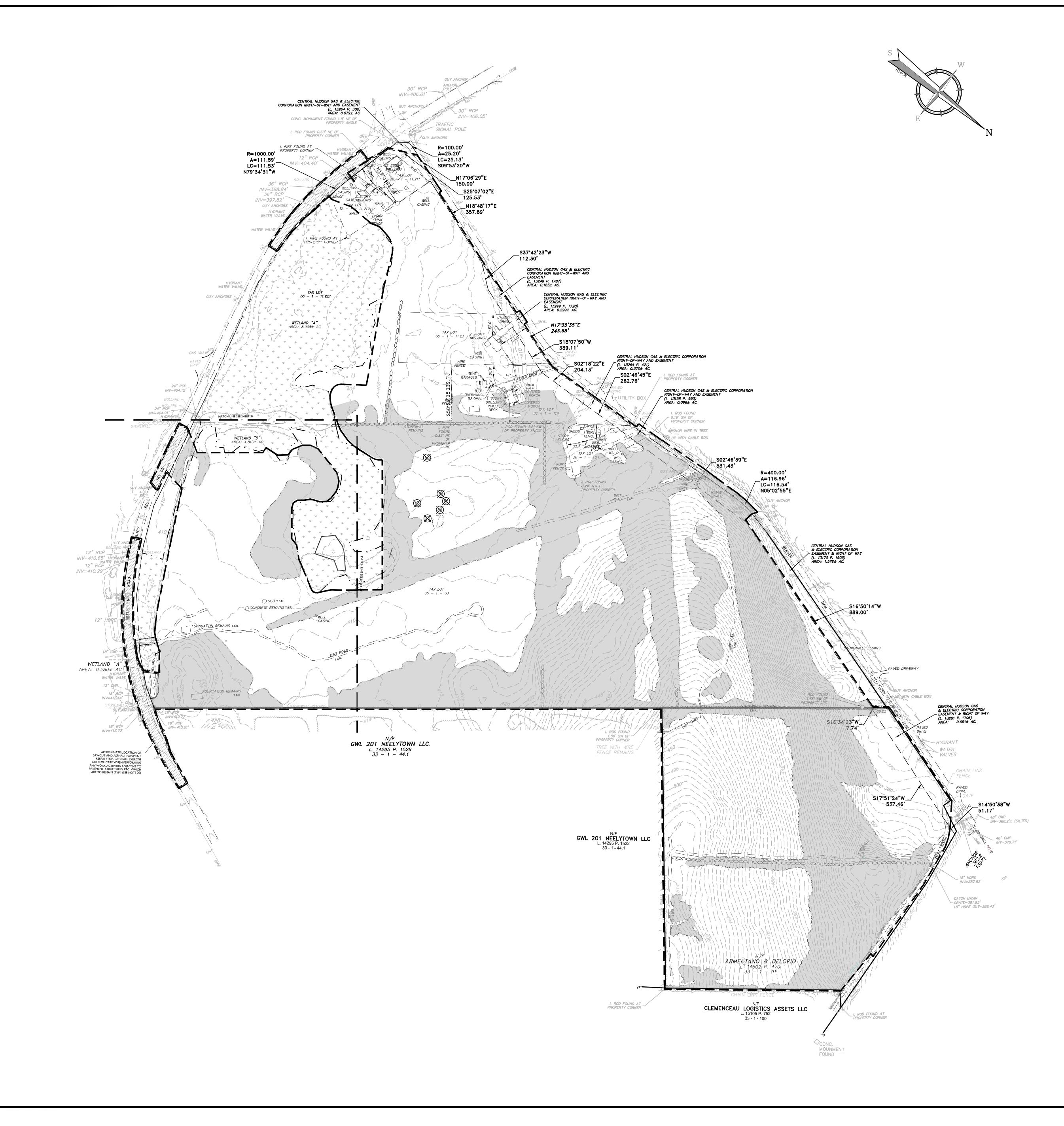
COLLIERS ENGINEERING & DESIGN, CT, P.C. 50 CHESTNUT RIDGE ROAD, SUITE 101 MONTVALE, NJ 07645

TAX & ZONING MAP

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2	OVERALL EXISTING CONDITIONS & DEMOLITION PLAN	
3	EXISTING CONDITIONS & DEMOLITION PLAN - SOUTH	
4	EXISTING CONDITIONS & DEMOLITION PLAN - NORTH	
5	OVERALL LAYOUT PLAN	
6	LAYOUT PLAN - BUILDING I	
7	LAYOUT PLAN - BUILDING 2	
8	LAYOUT PLAN - BUILDING 3	
9	LAYOUT PLAN - TRAILER PARKING	
10	OVERALL GRADING & DRAINAGE PLAN	
П	GRADING & DRAINAGE PLAN - BUILDING I	
12	GRADING & DRAINAGE PLAN - BUILDING 2	
13	GRADING & DRAINAGE PLAN - BUILDING 3	
14	GRADING & DRAINAGE PLAN - TRAILER PARKING	
15	OVERALL UTILITIES PLAN	
16	UTILITIES PLAN - BUILDING I	
17	UTILITIES PLAN - BUILDING 2	
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19	UTILITIES PLAN - TRAILER PARKING	
20	OVERALL LANDSCAPING PLAN	
21	LANDSCAPING PLAN - BUILDING I	
22	LANDSCAPING PLAN - BUILDING 2	
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24	LANDSCAPING PLAN - TRAILER PARKING	
25	OVERALL LIGHTING PLAN	
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31	SOIL EROSION & SEDIMENT CONTROL - PHASE I	
32	SOIL EROSION & SEDIMENT CONTROL - PHASE 2	
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34	SOIL EROSION & SEDIMENT CONTROL - PHASE 4	
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36	CONSTRUCTION DETAILS	
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38	CONSTRUCTION DETAILS	
39	CONSTRUCTION DETAILS	
40	TRUCK TURNING PLAN	
41	FIRE TRUCK TURNING PLAN	
42	MINOR SUBDIVISION PLAT	

APPROVED BY THE PLANNING BOARD OF THE TOWN OF MONT REGULAR MEETING OF DATE	GOMERY AT THE
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE





7A/Engineering/Site Plans/C-DEMO.dwg/C-02-DEMOLITION BV: IGOLDS

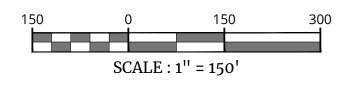
DEMOLITION NOTES:

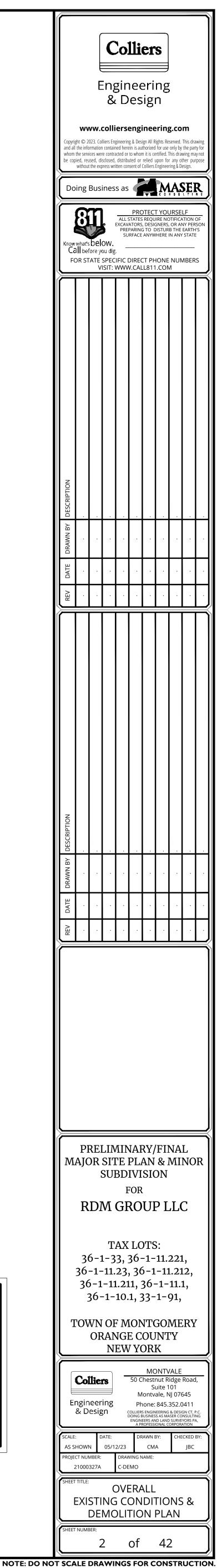
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 C. REPORT OF GEOTECHNICAL INVESTIGATION FOR MID-HUDSON INDUSTRIAL PARK, PREPARED BY KEVIN L. PATTON, DATED 04/20/23.
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- 3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- 4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- 5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES.
- THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL
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- H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- 6. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- 7. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- 8. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 9. CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- 10. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
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TREE CLEARING NOTES:

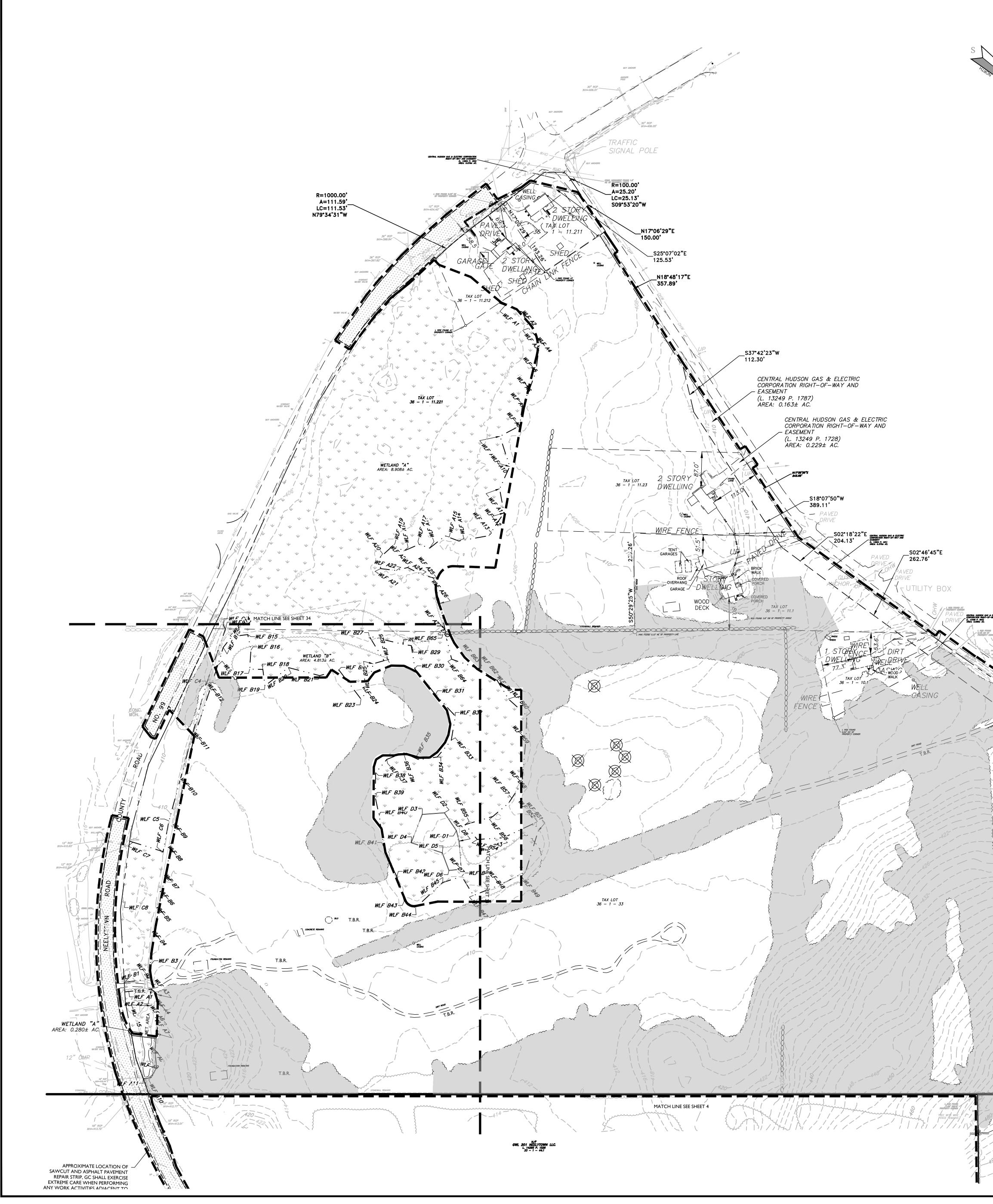
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LEGEND									
	= ITEMS TO BE REMOVED								
	= ITEMS TO REMAIN								
	= LIMIT OF DISTURBANCE								
T.B.R.	= TO BE REMOVED								
	= SAWCUT AND ASPHALT PAVEMENT REPAIR								
	= WOODED AREA TO BE REMOVED								
\bigotimes	= TREE TO BE REMOVED								





IOTE: DO NOT SCALE DRAWINGS FOR CONSTR



3327A\Engineering\Site Plans\C-DEMO.dwg\C-03-DEMOLITION-S By: JGOLDSTEIN



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- R=400.00 A=116.96 LC=116.5 N05°02'55 CC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

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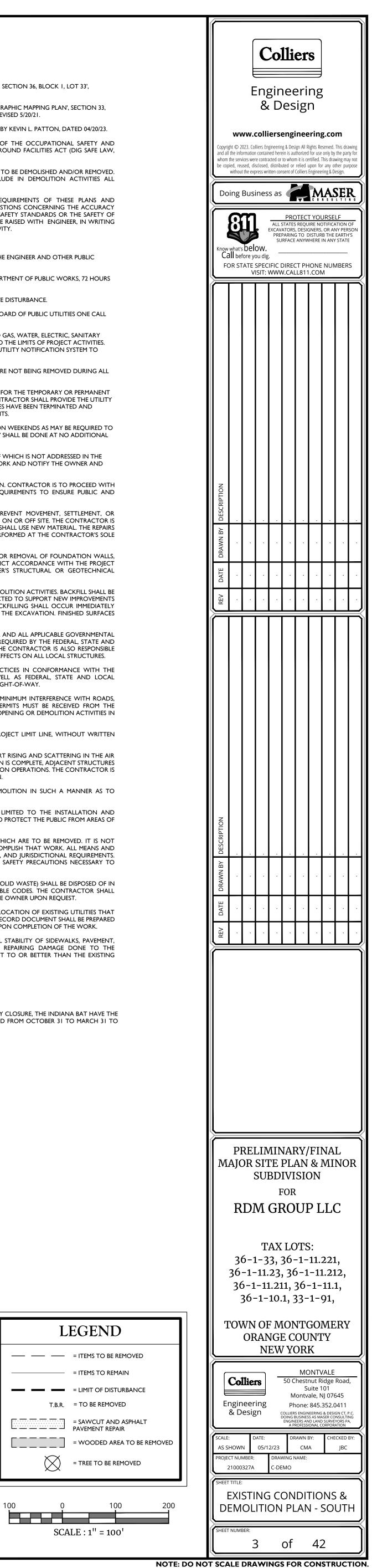
> _S16*50'14"W 889.00'

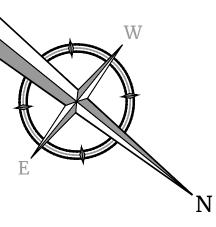
I. ROD FOUND 3.73' SW OF -... PROFERTY JUNE

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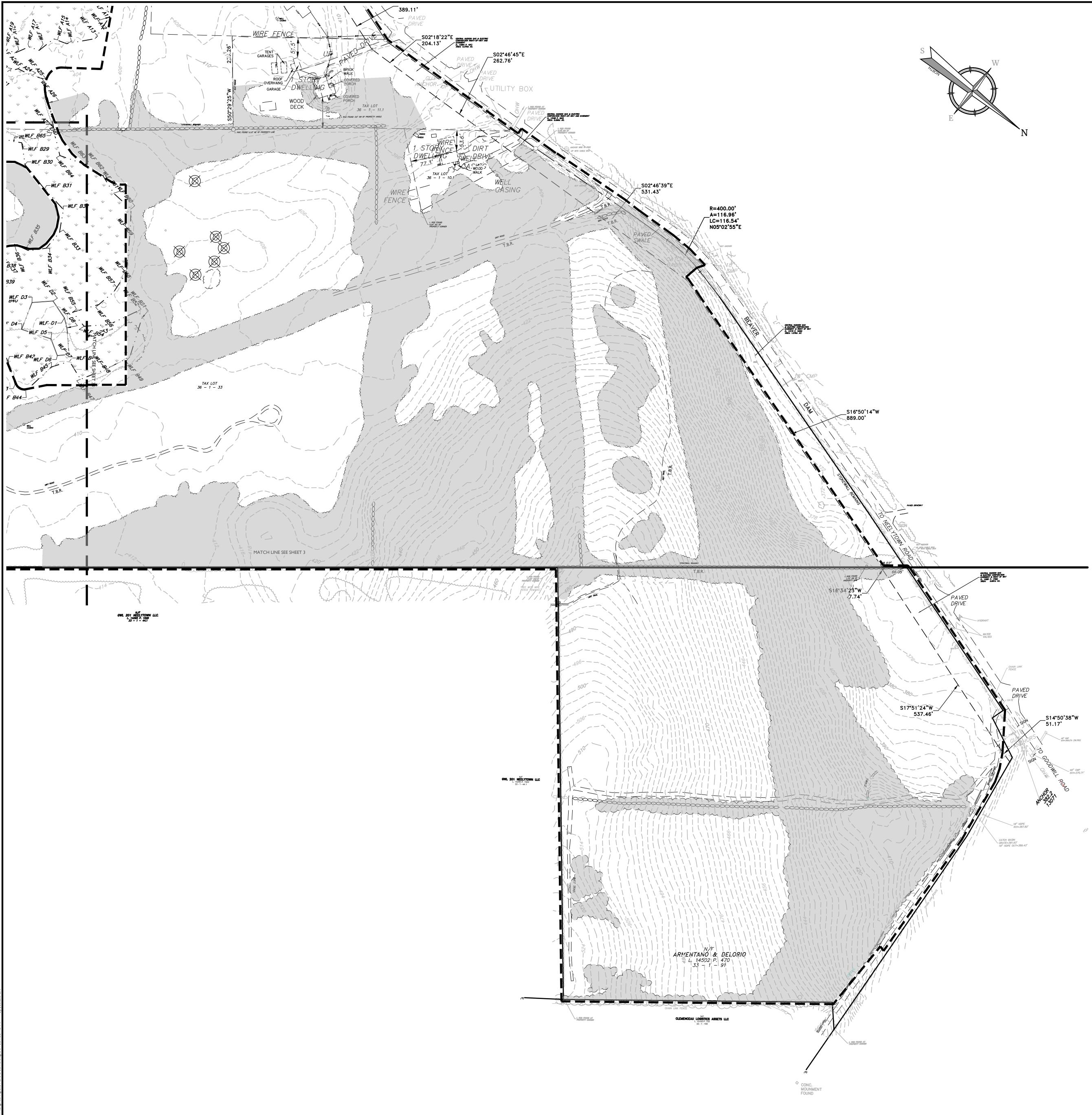
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DEMOLITION NOTES:

- I. THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
- A. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'SURVEY PREPARED FOR RDM GROUP, LLC, SECTION 36, BLOCK 1, LOT 33', PREPARED BY LANC & TULLY P.C., SHEET 1 OF 1, DATED 3/12/21.
- B. BOUNDARY AND TOPOGRAPHIC SURVEY ENTITLED 'ALTA/NSPS LAND TITLE SURVEY & TOPOGRAPHIC MAPPING PLAN', SECTION 33, BLOCK 1, LOT 91, SHEET 1 OF 1, PREPARED BY ENGINEERING & SURVEYING PROPERTIES, LAST REVISED 5/20/21.
 C. REPORT OF GEOTECHNICAL INVESTIGATION FOR MID-HUDSON INDUSTRIAL PARK, PREPARED BY KEVIN L. PATTON, DATED 04/20/23.
- 2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, I6NYCRR PART 753) AS AMENDED.
- 3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- 4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- 5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO
- LOCATE ALL THE UNDERGROUND UTILITIES. F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- 6. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- 7. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- 8. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 9. CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- 10. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 11. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- 12. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- 13. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- 14. THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
 15. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO
- PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME. 16. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND
- MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- 17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 18. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- 19. CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- 20. GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

TREE CLEARING NOTES:

 DUE TO THE PRESENCE OF POTENTIAL ROOSTS AND A WOODED AREA OF VARIABLE CANOPY CLOSURE, THE INDIANA BAT HAVE THE POTENTIAL TO OCCUR WITHIN THE PROJECT SITE. TREE CLEARING SHOULD BE CONDUCTED FROM OCTOBER 31 TO MARCH 31 TO MINIMIZE THE LIKELIHOOD OF ADVERSE IMPACTS TO THE INDIANA BAT SPECIES.
 BRIGHT FLAGGING/FENCING SHALL BE USED TO DEMARCATE TREES TO BE CLEARED.

LEGEND									
	= ITEMS TO BE REMOVED								
	= ITEMS TO REMAIN								
	= LIMIT OF DISTURBANCE								
T.B.R.	= TO BE REMOVED								
·····	= SAWCUT AND ASPHALT PAVEMENT REPAIR								
	= WOODED AREA TO BE REMOVED								
\bigotimes	= TREE TO BE REMOVED								
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	Doing Business as PROTECT YOURSELF All STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM										
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	SUBDIVISION FOR RDM GROUP LLC TAX LOTS: 36-1-33, 36-1-11.221, 36-1-11.23, 36-1-11.212, 36-1-11.211, 36-1-11.1, 36-1-10.1, 33-1-91, TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK										
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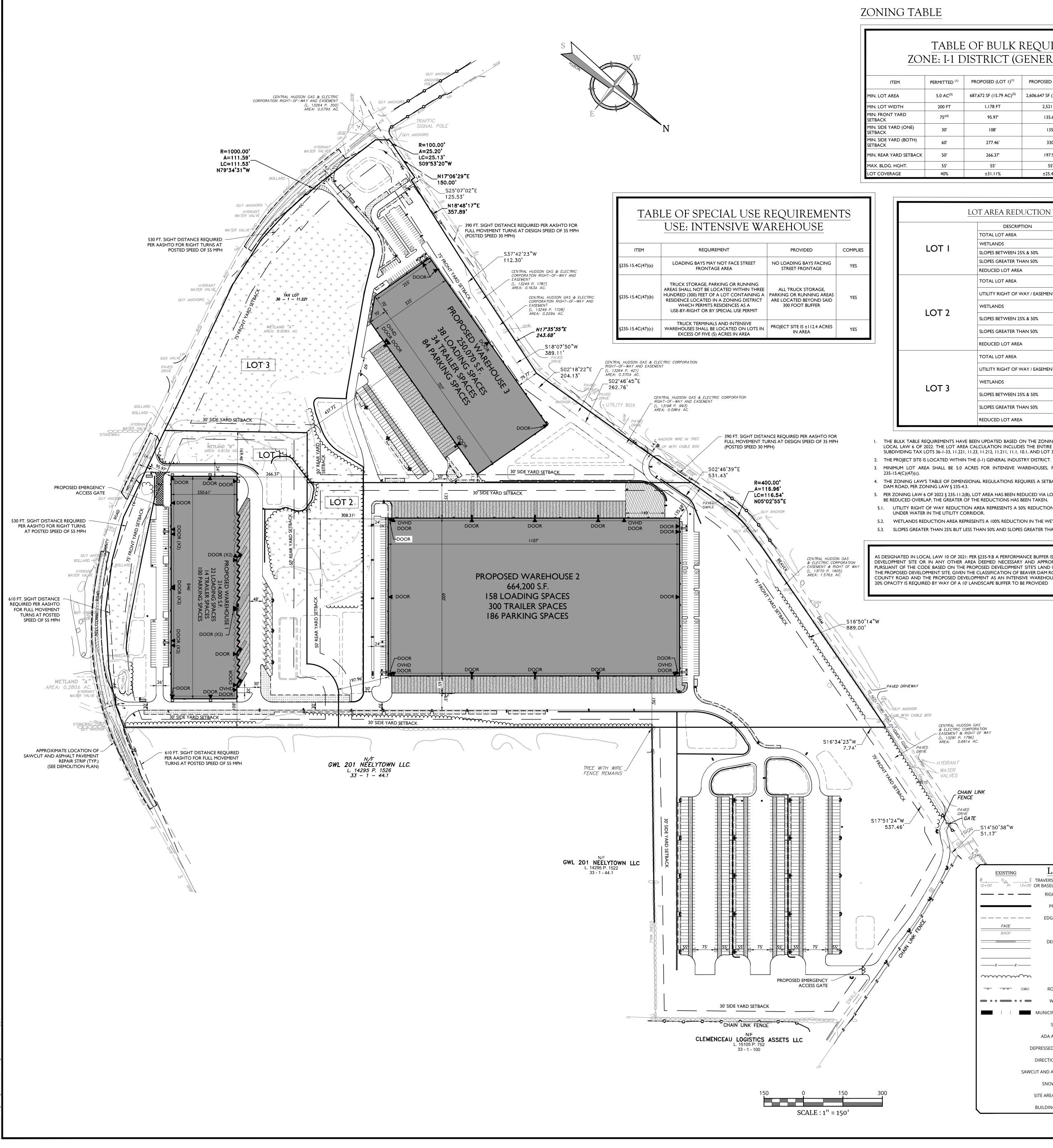


TABLE OF BULK REQUIREMENTS ZONE: I-1 DISTRICT (GENERAL INDUSTRY)

ed (I)	PROPOSED (LOT I) ⁽¹⁾	PROPOSED (LOT 2) ⁽¹⁾	PROPOSED (LOT 3) ⁽¹⁾	COMPLIES
C ⁽³⁾	687,672 SF (15.79 AC) ⁽⁵⁾	2,606,647 SF (59.84 AC) ⁽⁵⁾	815,091 SF (18.71 AC) ⁽⁵⁾	YES
-T	I,178 FT	2,521 FT	I,650 FT	YES
4)	95.97'	135.68'	79.77'	YES
I	108'	135'	31.3'	YES
I	277.46'	330'	31.3'	YES
1	266.37'	197.96'	437.72'	YES
1	55'	55'	55'	YES
6	±31.11%	±25.48%	±30.68%	YES

LOT AREA REDUCTION TABLE									
DESCRIPTION	REDUCTION	AREA							
TOTAL LOT AREA	N/A	818,917 SF (18.80 AC) (5)							
WETLANDS	100%	129,759 SF (2.97 AC) (5.2)							
SLOPES BETWEEN 25% & 50%	50%	1,428 SF (0.03 AC) ^(5.3)							
SLOPES GREATER THAN 50%	100%	58 SF (0.001 AC) ^(5.3)							
REDUCED LOT AREA	N/A	687,672 SF (15.79 AC) ⁽⁵⁾							
TOTAL LOT AREA	N/A	2,818,992 SF (64.71 AC) ⁽⁵⁾							
UTILITY RIGHT OF WAY / EASEMENT	50%	43,444 SF (0.99 AC) ^(5.1)							
WETLANDS	100%	70,778 SF (1.62 AC) ^(5.2)							
SLOPES BETWEEN 25% & 50%	50%	97,473 SF (2.23 AC) ^(5.3)							
SLOPES GREATER THAN 50%	100%	650 SF (0.01 AC) ^(5.3)							
REDUCED LOT AREA	N/A	2,606,647 SF (59.84 AC) ⁽⁵⁾							
TOTAL LOT AREA	N/A	I,260,683 SF (28.94 AC) ⁽⁵⁾							
UTILITY RIGHT OF WAY / EASEMENT	50%	25,370 SF (0.58 AC) ^(5.1)							
WETLANDS	100%	410,600 SF (9.42 AC) (5.2)							
SLOPES BETWEEN 25% & 50%	50%	8,792 SF (0.20 AC) ^(5.3)							
SLOPES GREATER THAN 50%	100%	830 SF (0.01 AC) ^(5.3)							
REDUCED LOT AREA	N/A	815,091 SF (18.71 AC) ⁽⁵⁾							

I. THE BULK TABLE REQUIREMENTS HAVE BEEN UPDATED BASED ON THE ZONING LAW AS AMENDED, SEE TOWN OF MONTGOMERY LOCAL LAW 6 OF 2022. THE LOT AREA CALCULATION INCLUDES THE ENTIRE PARCEL AREA FOR EACH NEW PARCEL CREATED BY SUBDIVIDING TAX LOTS 36-1-33, 11.221, 11.23, 11.212, 11.211, 11.1, 10.1, AND LOT 33-1-91.

3. MINIMUM LOT AREA SHALL BE 5.0 ACRES FOR INTENSIVE WAREHOUSES, PURSUANT TO ZONING LAW 6 OF 2022 SECTION

4. THE ZONING LAW'S TABLE OF DIMENSIONAL REGULATIONS REQUIRES A SETBACK OF 75 FEET FROM NEELYTOWN ROAD & BEAVER 5. PER ZONING LAW 6 OF 2022 § 235-11.2(B), LOT AREA HAS BEEN REDUCED VIA LOT AREA REDUCTION TABLE ABOVE. WHERE AREAS TO BE REDUCED OVERLAP, THE GREATER OF THE REDUCTIONS HAS BEEN TAKEN. 5.1. UTILITY RIGHT OF WAY REDUCTION AREA REPRESENTS A 50% REDUCTION IN THE UTILITY CORRIDOR THAT IS OUTSIDE LAND

5.2. WETLANDS REDUCTION AREA REPRESENTS A 100% REDUCTION IN THE WETLAND AREA(S) SHOWN ON THE SITE. 5.3. SLOPES GREATER THAN 25% BUT LESS THAN 50% AND SLOPES GREATER THAN 50% ARE INCLUDED IN THE REDUCTION.

AS DESIGNATED IN LOCAL LAW 10 OF 2021: PER §235-9.B A PERFORMANCE BUFFER IS TO BE PROVIDED ALONG THE OUTER PERIMETER OF A DEVELOPMENT SITE OR IN ANY OTHER AREA DEEMED NECESSARY AND APPROPRIATE BY THE PLANNING BOARD WHERE REOUIRE PURSUANT OF THE CODE BASED ON THE PROPOSED DEVELOPMENT SITE'S LAND USE AND THE DISPOSITION OF THE LAND BORDERING THE PROPOSED DEVELOPMENT SITE. GIVEN THE CLASSIFICATION OF BEAVER DAM ROAD AS A COLLECTOR ROAD, NEELYTOWN ROAD AS A COUNTY ROAD AND THE PROPOSED DEVELOPMENT AS AN INTENSIVE WAREHOUSE USE (PER TABLE §235-11.9.B) A REQUIRED BUFFER OF

GENERAL NOTES

- . THE SUBJECT PROPERTIES ARE KNOWN AS SECTION 36, BLOCK 1, LOTS 33, 11.221, 11.23, 11.212, 11.211, 11.1, 1 SECTION 33, BLOCK 1, LOT 91 AS SHOWN ON SECTIONS 33 AND 36 OF THE OFFICIAL TAX MAP OF THE MONTGOMERY, ORANGE COUNTY, NEW YORK, LAST REVISED FEBRUARY 28, 2019.
- 2. THE PROPERTIES IS LOCATED IN THE GENERAL INDUSTRY ZONE (I-1) DISTRICT AND CONTAIN A TOTAL TRACT AREA O ± 4,896,144 SF, ±112.4 ACRES.
- 3. OWNER: NEELYTOWN BD DEVELOPERS, LLC 4770 WHITE PLAINS ROAD BRONX, NEW YORK 10470
- APPLICANT: RDM GROUP LLC 21 PHILIPS PARKWAY
- MONTVALE, NJ 07645 917-530-6479
- 4. THE SUBJECT PROPERTY IS PRESENTLY UNDEVELOPED LAND. THE APPLICANT PROPOSES TO CONSTRUCT 1,128,270 SF IN WAREHOUSE SPACE ALONG WITH SITE APPURTENANCES SUCH AS PARKING, LIGHTING, LANDSCAPE, AND STORMWATER MEASURES.
- 5. ZONE DATA: GENERAL INDUSTRY ZONE (I-1 ZONE) 6. PROPOSED USE: INTENSIVE WAREHOUSE - PERMITTED WITH SPECIAL USE PERMIT
- 7. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM PLANS ENTITLED "SURVEY PREPARED FOR NEELYTOWN DEVELOPMENT LLC", SHEET 1 OF 1, DATED JULY 14. 2022, PREPARED BY LANC & TULLY, P.L.S. LIC. NO. 50276 OF NEW YORK STATE'; AND "ALTA/NSPS LAND TITLE SURVEY & TOPOGRAPHIC MAPPING PLAN. REAL DEAL MANAGEMENT, INC.", SHEET 1 OF 1, LAST REVISED APRIL 25, 2023, PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.L.S. LIC. NO. 050830 OF NEW YORK STATE.
- 8. FRESHWATER WETLANDS ARE KNOWN TO EXIST ON THE SITE AS SHOWN FROM AVAILABLE ONLINE MAPPING. THE UNITED STATES FEDERAL GOVERNMENT AND THE UNITED STATE ARMY CORPS OF ENGINEERS BOTH HAVE WETLAND WITHIN THEIR JURISDICTION.
- 9. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP NUMBER 36071C0301E FOR THE TOWN OF MONTGOMERY, ORANGE COUNTY, NEW YORK, DATED AUGUST 3, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- 10. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002; AS SUPPLEMENTED. B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND
- REOUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS. D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- 11. REFUSE AND RECYCLABLES SHALL BE STORED ONSITE UNTIL DESIGNATED PICK UP DAY OR WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS.
- 12. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS LOCATED ON PUBLIC ROADWAYS.
- 13. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 14. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY. 15. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR
- EACH DWELLING/BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS. 16. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS,
- STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO. 17. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- 18. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS. MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- 19. THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. COLLIERS ENGINEERING & DESIGN HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- 20. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- 21. PER §235-14(D)(7) BUILDING PERMITS AUTHORIZED BY PLANNING BOARD ACTIONS ON SPECIAL PERMIT AND/OR SITE APPLICATIONS SHALL BE OBTAINED WITHIN 18 MONTHS AND SHALL AUTOMATICALLY EXPIRE IF CONSTRUCTION IS NOT STARTED WITHIN 90 DAYS OF ISSUANCE AND COMPLETED WITHIN ONE YEAR FROM THE DATE SITE CONSTRUCTION AND/OR SITE DISTURBANCE BEGINS, OR AS OTHERWISE INDICATED IN THE SITE PLAN APPROVAL OR ANY APPROVED PHASING PLANS.
- 22. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

PARKING & LOADING REQUIREMENT:

MINIMUM STALL SIZE (PARKING STALL): 9' X 20' (COMPLIES)

MINIMUM STALL SIZE (TRUCK LOADING SPACE): 12' W X 25' L X 14' H (COMPLIES)

WAREHOUSE USE:

SUFFICIENT PARKING FOR ALL TRUCKS, TRUCK TRAILERS, AND TRUCK TRACTORS STORED OR BEING SERVICED AT ANY PERIOD OF TIME, PLUS REQUIRED PARKING FOR OFFICE AREAS, PLUS 2 PER 3 EMPLOYEES ON DUTY OR ON THE PREMISES AT ANY ONE TIME.

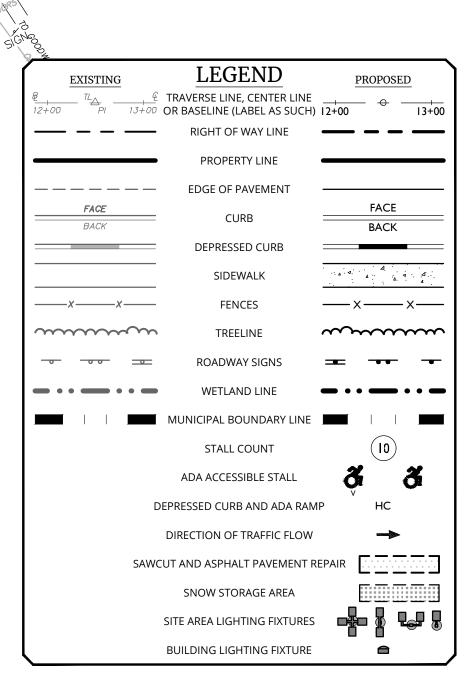
- REQUIRED LOADING SPACE FOR EACH 40,000 SF IN ADDITION TO THE FIRST 40,000 SQUARE FEET LOT I: (214,000 SF/40,000 SF) = 5.35 OR 6 SPACES LOT 2: (664,200 SF/40,000 SF) = 16.61 OR 17 SPACES
- LOT 3: (250,070 SF/40,000 SF) = 6.25 OR 7 SPACES
- PROPOSED: LOT 1: 22 LOADING SPACES (COMPLIES) LOT 2: 158 LOADING SPACES (COMPLIES)
 - LOT 3: 38 LOADING SPACES (COMPLIES) LOT I HAS A TOTAL OF 14 TRAILER STORAGE SPACES.
 - LOT 2 HAS A TOTAL OF 300 TRAILER STORAGE SPACES. LOT 3 HAS A TOTAL OF 34 TRAILER STORAGE SPACES.
- OFFICE USE:
- REQUIRED I SPACES PER 200 SF OF FLOOR AREA
- LOT I: 8,000 SF / 200 SF = 40 SPACES LOT 2 : 16,000 SF / 200 SF = 80 SPACES LOT 3: 8,000 SF / 200 SF = 40 SPACES
- NON-OFFICE SPACES:
- REQUIRED I EMPLOYEE PER 4,100 GROSS FLOOR AREA**
- 2 SPACES PER 3 EMPLOYEES
- LOT 1: 214,000 SF 8,000 SF (OFFICE AREA) = 206,000 SF / 4,100 SF = APPROX. 51 EMPLOYEES 2 SPACES PER 3 EMPLOYEES: $(2 \times 51) / 3 = 34$ REQUIRED SPACES
- TOTAL REQUIRED = 40 + 34 = 74 SPACES LOT 2: 664,200 SF - 16,000 SF (OFFICE AREA) = 648,200 SF / 4,100 SF = APPROX. 159 EMPLOYEES 2 SPACES PER 3 EMPLOYEES:
- $(2 \times 159) / 3 = 106 \text{ REQUIRED SPACES}$ TOTAL REQUIRED = 80 + 106 = 186 SPACES
- LOT 3: 250,070 SF 8,000 SF (OFFICE AREA) = 242,070 SF / 4,100 SF = APPROX. 60 EMPLOYEES 2 SPACES PER 3 EMPLOYEES: $(2 \times 60) / 3 = 40$ REQUIRED SPACES
- TOTAL REQUIRED = 40 + 40 = 80 SPACES PROPOSED:
 - LOT I : 96 STANDARD SPACES 4 ADA COMPLAINT SPACES 100 TOTAL SPACES (COMPLIES
 - LOT 2: 180 STANDARD SPACES 6 ADA COMPLIANT SPACES 186 TOTAL SPACES (COMPLIES)
 - LOT 3: 80 STANDARD SPACES
- 4 ADA COMPLIANT SPACES 84 TOTAL SPACES (COMPLIES)
- ** NUMBER OF EMPLOYEES BASED ON ITE 4TH EDITION PARKING GENERATION FOR WAREHOUSE (LAND USE CODE 150 - WAREHOUSE)

WETLANDS DISTURBANCE:

APPROXIMATE AREA OF USACOE WETLAND DISTURBANCE = ±11,326 SF (0.26 ACRES) (SITE DRIVEWAYS ON NEELYTOWN ROAD)

REFERENCE:

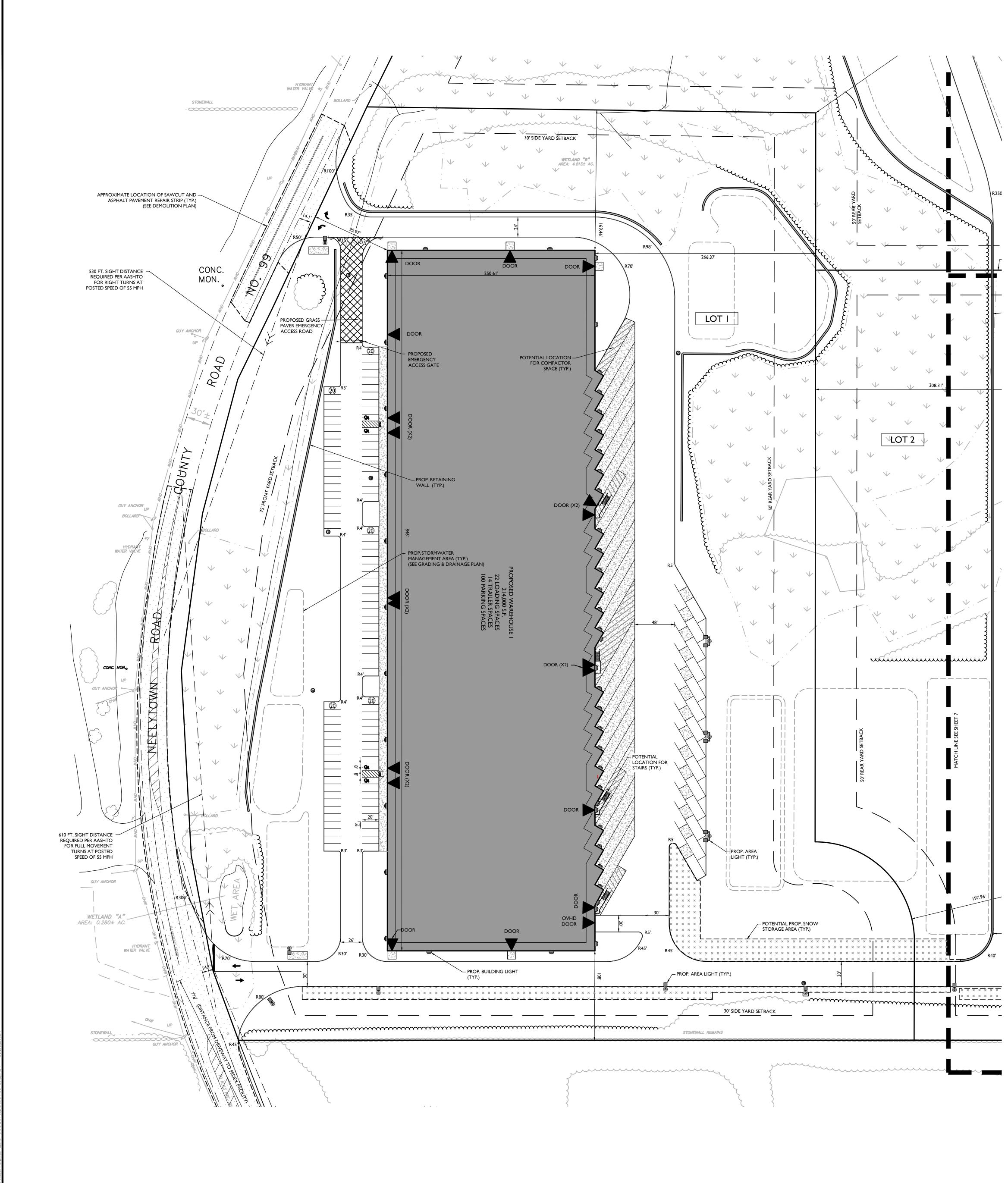
EXISTING SITE INFORMATION TAKEN FROM MAP REFERENCE "SURVEY PREPARED FOR RDM GROUP LLC" PREPARED BY LANC & TULLY DATED 03/12/2021.



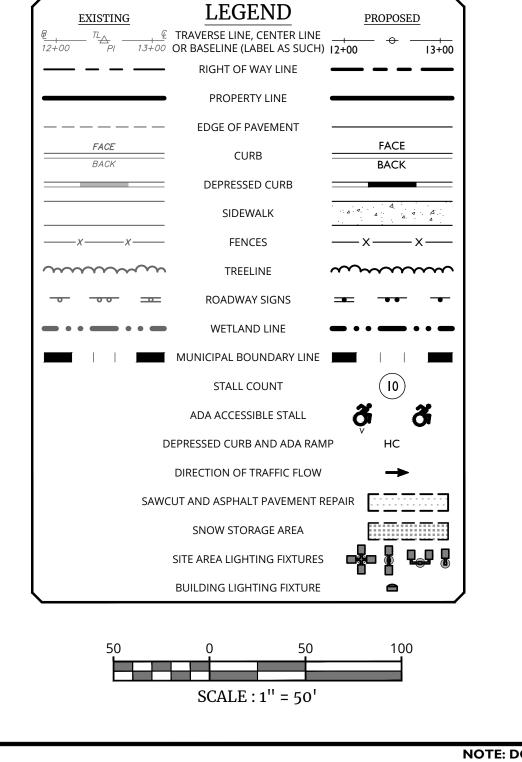
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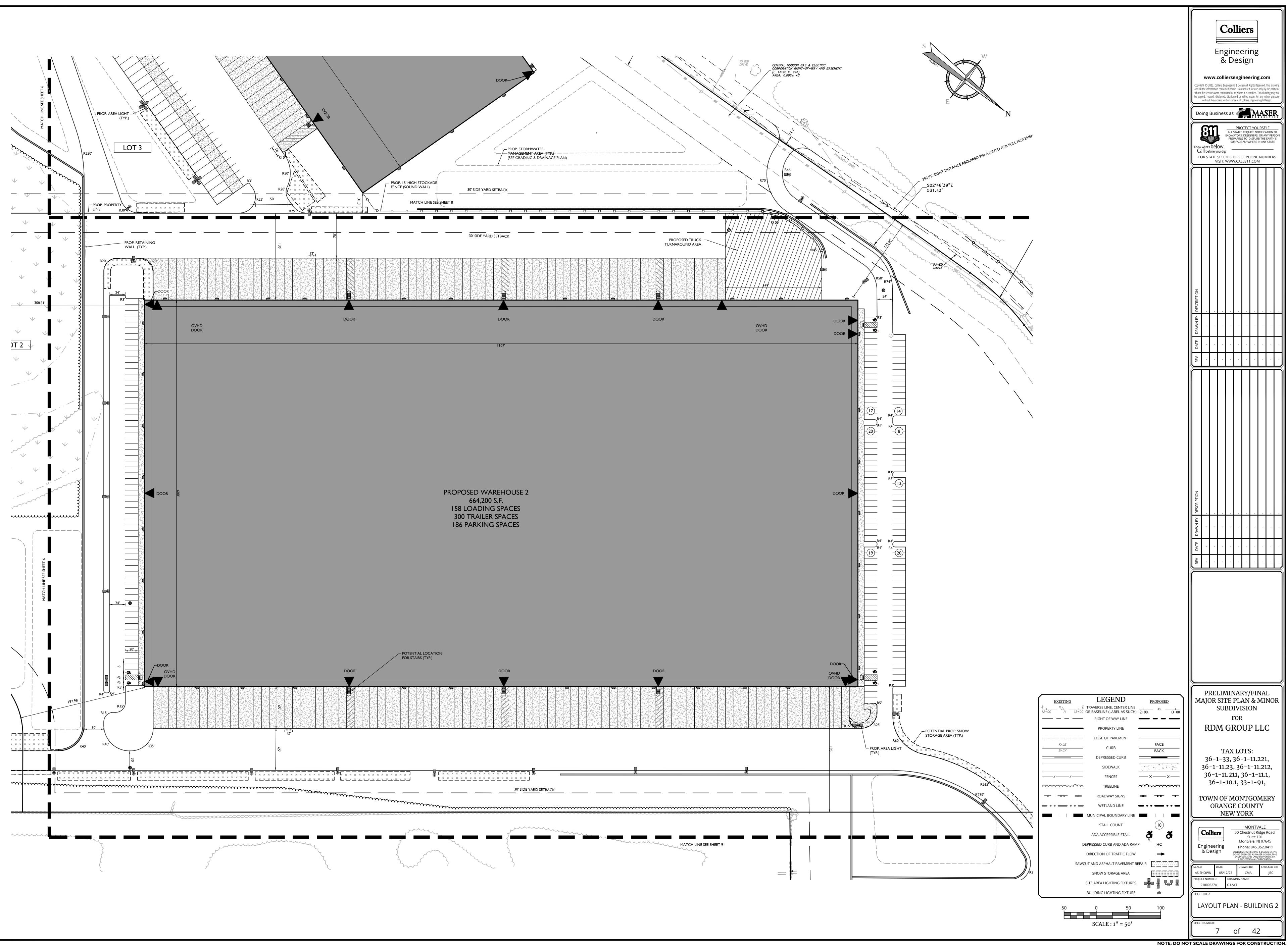
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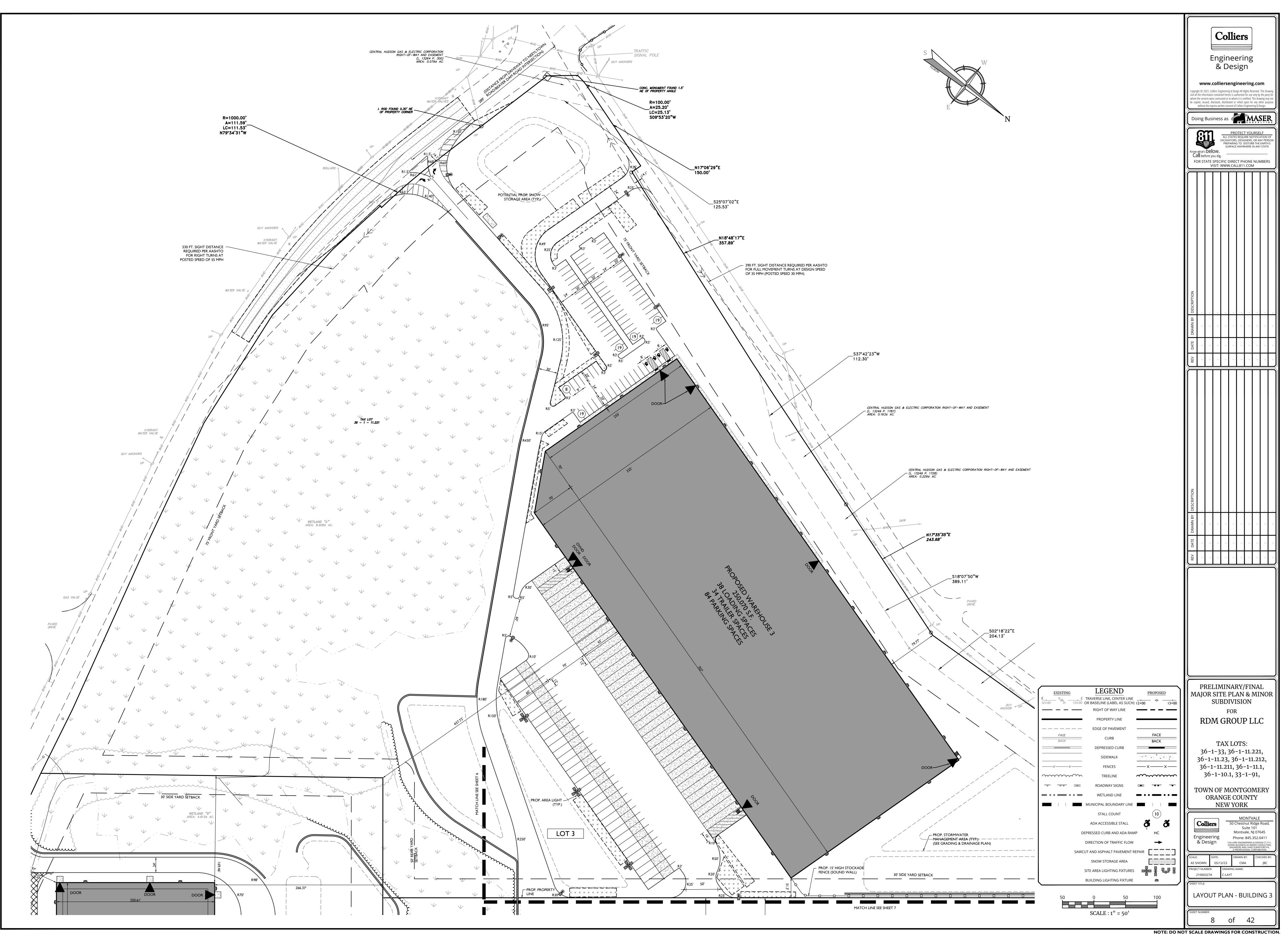




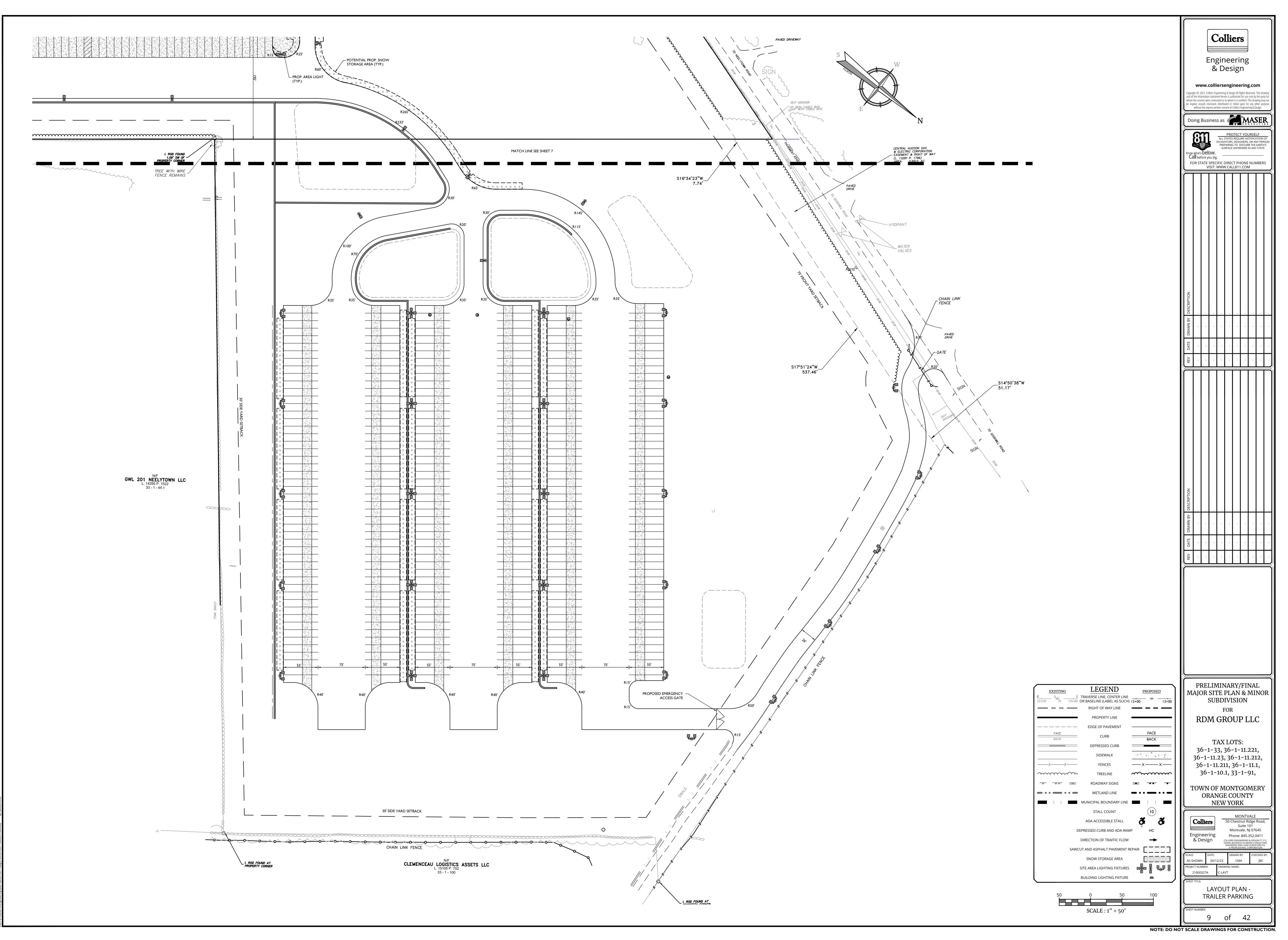
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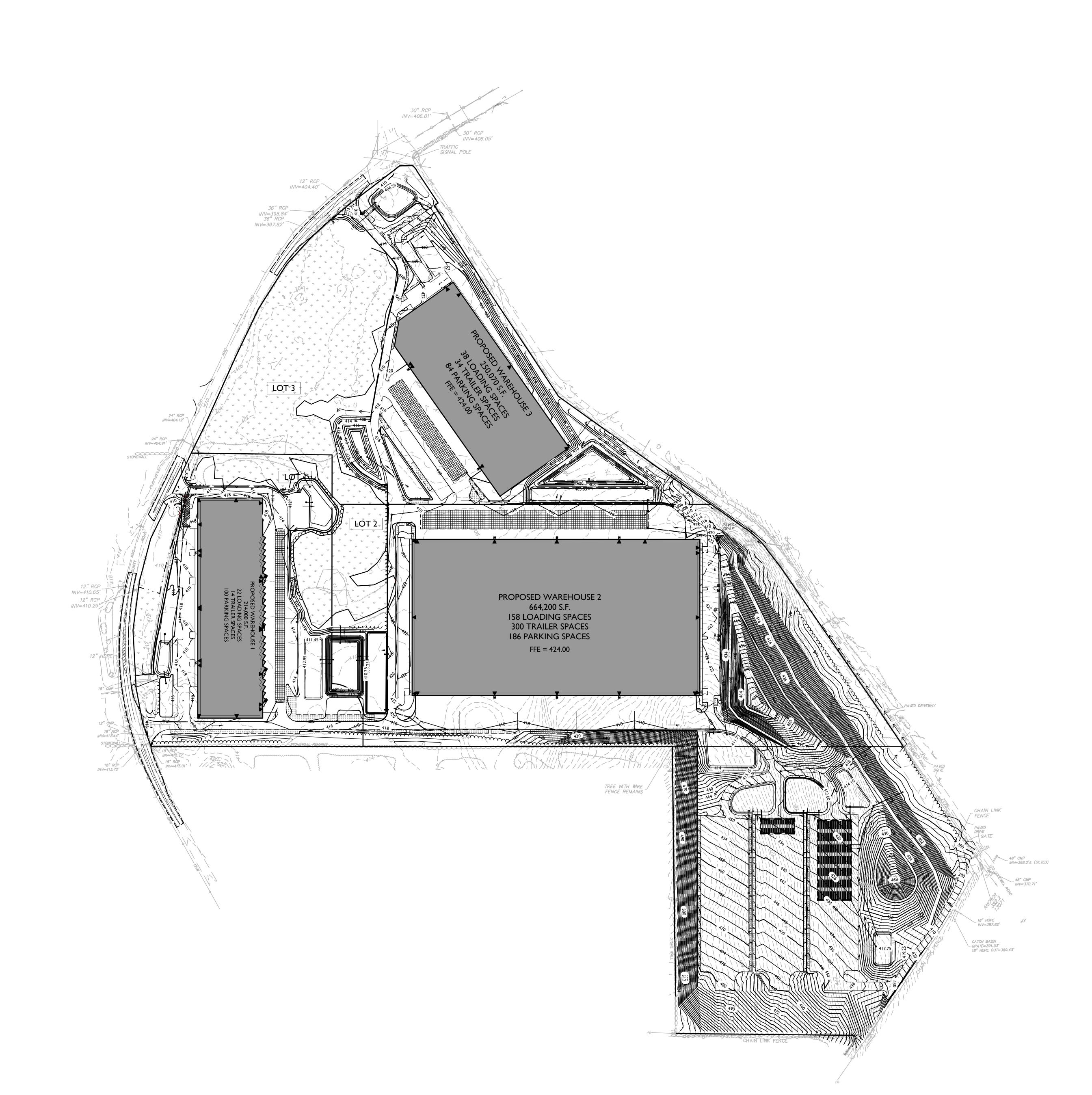
7A\Engineering\Site Plans\C-LAYT.dwg\C-08-LAYOUT-BUILDING 3 By: JGOLDSTEIN

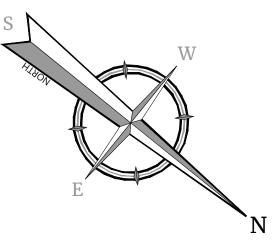


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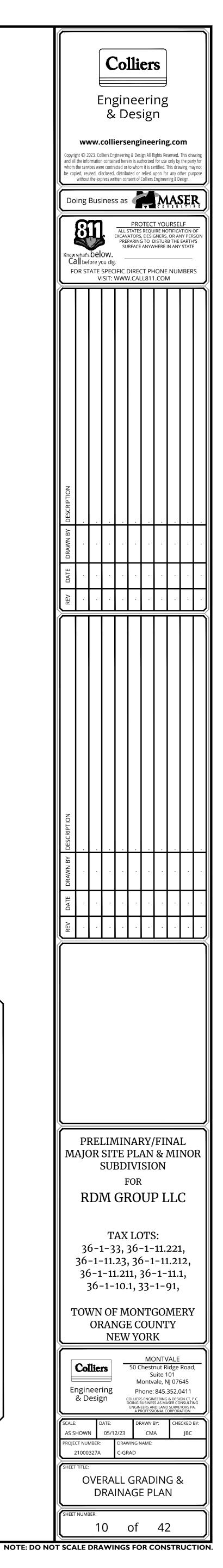


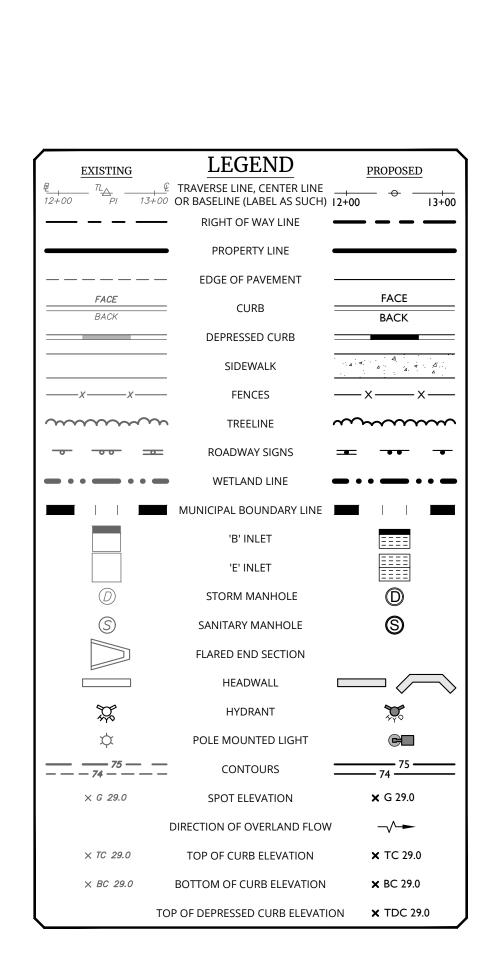


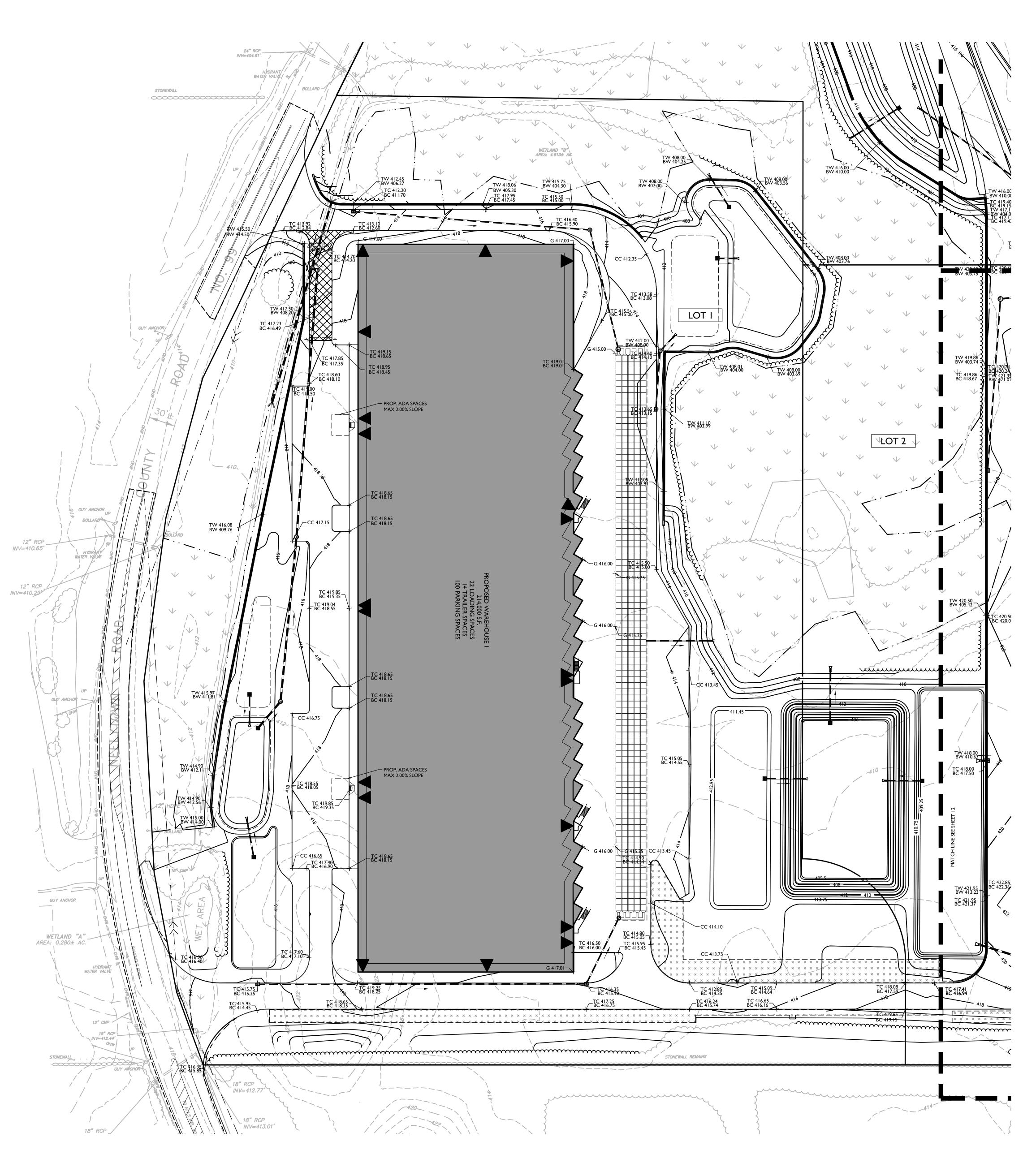


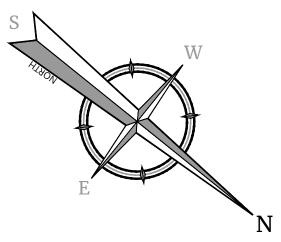
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× BC 29.0	BOTTOM OF CURB ELEVATION	<b>X</b> BC 29.0
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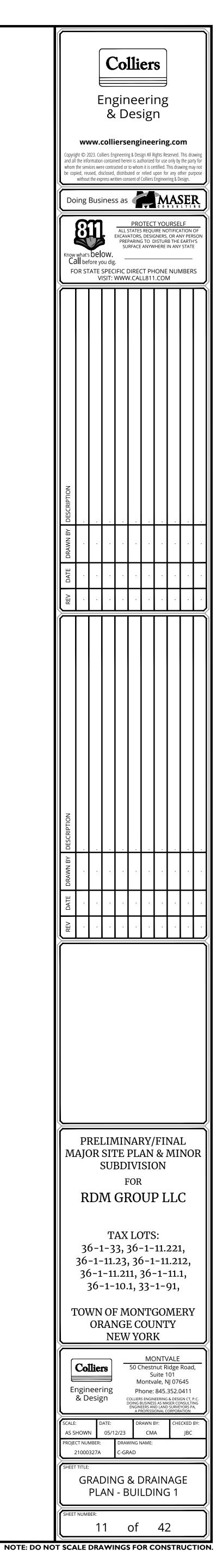


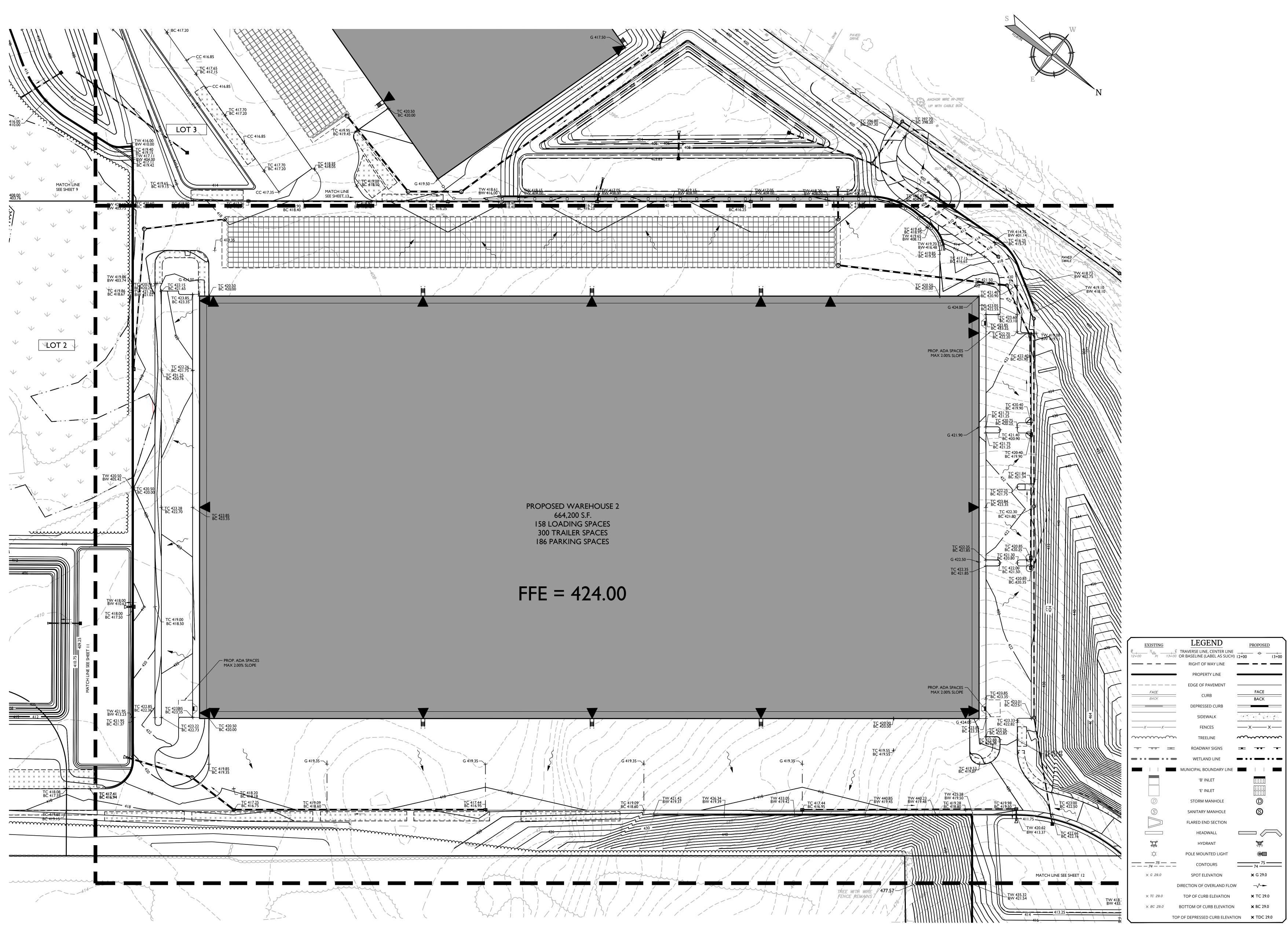






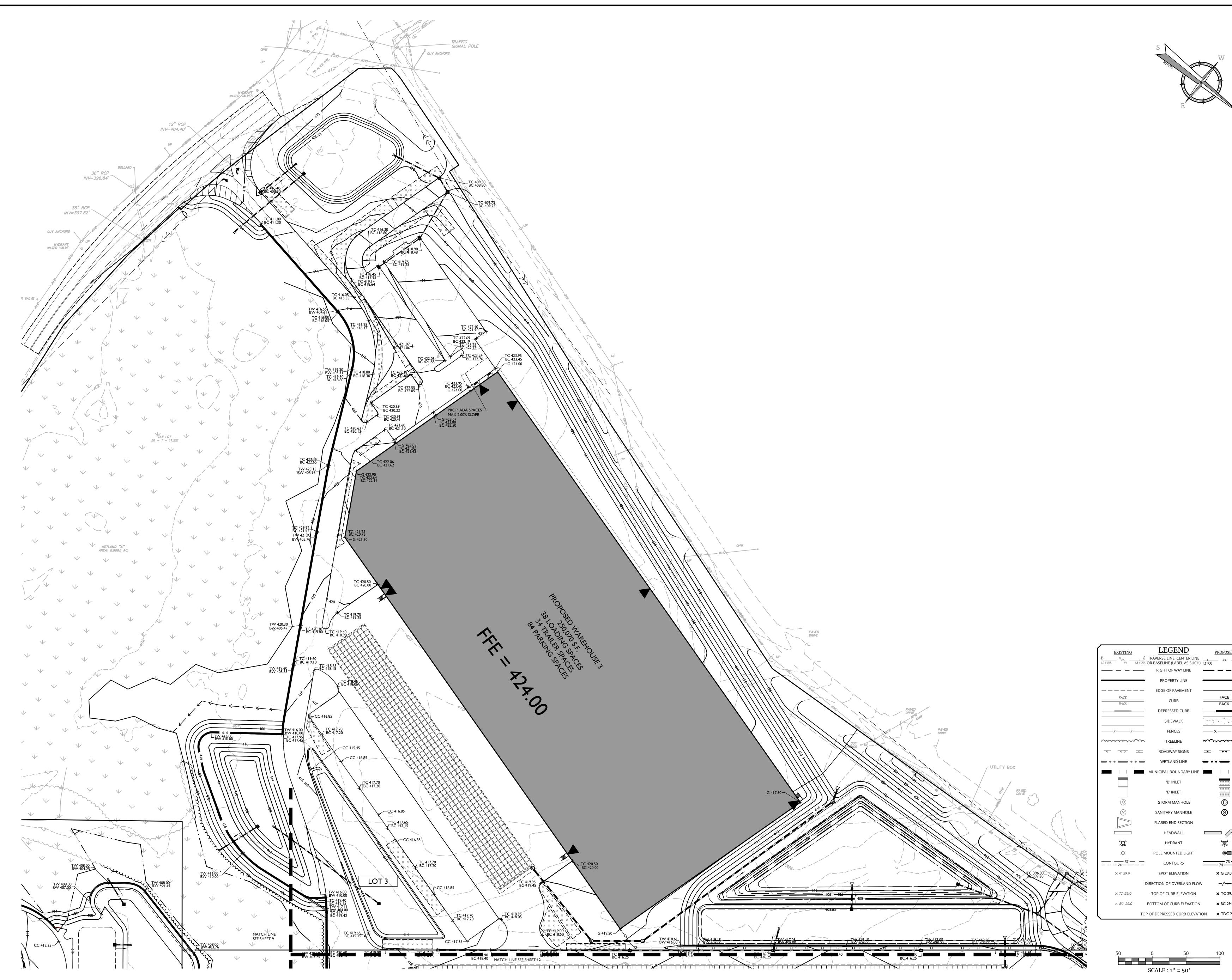


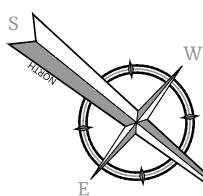




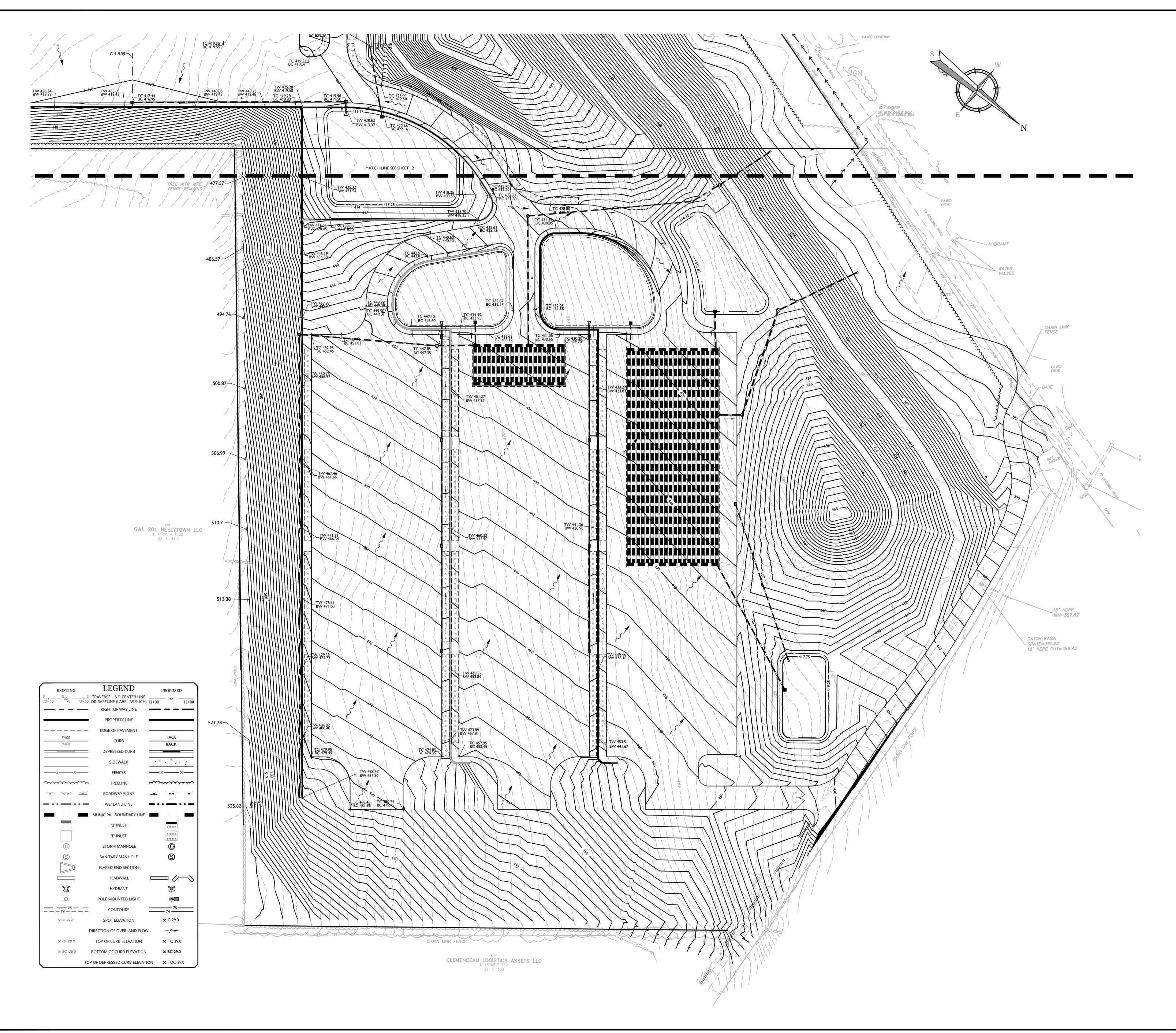
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	PROTECT YOURSELF         ALL STATES REQUIRE NOTIFICATION OF         EXCAVATORS, DESIGNERS, OR ANY PERSON         PREPARING TO DISTURB THE EARTH'S         SURFACE ANYWHERE IN ANY STATE         Know what's below.         Call before you dig.         FOR STATE SPECIFIC DIRECT PHONE NUMBERS         VISIT: WWW.CALL811.COM									
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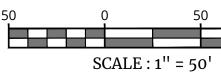


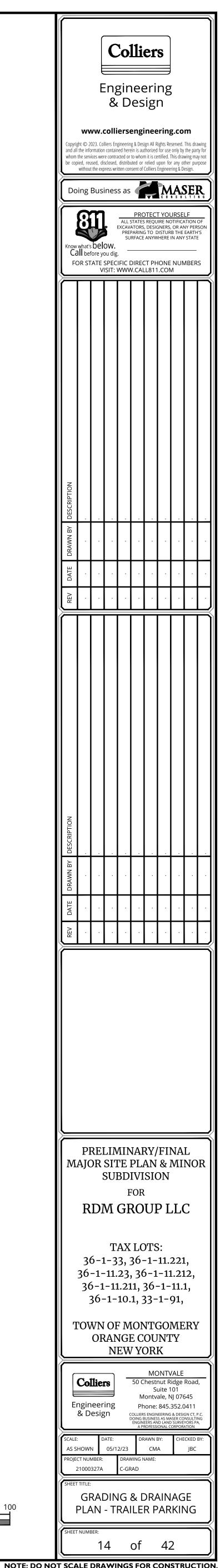


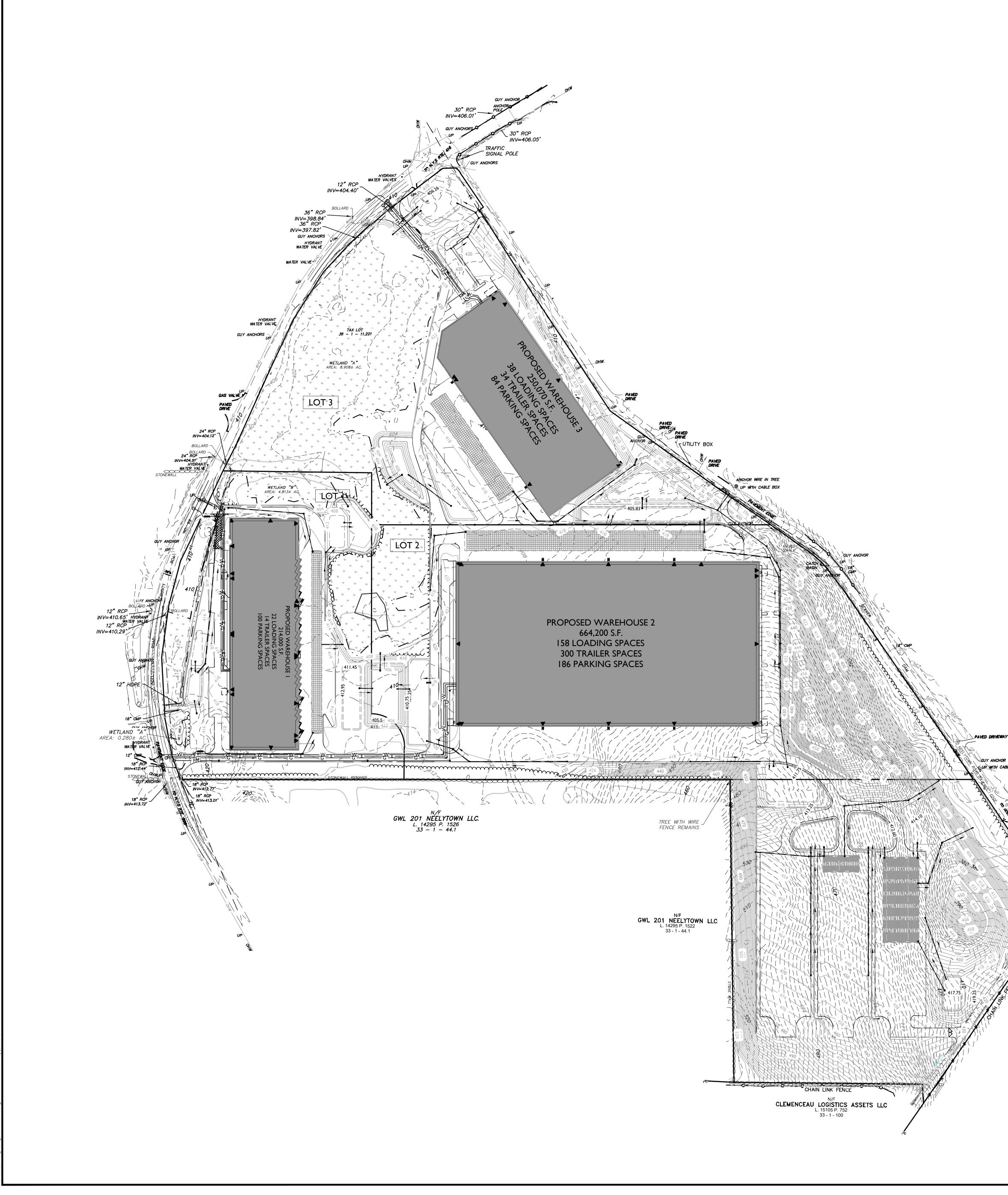
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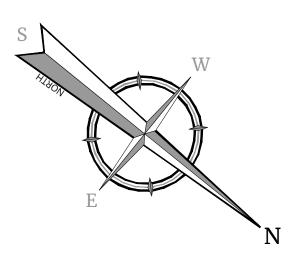
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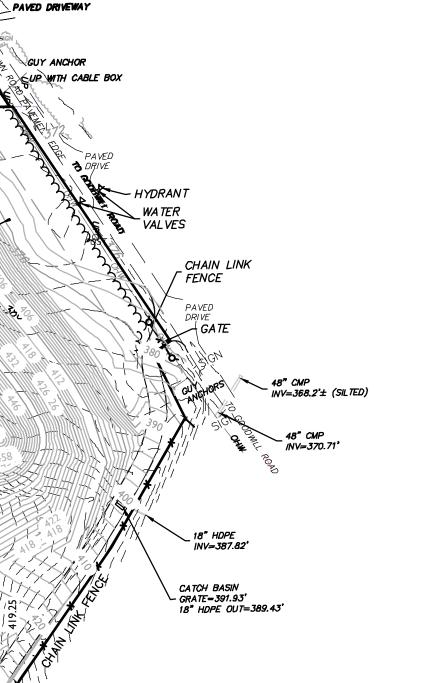






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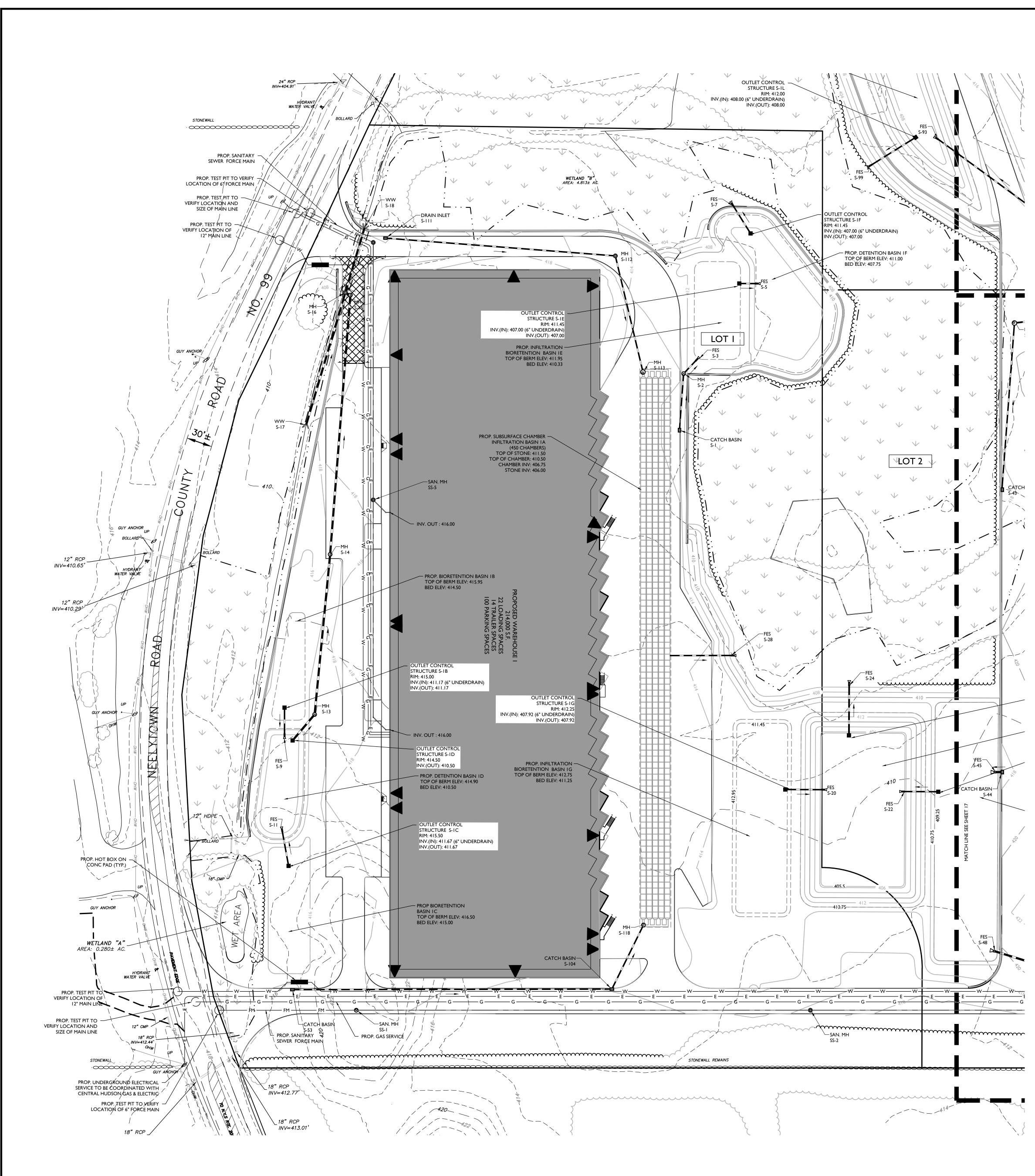
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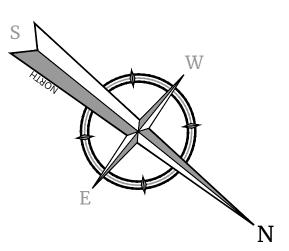
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UTILITY NOTES

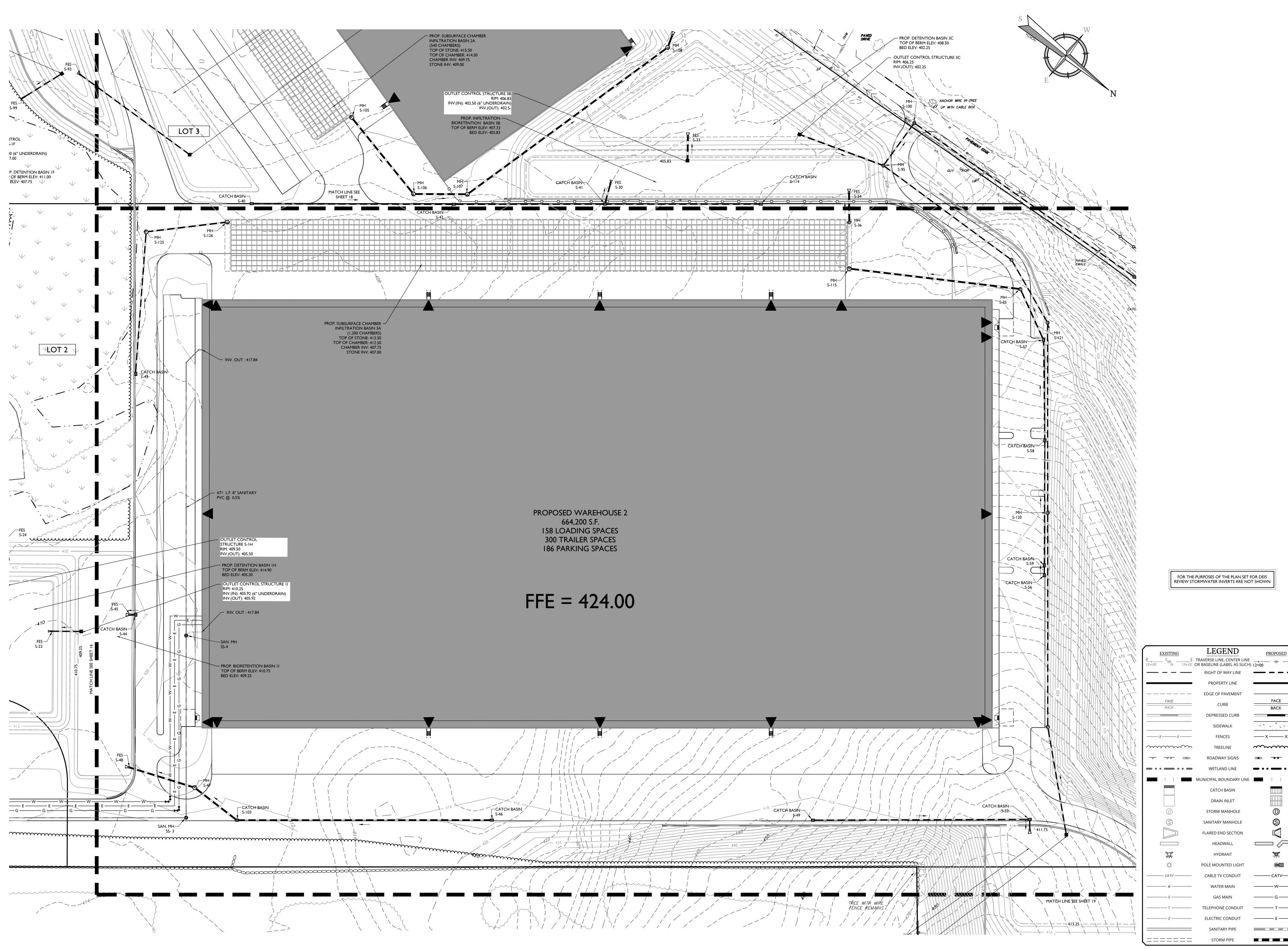
- I. LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- 2. THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
- 3. THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY FORCE MAIN PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- 4. ALL NEW UTILITIES/SERVICES TO BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
- 5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON NEELYTOWN ROAD. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATIONS, AND AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. ALL WATER SERVICE PIPES TO BE I" DIAMETER TYPE K SEAMLESS COPPER. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- 6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY FORCE MAIN CONNECTION TO EXISTING SEWER MAIN ON NEELYTOWN ROAD. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONVERSATION REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- ALL MATERIALS USED FOR SANITARY SEWER SYSTEMS SHALL BE MANUFACTURED IN THE UNITED STATES, WHEREVER AVAILABLE, AS GOVERNED BY P.L. 1982, c. 107, EFFECTIVE DATE OCTOBER 3, 1982.
- 8. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. ANY WATER SERVICE LOCATED IN THE SAME TRENCH AS A SEWER LINE MUST BE LOCATED ABOVE AND TO ONE SIDE OF THE SEWER LINE AT LEAST ONE FOOT AWAY FROM THE SEWER LINE. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
- 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- 10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- 11. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- 12. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), 16 GAUGE ALUMINIZED TYPE II COATED CORRUGATED PIPE (CMP), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), HANCOR SURE-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPEP) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

FOR THE PURPOSES OF THE PLAN SET FOR DEIS REVIEW STORMWATER INVERTS ARE NOT SHOWN

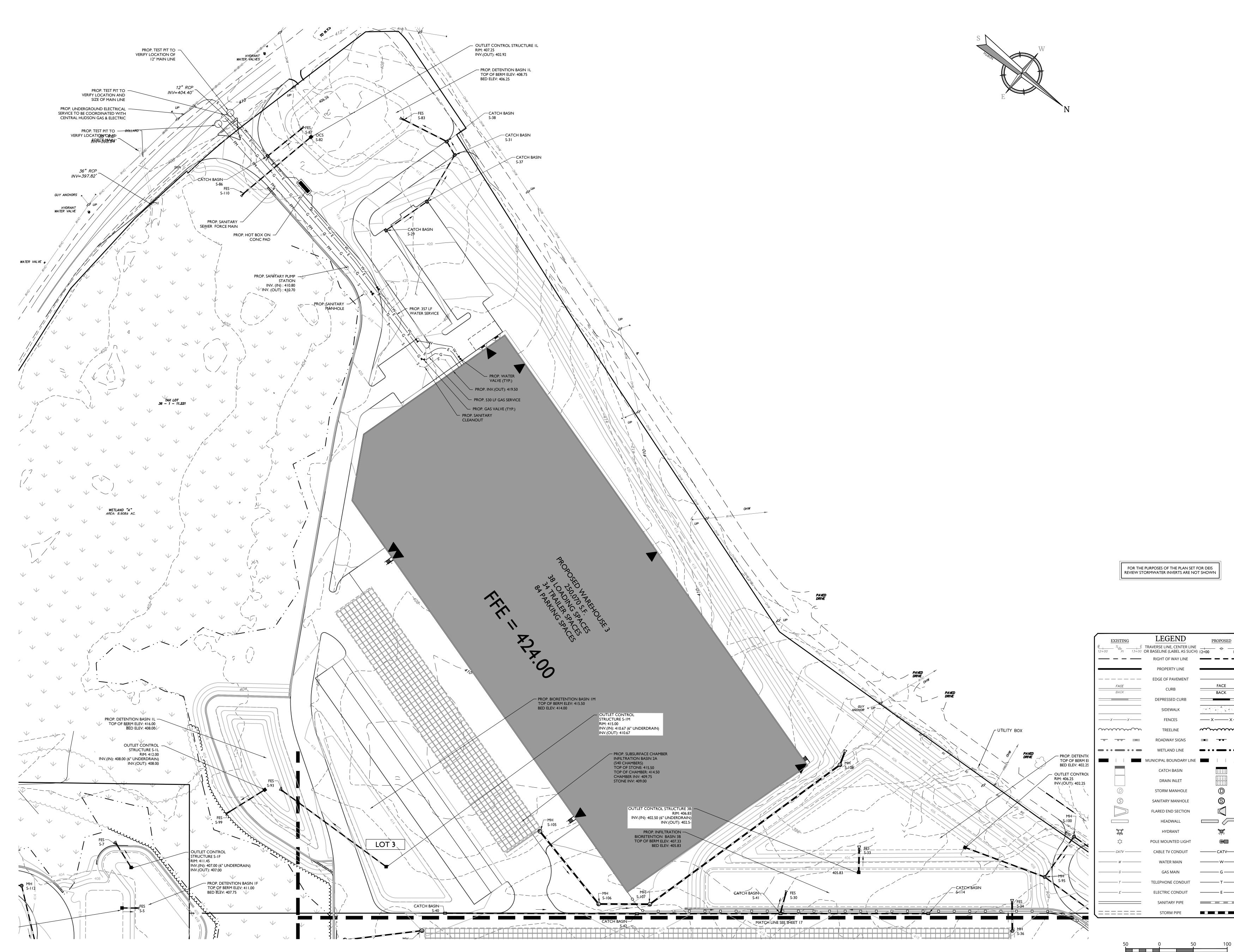
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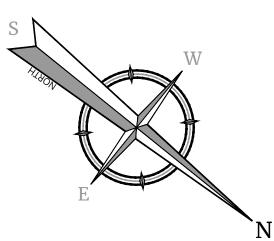
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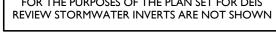
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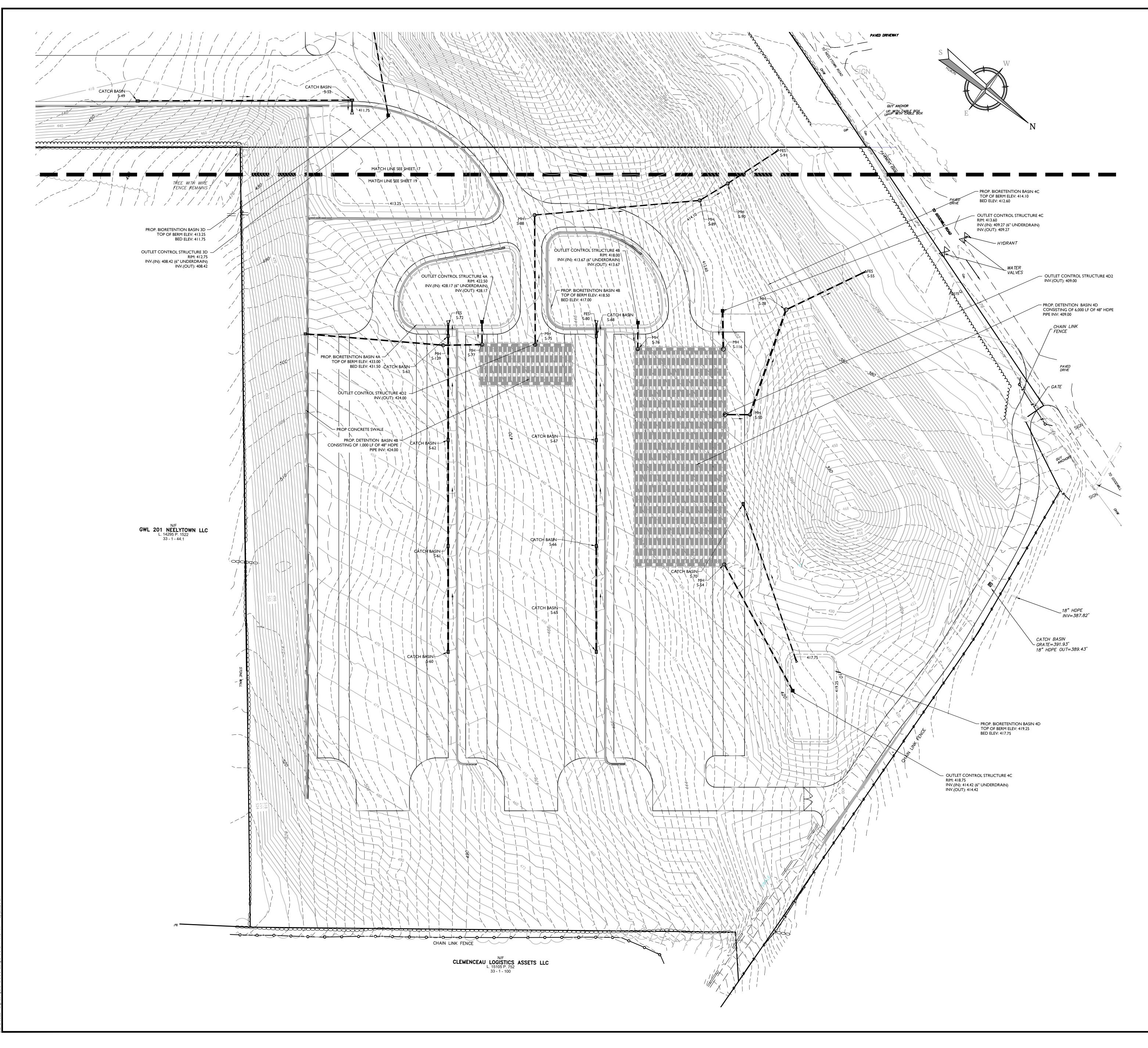






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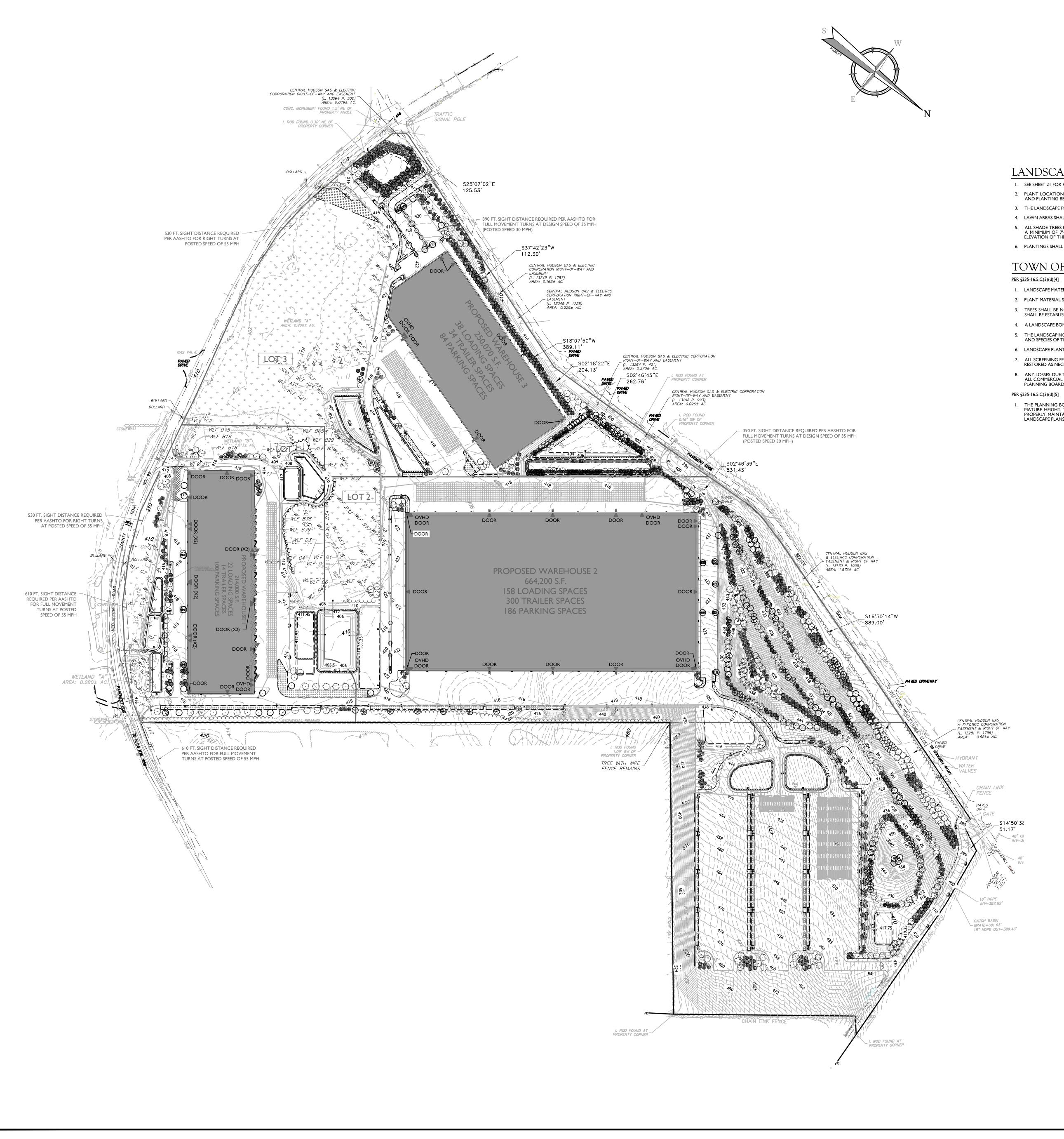
74)Engineering/Site Plans/C-LITIL dwo/C-19-LITII ITY-TRAIL PARK By: IGC

FOR THE PURPOSES OF THE PLAN SET FOR DEIS REVIEW STORMWATER INVERTS ARE NOT SHOWN

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SCALE : 1" = 50'

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LANDSCAPE PLAN NOTES

1. SEE SHEET 21 FOR PLANT SCHEDULE.

- 2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- 3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR. 4. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- 5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- 6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

TOWN OF MONTGOMERY LANDSCAPE NOTES

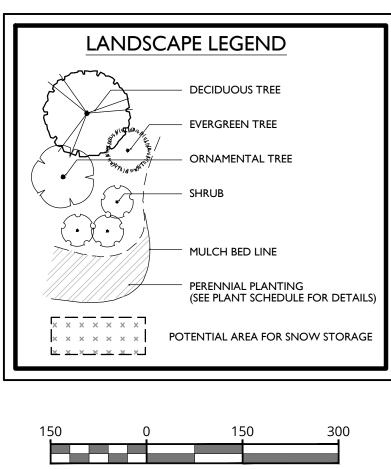
PER §235-16.5.C(3)(d)[4]

- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS. 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
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- I. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

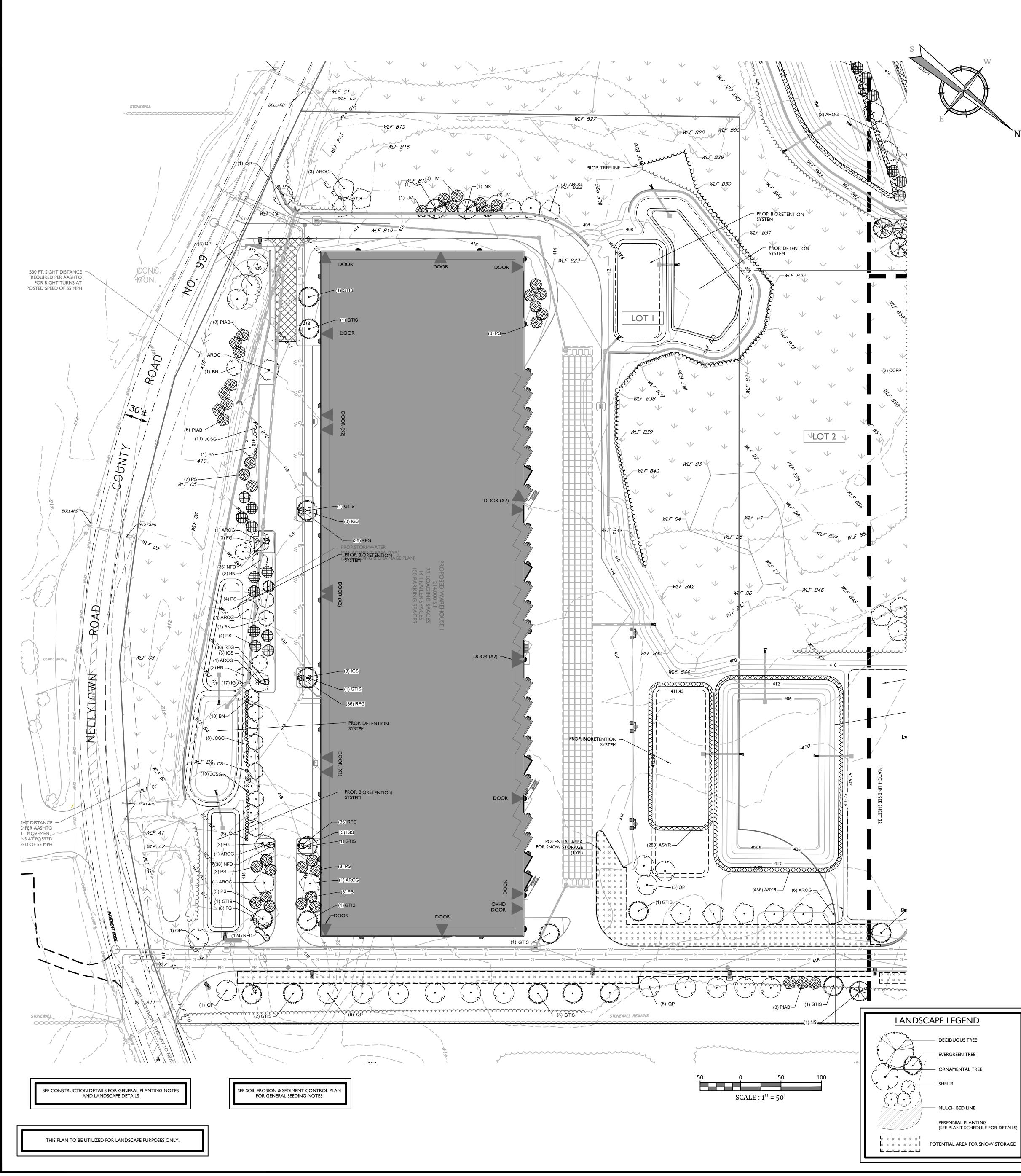


SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES



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LANDSCAPE PLAN NOTES

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TOWN OF MONTGOMERY LANDSCAPE NOTES

PER §235-16.5.C(3)(d)[4]

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PER §235-16.5.C(3)(d)[5]

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	COMPLIANCE TABLE FOR LANDSCA (APPLIES TO ENTIRE PROJECT SITE, SHEET		
SECTION	REQUIREMENT	PROVIDED	COMPL
§235-16.5.C(3)(d) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	NATIVE PLANT SPECIES ARE PREFERRED AND SHALL BE REQUIRED EXCEPT WHERE SPECIFIC WAIVER IS GRANTED BY THE PLANNING BOARD FOR SITE-SPECIFIC HABITAT OR OTHER REASONS.	NATIVE PLANTS SPECIES ARE PROPOSED	YES
§235-16.5.C(3)(d)[1] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	AT LEAST ONE TREE FOR EVERY 50 FEET OF SITE PERIMETER AND ONE SHRUB OR LOW PLANTING SPECIES FOR EVERY 20 FEET OF SITE PERIMETER SHALL BE PROVIDED. THE PLANNING BOARD MAY WAIVE ALL OR PART OF THE PERIMETER LANDSCAPING REQUIREMENT WHERE IT DEEMS THAT THE EXISTING SITE CONDITIONS AND/OR RETAINED SITE VEGETATION OBVIATES THE NEED FOR NEW	NORTH/NORTHWEST PROPERTY LINES (LOTS 2 & 3): 4,401 LF 88 REQUIRED TREES, 220 REQUIRED SHRUBS 497 PROPOSED TREES SOUTHWEST/SOUTHEAST PROPERTY LINE (LOTS 1 & 3): 2,624 LF	YES [,] YES [,]
	PERIMETER LANDSCAPING.	53 REQUIRED TREES, 132 REQUIRED SHRUBS 66 PROPOSED TREES, 76 PROPOSED SHRUBS	TES
		NORTHEAST PROPERTY LINES (LOTS I & 2): 3,870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS 97 PROPOSED TREES	YES ³
§235-16.5.C(3)(d)[2] REQUIRED SITE PLAN	PARKING AREAS SHALL BE LANDSCAPED, AND IN ADDITION TO THE PERIMETER LANDSCAPE REQUIREMENTS AT LEAST 10% OF THE INSIDE AREA OF PARKING LOTS WITH MORE THAN 50 SPACES	TOTAL PARKING AREA: 670,557 SF	YES
PROCEDURE AND STANDARDS	SHALL BE LANDSCAPED WITH TREES, LAWN AND LOW PLANTING SPECIES. PARKING LOT LANDSCAPING SHALL BE DISTRIBUTED WITHIN THE PARKING LOT SO AS TO AVOID LARGE	TOTAL LANDSCAPE PARKING AREA: 161,796 SF	
	UNBROKEN AREAS OF PAVEMENT.	189,973 SF / 642,290 SF = 24.12%	
§235-16.5.C(3)(d)[3] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ADDITIONAL LANDSCAPING SHALL BE PROVIDED ADJACENT TO THE STRUCTURE, FOR SITE PLANS INVOLVING STRUCTURAL USES, WITH AT LEAST 10% OF THE GROUND FLOOR AREA OF THE BUILDING BEING ESTABLISHED IN TREES AND SHRUBS. FOR ANY BUILDING FOOTPRINT IN EXCESS OF 50,000 SQUARE FEET, THE PLANNING BOARD SHALL ADJUST THE LOCATION OF LANDSCAPING	GROSS FLOOR AREA OF WAREHOUSE ON LOT 1: 214,000 SF REQUIRED BUILDING LANDSCAPING: 21,400 SF PROPOSED BUILDING LANDSCAPING: 17,982 SF	NO (\
	NEEDED ON THE SITE.	GROSS FLOOR AREA OF WAREHOUSE ON LOT 2: 664,200 SF REQUIRED BUILDING LANDSCAPING: 66,420 SF PROPOSED BUILDING LANDSCAPING: 48,040 SF	NO (V
		GROSS FLOOR AREA OF WAREHOUSE ON LOT 3: 250,070 SF REQUIRED BUILDING LANDSCAPING: 25,007 SF PROPOSED BUILDING LANDSCAPING: 47,703 SF	YES
§235-16.5.C(3)(d)[4] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.	ALL TREES ARE 2-1/2" CALIPER MINIMUM	YES
§235-16.5.C(3)(d)[5] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.	ADDITIONAL PLANTINGS HAVE BEEN INSTALLED AT THE SOUTHWEST AND WESTERN SIDES OF THE PROPOERTY FOR SCREENING PURPOSES	YES
§235-16.5.C(3)(d)[6] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	PLANTINGS MUST BE INSTALLED SO THAT WHEN OF MATURE HEIGHT THEY DO NOT REACH ANY OVERHEAD WIRES ON SITE.	ALL PROPOSED PLANTINGS WILL BE MAINTAINED TO ENSURE THEIR MATURE HEIGHT DOES NOT CONFLICT WITH OVERHEAD WIRING	YES

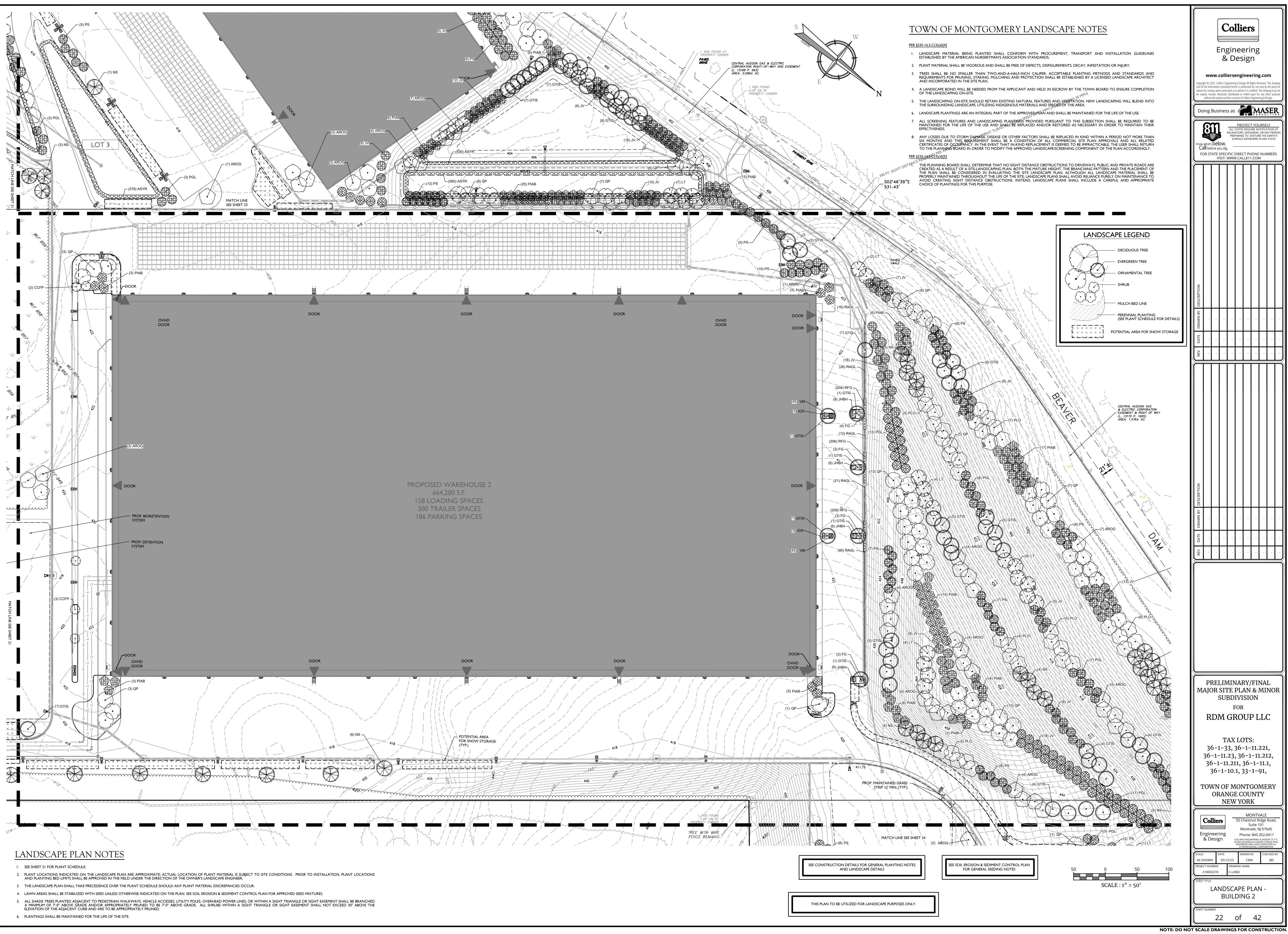
* EXISTING SITE CONDITIONS INCLUDE A LOT OF EXISTING VEGETATION THAT WILL REMAIN AFTER CONSTRUCTION, REDUCING THE AMOUNT OR NEED FOR NEW VEGETATION. ** THE AMOUNT OF PROPOSED TREES WILL PROVIDE A BUFFER TO NEIGHBORING PROPERTIES, ADDITIONAL SHRUBS ARE NOT NEEDED IN ORDER TO MAINTAIN THE BUFFER (W) = WAIVER REQUIRED

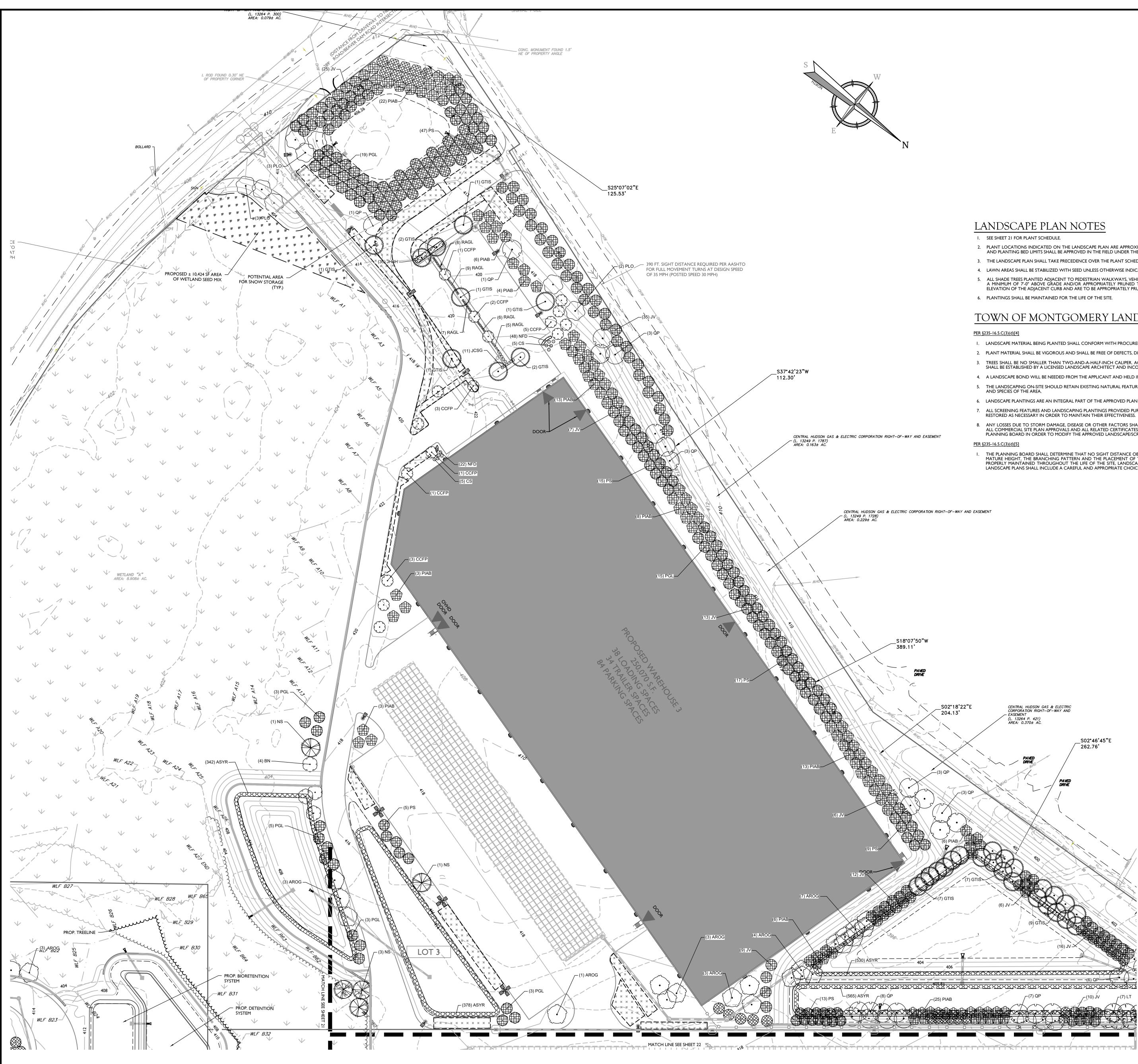
EVERGREEN TREES JV	<u>QTY</u> 296	<u>BOTANICAL / COMMON NAME</u> JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	CONT B & B	<u>SIZE</u> 8` - 10`
PIAB	231	PICEA ABIES / NORWAY SPRUCE	B & B	8` - 10
PGL	147	PICEA GLAUCA / WHITE SPRUCE	B & B	8` - 10
PS	292	PINUS STROBUS / WHITE PINE	B & B	8` - 10
ORNAMENTAL TREES BN	<u>QTY</u> 32	BOTANICAL / COMMON NAME BETULA NIGRA / MULTI-STEM RIVER BIRCH	CONT B & B	<u>SIZE</u> 12` - 1 [,]
CCFP	36	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	B & B	2"-2.5"
SHADE TREES AROG	<u>QTY</u> 97	<u>BOTANICAL / COMMON NAME</u> ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	CONT B & B	<u>CAL</u> 2 1/2" -
GTIS	111	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	B & B	2 1/2" -
LT	69	LIRIODENDRON TULIPIFERA / TULIP POPLAR	B & B	2 1/2" -
NS	55	NYSSA SYLVATICA / TUPELO	B & B	2 1/2" ·
PLO	53	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	B & B	2 1/2 -
QP	146	QUERCUS PALUSTRIS / PIN OAK	B & B	2 1/2 -
DECIDUOUS SHRUBS CS			CONT B & B	<u>SIZE</u> 2` - 3`
FG	27	FOTHERGILLA GARDENII / DWARF FOTHERGILLA	#3 CAN	18" - 24
RAGL	190	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	CONT	1 GAL
EVERGREEN SHRUBS IG	<u>QTY</u> 25	BOTANICAL / COMMON NAME ILEX GLABRA / INKBERRY HOLLY	<u>CONT</u> #5 CAN	<u>SIZE</u> 24" - 3
IGS	18	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY	#5 CAN	24" - 3
JCSG	40	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24" - 3
GROUND COVERS	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPRE/
	3,066	ASCLEPIAS SYRIACA / COMMON MILKWEED	CONTAINER	36" o.c
JHBH	62	JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR CREEPING JUNIPER	#3 CAN	36" o.c
	90	VINCA MINOR / COMMON PERIWINKLE	2 YR. PLANT	12" o.c
PERENNIALS	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	
NFD	266	NEPETA X FAASSENII 'DROPMORE' / DROPMORE CAT MINT	CONTAINER	12" o.c
	763	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / GOLDSTURM CONEFLOWER	CONTAINER	12" o.c

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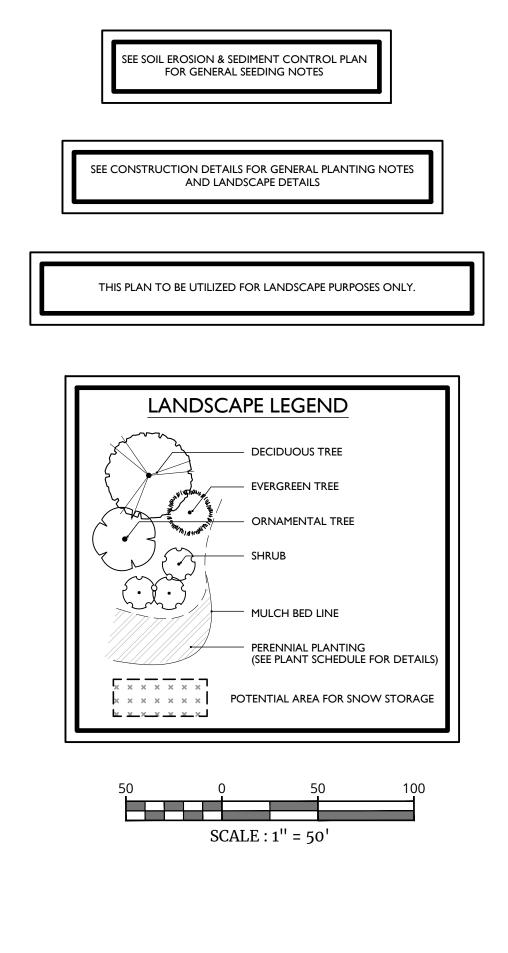




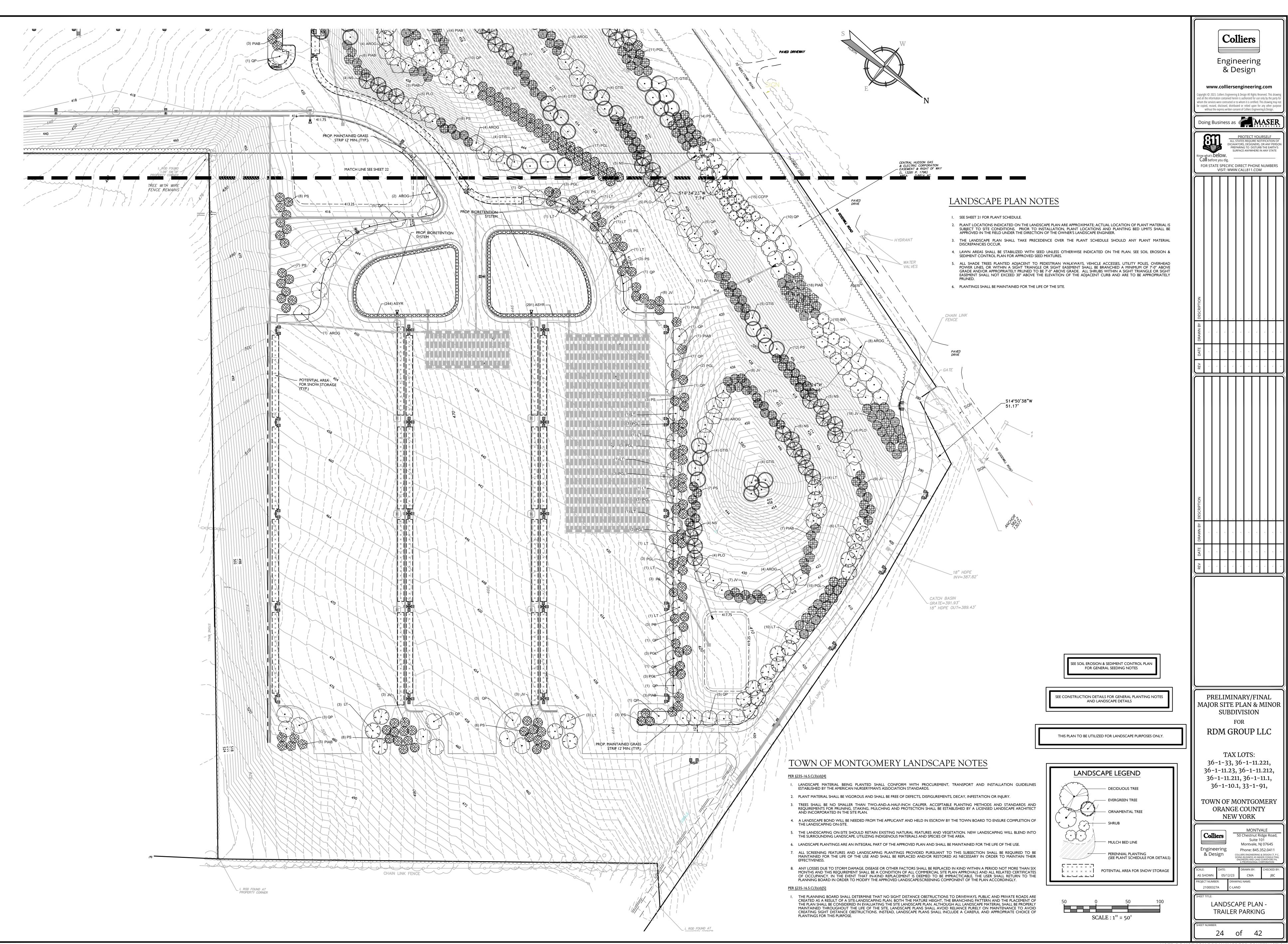
- 2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- 3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- 4. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- 5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- TOWN OF MONTGOMERY LANDSCAPE NOTES

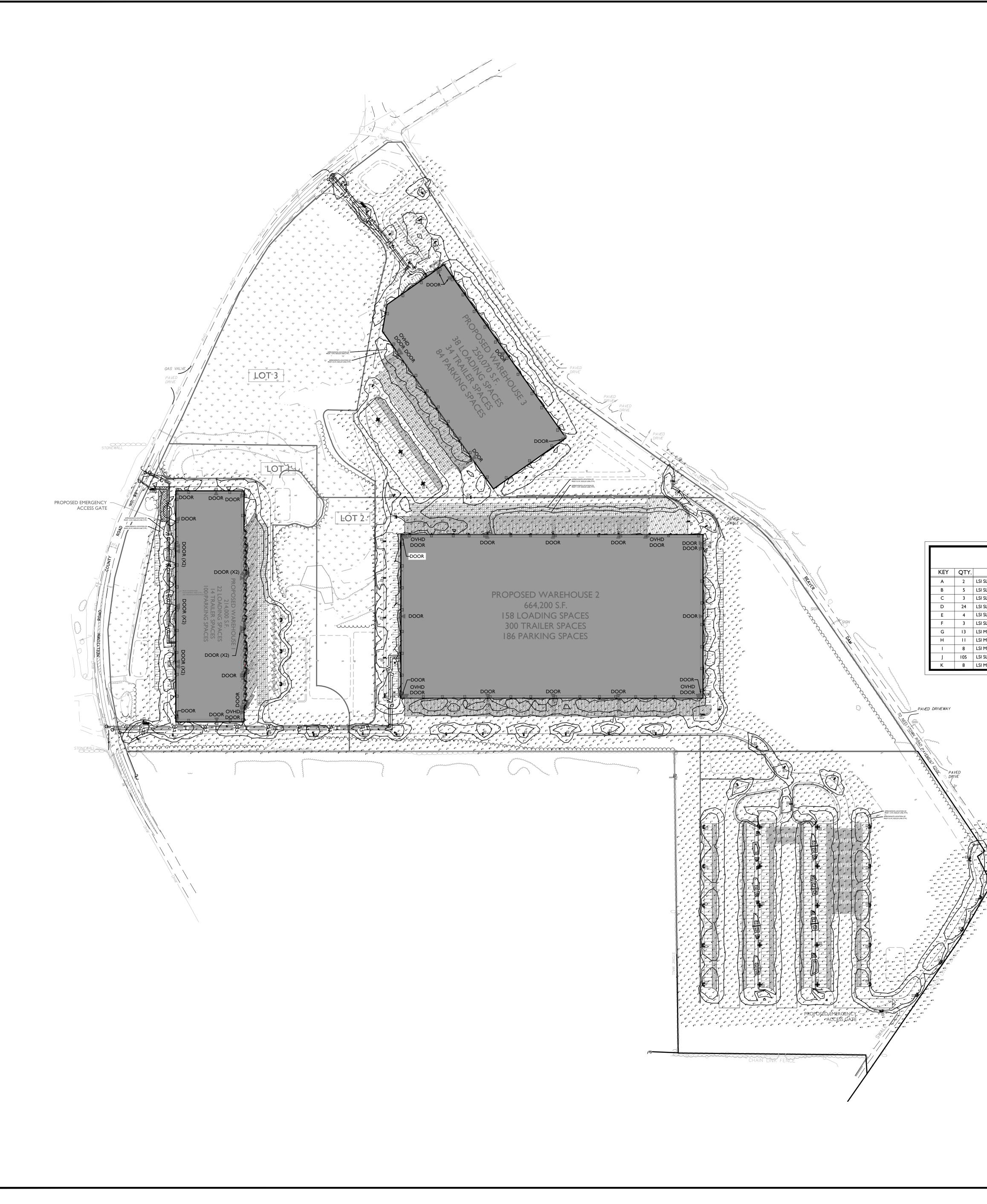
- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS. 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
- 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- 4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
- 5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS
- 6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
- ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. 8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

1. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELEVANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

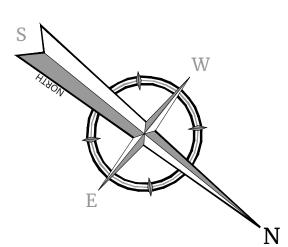


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PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC TAX LOTS: 36-1-33, 36-1-11.221, 36-1-11.23, 36-1-11.212, 36-1-11.211, 36-1-11.1, 36-1-10.1, 33-1-91, TOWN OF MONTGOMERY ORANGE COUNTY											
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327A/Engineering/Site Plans/C-1 GHT.dwg/C-25-1 IGHTING - OVERALI By: IGOLDSTF



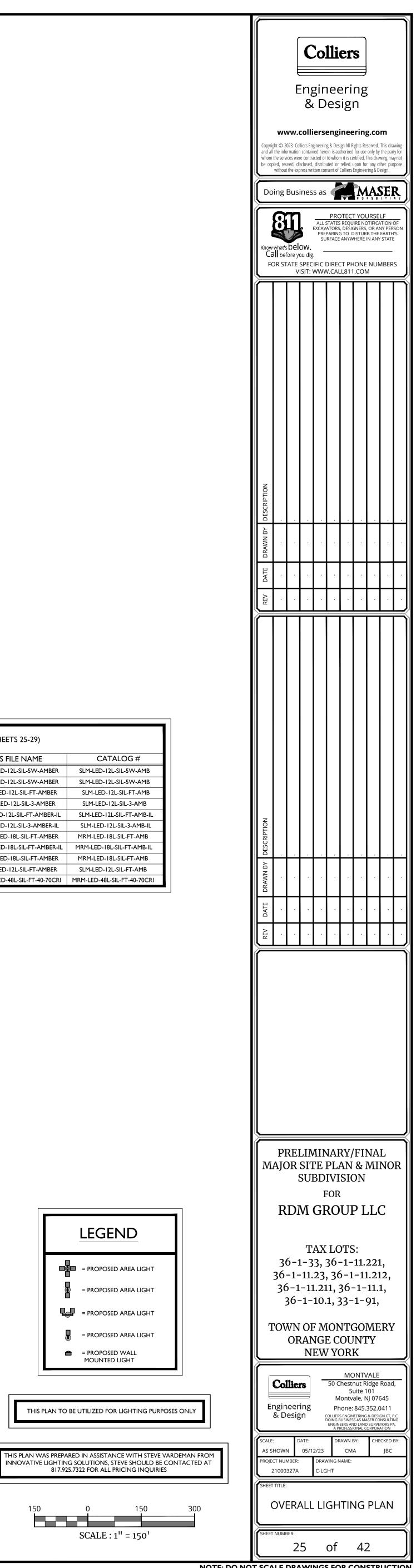
LIGHTING PLAN NOTES

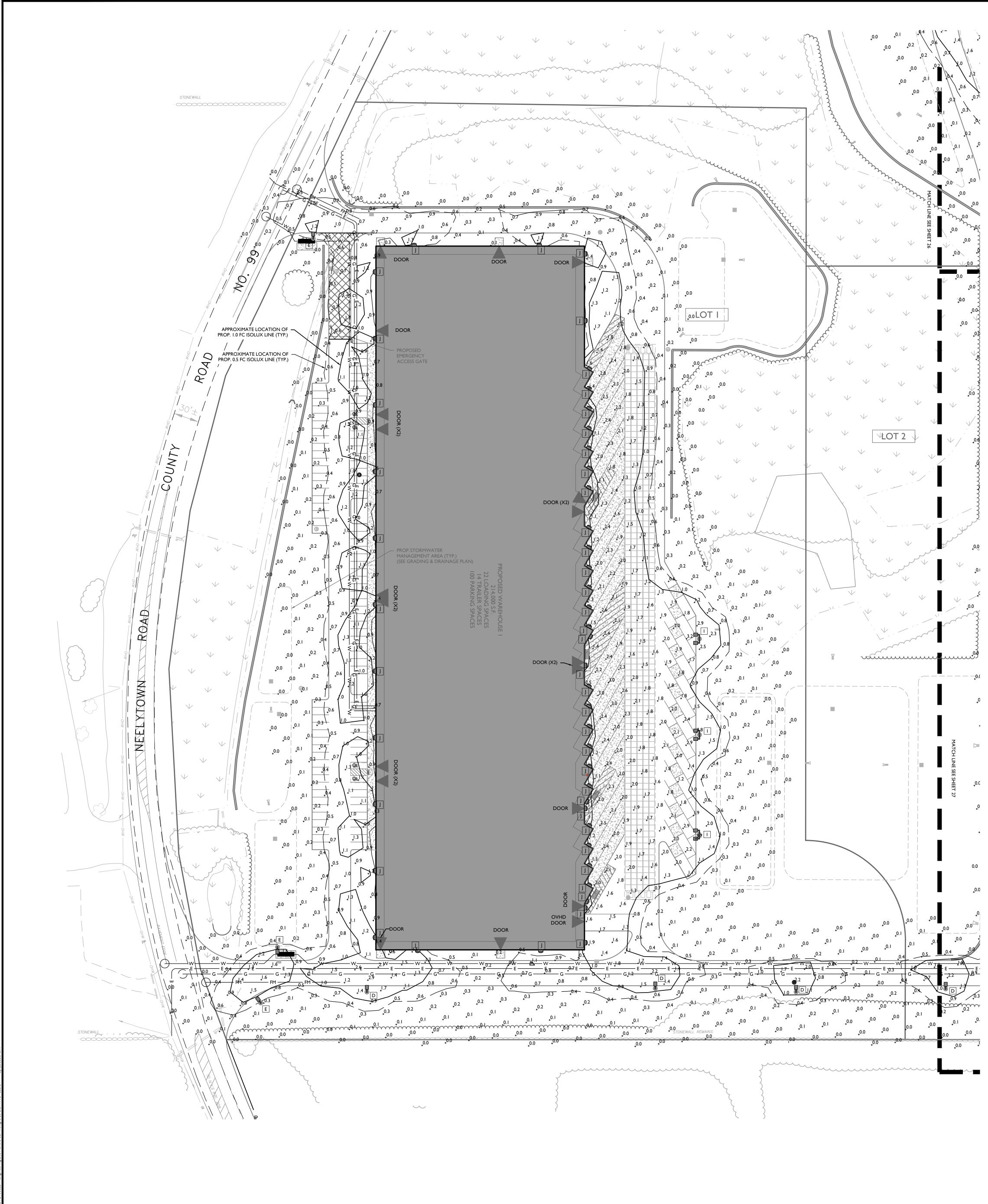
- 1. REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND THE LUMINAIRE SCHEDULE BELOW FOR ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
 ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- 5. UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- 6. CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- 7. ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- 8. SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
 9. LUMINAIRES TO BE MANUFACTURED BY LSI INDUSTRIES, LLC OR APPROVED EQUAL.
- 10. LUMINAIRES AND POLE FINISHES TO BE COORDINATED.

TOWN OF MONTGOMERY LIGHTING PLAN NOTES

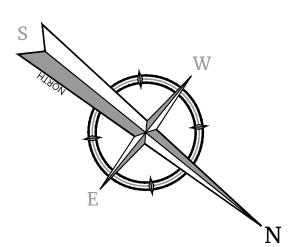
- A. ALL EXTERIOR LUMINAIRES SHALL BE LED SEVERE FULL CUT OFF TYPE UNITS WITH A FLAT LENS ATTACHED TO A POLE OR BUILDING ON A FIXED ARM OR WALL MOUNT WITH THE LENS ORIENTED PARALLEL TO THE GROUND. CERTAIN CIRCUMSTANCES MAY REQUIRE APPROVAL OF OTHER TYPE LIGHTING LUMINAIRES. THE ABOVE IS IN ACCORDANCE WITH ZONING LAW §235-16.5, "SITE PLAN LIGHTING
- REQUIREMENTS". THE FOLLOWING INFORMATION PERTAINING TO THE PROPOSED LIGHTING FIXTURES AND PLAN MUST BE PROVIDED: 1. COMPUTER PREPARED PHOTOMETRIC LAYOUT ON A SEPARATE SITE LIGHTING PLAN OF THE PROPOSED LIGHTED AREA, WHICH INDICATES POINT-BY-POINT FL-C PLOT OF THE SYSTEM'S PERFORMANCE.
- 2. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, ISOFOOT CANDLE PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH, AND HOUSING DESCRIPTION.
- 3. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
- 4. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.
- B. AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMIINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT BASED UPON AN APPLICATION OF THE RELEVANT ZONING LAW PROVISIONS. IN CONNECTION WITH ANY REQUIREMENT
- FOR ADDITIONAL SHIELDING, PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW.
 C. EXTERIOR ARCHITECTURAL LIGHTING MUST BE SHOWN ON THIS PLAN. INTERIOR LIGHTING FIXTURES OR REFLECTING SURFACES WHICH ARE VISIBLE OUTSIDE THE BUILDING ALSO MUST BE SHOWN ON THE PLAN. ALL SUCH SITUATIONS MUST BE REVIEWED BY THE
- PLANNING BOARD AND MEET TOWN LAW REQUIREMENTS/ZONING LAW §235-16.5 REGARDING SITE PLAN LIGHTING AND LIGHT TRESPASS.
- D. ALL LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION MUST BE SUBMITTED TO AND APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH THE ABOVE.
- E. THE LIGHTING PLAN SHALL BE SHOWN ON A SEPARATE SHEET AS PART OF THE OVERALL PLAN SET. THE LIGHTING PLAN SHALL INCLUDE A POINT-BY-POINT FOOT CANDLE (Ft.-C) PLOT, LUMINAIRE SCHEDULE, CALCULATION SUMMARY AND A DRAWING OF THE LUMINAIRES, POLE AND POLE BASE.

LUMINAIRE SCHEDULE (APPLIES TO FULL SITE - SHEETS 25-29)												
DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS	LLF	WATTAGE (W)	IES FILE NAME	CATALOG #					
SI SLICE MEDIUM LED AREA LIGHT	TWIN	25'	7,015	.95	205.8	SLM-LED-12L-SIL-5W-AMBER	SLM-LED-12L-SIL-5W-AMB					
SI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,015	.95	102.9	SLM-LED-12L-SIL-5W-AMBER	SLM-LED-12L-SIL-5W-AMB					
SI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,516	.95	102.9	SLM-LED-12L-SIL-FT-AMBER	SLM-LED-12L-SIL-FT-AMB					
SI SLICE MEDIUM LED AREA LIGHT	SINGLE	25'	7,862	.95	102.9	SLM-LED-12L-SIL-3-AMBER	SLM-LED-12L-SIL-3-AMB					
SI SLICE MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	SINGLE	25'	4,710	.95	102.9	SLM-LED-12L-SIL-FT-AMBER-IL	SLM-LED-12L-SIL-FT-AMB-IL					
SI SLICE MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	SINGLE	25'	5,336	.95	102.9	SLM-LED-12L-SIL-3-AMBER-IL	SLM-LED-12L-SIL-3-AMB-IL					
SI MIRADA MEDIUM LED AREA LIGHT	QUAD	30'	9,620	.95	532.0	MRM-LED-18L-SIL-FT-AMBER	MRM-LED-18L-SIL-FT-AMB					
I MIRADA MEDIUM LED AREA LIGHT - SHARP SPILL LIGHT CUTOFF	TWIN (BULL HORN)	30'	6,018	.95	266.0	MRM-LED-18L-SIL-FT-AMBER-IL	MRM-LED-18L-SIL-FT-AMB-IL					
SI MIRADA MEDIUM LED AREA LIGHT	TWIN (BULL HORN)	30'	9,620	.95	266.0	MRM-LED-18L-SIL-FT-AMBER	MRM-LED-18L-SIL-FT-AMB					
SI SLICE MEDIUM LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25'	7,516	.95	102.9	SLM-LED-12L-SIL-FT-AMBER	SLM-LED-12L-SIL-FT-AMB					
I MIRADA MEDIUM LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	30'	48,521	.95	366.0	MRM-LED-48L-SIL-FT-40-70CRI	MRM-LED-48L-SIL-FT-40-70CRI					





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LIGHTING PLAN NOTES

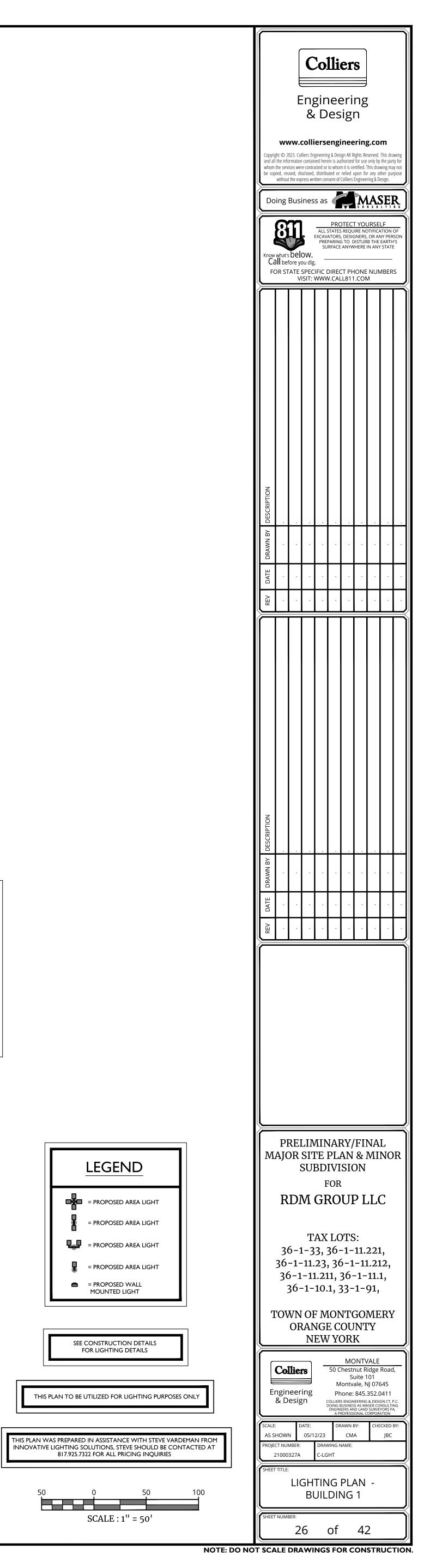
- 1. REFER TO CONSTRUCTION DETAILS FOR LIGHTING DETAILS AND SHEET 25 ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
 ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- 4. POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- 5. UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- 6. CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- 7. ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
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- 10. LUMINAIRES AND POLE FINISHES TO BE COORDINATED.

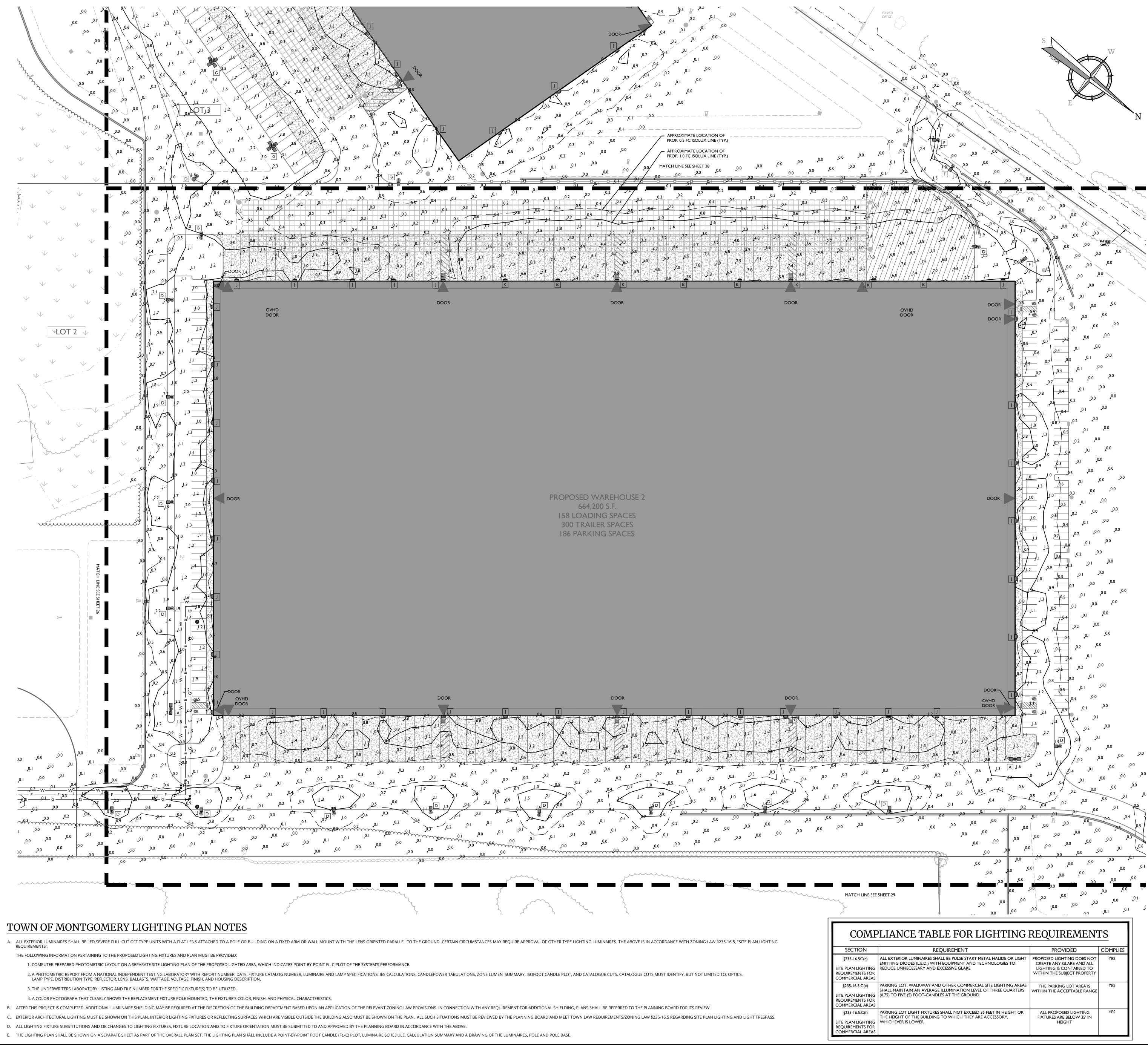
TOWN OF MONTGOMERY LIGHTING PLAN NOTES

- A. ALL EXTERIOR LUMINAIRES SHALL BE LED SEVERE FULL CUT OFF TYPE UNITS WITH A FLAT LENS ATTACHED TO A POLE OR BUILDING ON A FIXED ARM OR WALL MOUNT WITH THE LENS ORIENTED PARALLEL TO THE GROUND. CERTAIN CIRCUMSTANCES MAY REQUIRE APPROVAL OF OTHER TYPE LIGHTING LUMINAIRES. THE ABOVE IS IN ACCORDANCE WITH ZONING LAW §235-16.5, "SITE PLAN LIGHTING
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- B. AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMIINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT BASED UPON AN APPLICATION OF THE RELEVANT ZONING LAW PROVISIONS. IN CONNECTION WITH ANY REQUIREMENT FOR ADDITIONAL SHIELDING, PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW.
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- TRESPASS.
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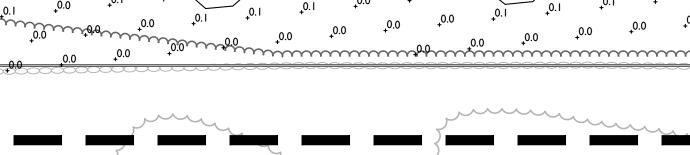
CALCULATION SUMMARY										
AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN				
DOCK AREA	FC	١.6	3.4	0.2	17.0:1	8.0:1				
EMPLOYEE PARKING	FC	0.9	1.4	0.2	7.0:1	4.5:1				
ENTRANCE DRIVE	FC	1.0	1.7	0.3	5.7:I	3.3:1				
TRUCK PARKING	FC	1.8	3.5	0.3	11.7:1	6.0:1				

COMP	LIANCE TABLE FOR LIGHTING	REQUIREMEN'	<u>ГS</u>
SECTION	REQUIREMENT	PROVIDED	COMPLIES
§235-16.5C(c) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	ALL EXTERIOR LUMINAIRES SHALL BE PULSE-START METAL HALIDE OR LIGHT EMITTING DIODES (L.E.D.) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES
§235-16.5.C(e) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT, WALKWAY AND OTHER COMMERCIAL SITE LIGHTING AREAS SHALL MAINTAIN AN AVERAGE ILLUMINATION LEVEL OF THREE QUARTERS (0.75) TO FIVE (5) FOOT-CANDLES AT THE GROUND	THE PARKING LOT AREA IS WITHIN THE ACCEPTABLE RANGE	YES
§235-16.5.C(f) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES





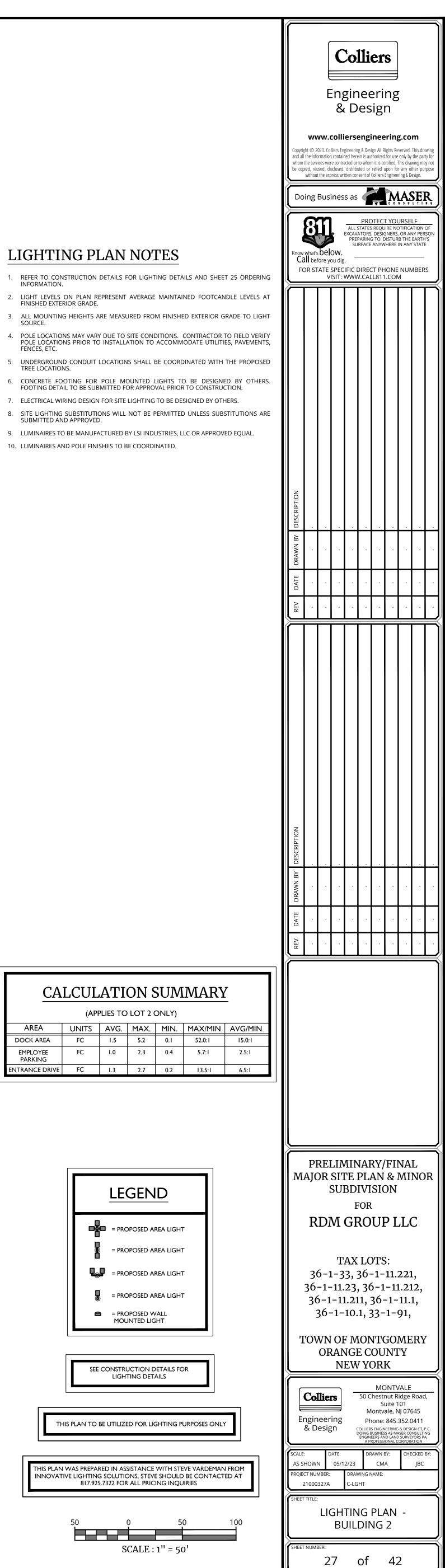
B. AFTER THIS PROJECT IS COMPLETED, ADDITIONAL LUMIINAIRE SHIELDING MAY BE REQUIRED AT THE DISCRETION OF THE BUILDING DEPARTMENT FOR ADDITIONAL SHIELDING, PLANS SHALL BE REFERRED TO THE PLANNING BOARD FOR ITS REVIEW. C. EXTERIOR ARCHITECTURAL LIGHTING MUST BE SHOWN ON THIS PLAN. INTERIOR LIGHTING FIXTURES OR REFLECTING SURFACES WHICH ARE VISIBLE OUTSIDE THE BUILDING ALSO MUST BE REVIEWED BY THE PLANNING BOARD AND MEET TOWN LAW REQUIREMENTS/ZONING LAW §235-16.5 REGARDING SITE PLAN LIGHTING AND LIGHT TRESPASS. D. ALL LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION MUST BE SUBMITTED TO AND APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH THE ABOVE.

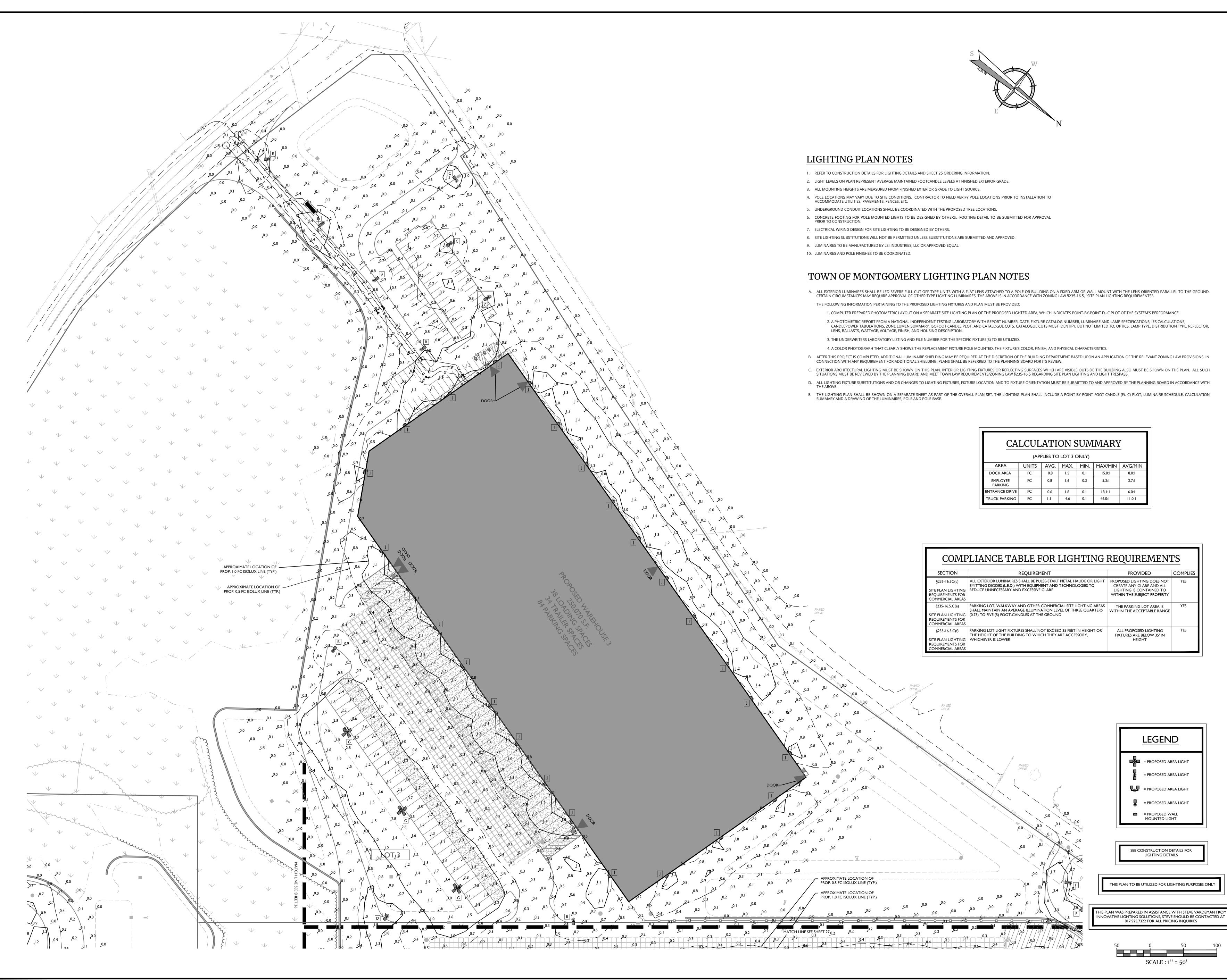


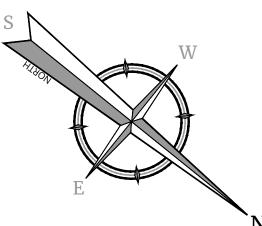
LIGHTING PLAN NOTES

- SOURCE.
- FENCES, ETC.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- 10. LUMINAIRES AND POLE FINISHES TO BE COORDINATED.

CALCULATION SUMMARY (APPLIES TO LOT 2 ONLY)										
AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	1				
DOCK AREA	FC	1.5	5.2	0.1	52.0:1					
EMPLOYEE PARKING	FC	1.0	2.3	0.4	5.7:1					
ENTRANCE DRIVE	FC	1.3	2.7	0.2	3.5:					





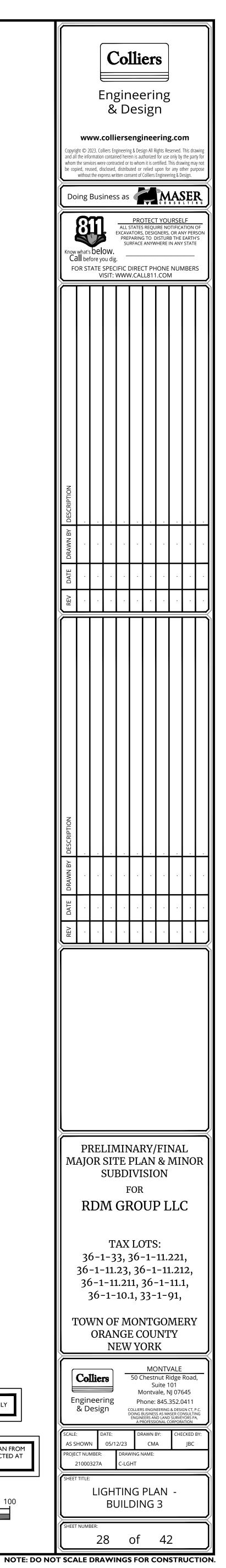


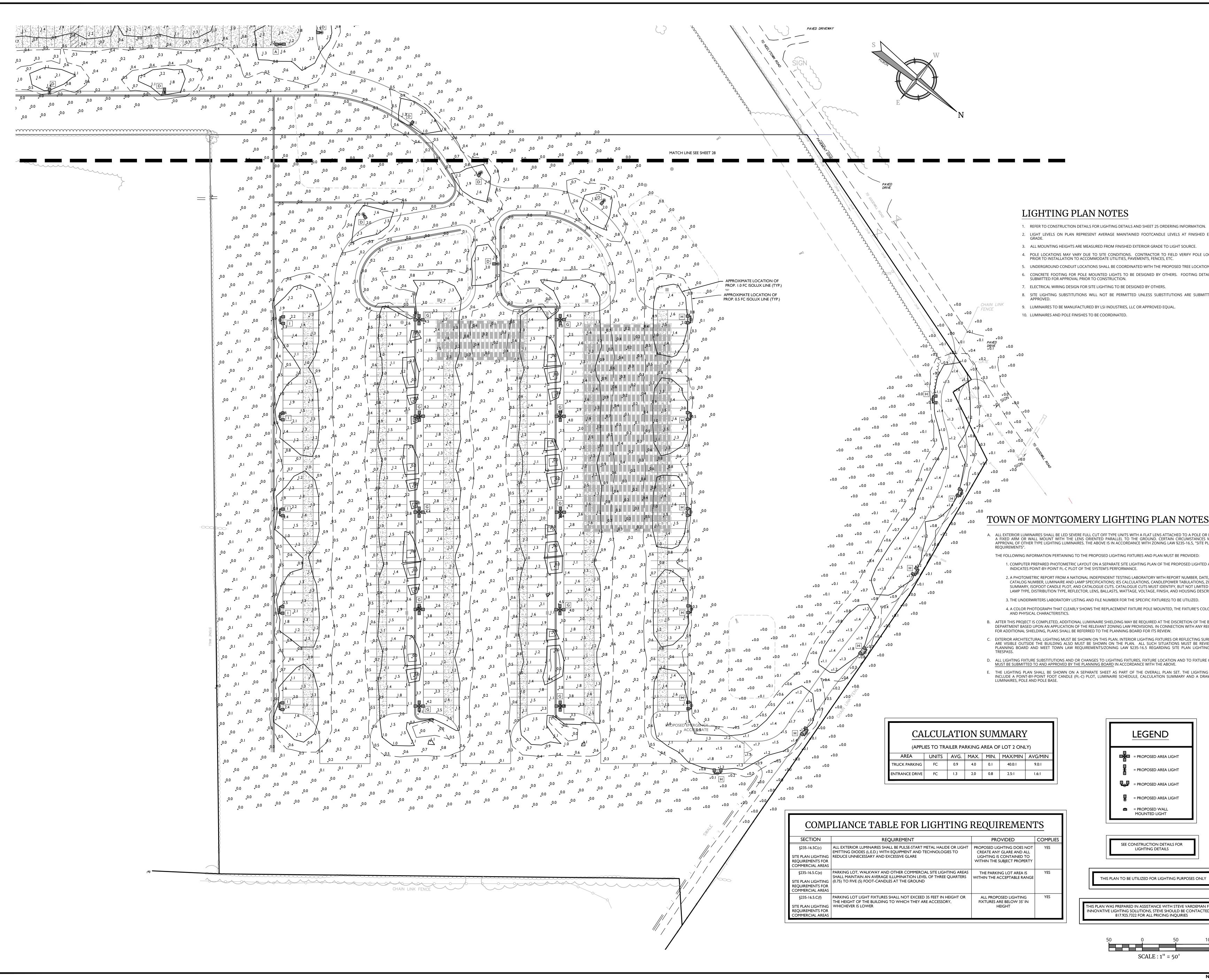
- CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, ISOFOOT CANDLE PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR,

- E. THE LIGHTING PLAN SHALL BE SHOWN ON A SEPARATE SHEET AS PART OF THE OVERALL PLAN SET. THE LIGHTING PLAN SHALL INCLUDE A POINT-BY-POINT FOOT CANDLE (Ft.-C) PLOT, LUMINAIRE SCHEDULE, CALCULATION SUMMARY AND A DRAWING OF THE LUMINAIRES, POLE AND POLE BASE.

<u>CA</u>			ON S		MARY	7
AREA	UNITS	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
DOCK AREA	FC	0.8	1.5	0.1	15.0:1	8.0:1
EMPLOYEE PARKING	FC	0.8	1.6	0.3	5.3:1	2.7:1
ENTRANCE DRIVE	FC	0.6	1.8	0.1	18.1:1	6.0:1
TRUCK PARKING	FC	1.1	4.6	0.1	46.0:1	11.0:1

COMPLIANCE TABLE FOR LIGHTING REQUIREMENTS									
SECTION	REQUIREMENT	PROVIDED	COMPLIES						
§235-16.5C(c) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	ALL EXTERIOR LUMINAIRES SHALL BE PULSE-START METAL HALIDE OR LIGHT EMITTING DIODES (L.E.D.) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES						
§235-16.5.C(e) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT, WALKWAY AND OTHER COMMERCIAL SITE LIGHTING AREAS SHALL MAINTAIN AN AVERAGE ILLUMINATION LEVEL OF THREE QUARTERS (0.75) TO FIVE (5) FOOT-CANDLES AT THE GROUND	THE PARKING LOT AREA IS WITHIN THE ACCEPTABLE RANGE	YES						
§235-16.5.C(f) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES						

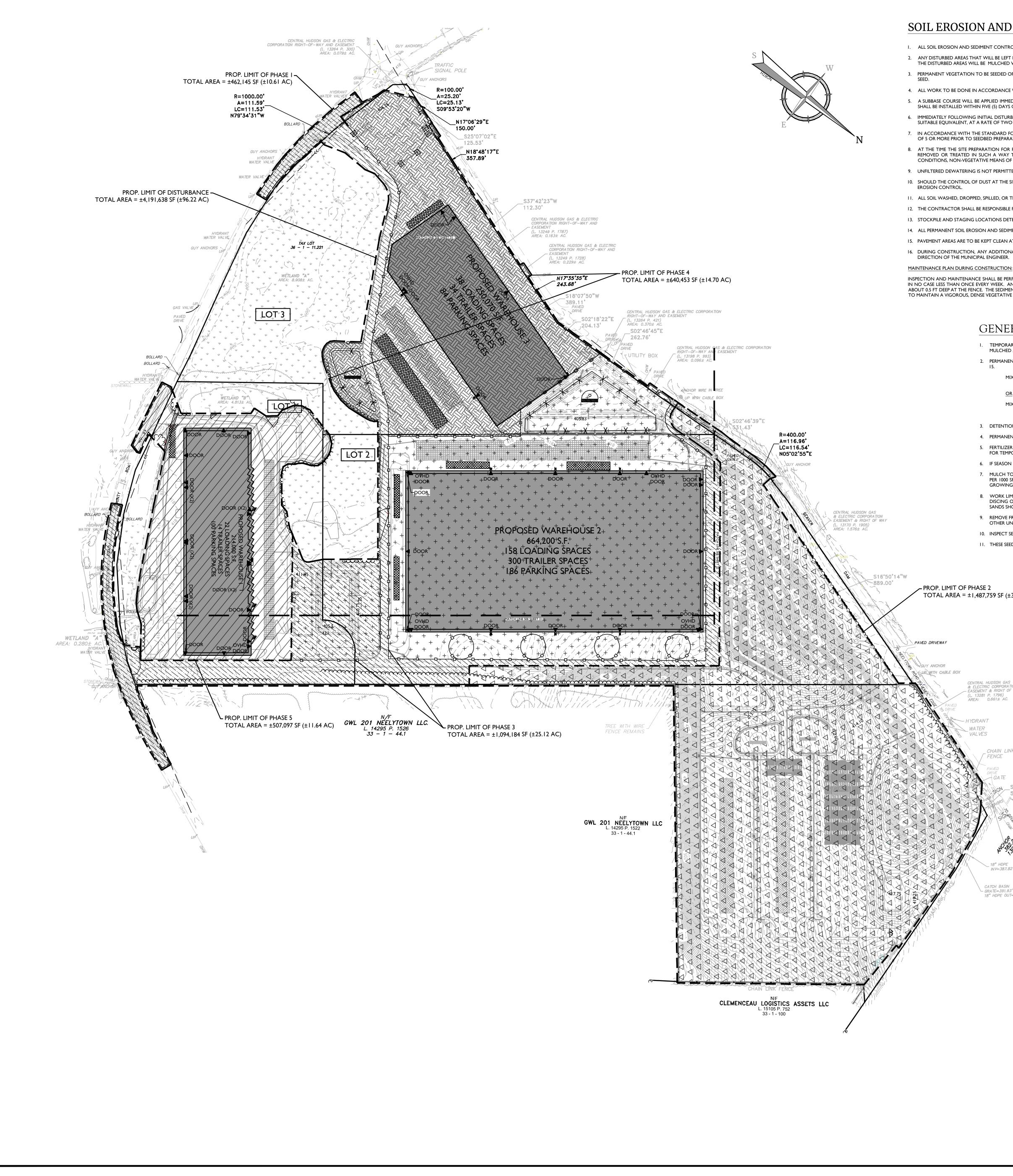




SECTION	REQUIREMENT	PROVIDED	COMPLIES
§235-16.5C(c) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	ALL EXTERIOR LUMINAIRES SHALL BE PULSE-START METAL HALIDE OR LIGHT EMITTING DIODES (L.E.D.) WITH EQUIPMENT AND TECHNOLOGIES TO REDUCE UNNECESSARY AND EXCESSIVE GLARE	PROPOSED LIGHTING DOES NOT CREATE ANY GLARE AND ALL LIGHTING IS CONTAINED TO WITHIN THE SUBJECT PROPERTY	YES
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§235-16.5.C(f) SITE PLAN LIGHTING REQUIREMENTS FOR COMMERCIAL AREAS	PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 35 FEET IN HEIGHT OR THE HEIGHT OF THE BUILDING TO WHICH THEY ARE ACCESSORY, WHICHEVER IS LOWER	ALL PROPOSED LIGHTING FIXTURES ARE BELOW 35' IN HEIGHT	YES

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SOIL EROSION AND SEDIMENT CONTROL NOTES

I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY (SECOND REVENTS) AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY (SECOND REVENTS) AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. 3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.

6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.

7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE. 8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE

REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS. 10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR

11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT. 13. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.

14. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.

15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.

16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-20-001. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

GENERAL SEEDING NOTES

TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.

2. PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL I AND MAY 31: AND AUGUST 16 AND OCTOBER

MIX #15 - <u>OR</u>	HARD FESCUE PERENNIAL RYE GRASS KENTUCKY BLUE GRASS (BLEND)	120 LBS/ACRE 30 LBS/ACRE 40 LBS/ACRE
MIX #16 -	TALL FESCUE PERENNIAL RYE GRASS (BLEND) KENTUCKY BLUE GRASS (BLEND)	160 LBS/ACRE 20 LBS/ACRE 20 LBS/ACRE

- 3. DETENTION BASIN TO BE SEEDED WITH ERNST SEED MIX 127 OR APPROVED EQUIVALENT.
- 4. PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
- 5. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- 6. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 7.
- 7. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS
- 8. WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE
- SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE. 9. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- 10. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
- 11. THESE SEEDING NOTES SHALL APPLY FOR ALL SOIL EROSION PHASES AND SHEETS AS SHOWN IN THIS SET.

TOTAL AREA = $\pm 1,487,759$ SF (± 34.15 AC)

CENTRAL HUDSON GAS & ELECTRIC CORPORATION - EASEMENT & RIGHT OF WAY

CHAIN LINK FENCE

> 18" HDPE INV=387.82'

CATCH BASIN ∽ GRATE=391.93' 18" HDPE OUT=389.43'

S14'50'38"W 51.17

48" CMP

48" CMP

- INV=368.2'± (SILTED)

(L. 13281 P. 1796) AREA: 0.661± AC.

HYDRANT

WATER

VALVES

SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

- I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK. 2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND
- SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. 3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
- 4. MAINTENANCE SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
- 5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM
- 6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. 7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

PHASE 0: STAGING AREA FOR CLEARING OPERATIONS, REMOVAL OF EXISTING TREES, VEGETATION, RESIDENTIAL HOMES, AND ANY ADDITIONAL EXISTING SITE FEATURES SHOWN ON THE DEMOLITION PLAN OR PRESENT AT THE SITE. I. INSTALL SILT FENCE AS SHOWN ON PLANS

2. INSTALL SAFETY FENCE AS SHOWN ON PLANS

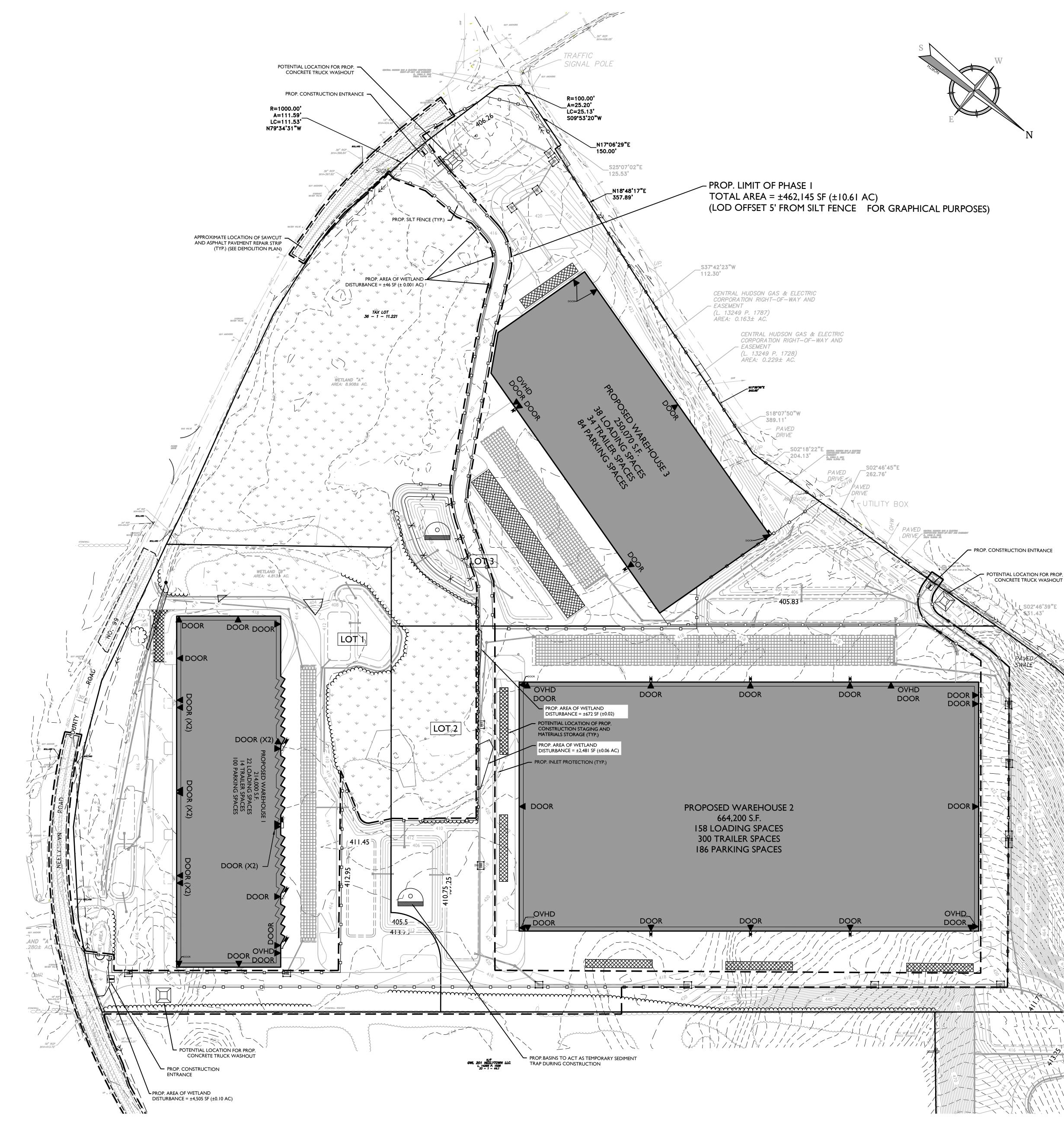
3. REMOVE UNDERBUSH, EXISTING RESIDENCIES AND STRUCTURES, CUT ALL TREES WITHIN THE LIMITS OF PROPOSED CONSTRUCTION, AS DELINEATED ON THE PLANS.

SEE CONSTRUCTION DETAILS FOR EROSION AND SEDIMENT CONTROL DETAILS THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY. TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 96.22 ACRES

	EGEND
oo	= SILT FENCE
— <u>X</u> —X	= ORANGE CONSTRUCTION FENCE
	= INLET PROTECTION
	= STAGING AREA
	= CONSTRUCTION ENTRANCE
	= LIMIT OF DISTURBANCE
	= LIMIT OF PHASE 1
$\bigtriangledown \lor \lor$	= LIMIT OF PHASE 2
	= LIMIT OF PHASE 3
	= LIMIT OF PHASE 4
	= LIMIT OF PHASE 5
	= SAWCUT AND ASPHALT PAVEMENT REPAIR
	= CONCRETE TRUCK WASHOUT
	= TEMPORARY SEDIMENT TRAP
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SOIL EROSION AND SEDIMENT CONTROL NOTES

- I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL
- SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED. 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- 5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE
- TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE. 8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE

SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

- 9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- 10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- 11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- 13. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. 14. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.
- 15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.

16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER. MAINTENANCE PLAN DURING CONSTRUCTION:

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-20-001. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE

SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 1)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

- I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
- 2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION
- ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
- MAINTENANCE SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
- 7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

PHASE I: SITE ACCESS, PREPARATION FOR CONSTRUCTION VEHICLES, AND ROADWAY CONSTRUCTION

- I. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE, AS PER THE APPROVED PLANS.
- 2. INSTALL CONSTRUCTION ENTRANCES AND TRUCK WASHOUTS IN LOCATIONS INDICATED ON THIS PLAN FOR PHASE I.
- 3. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE I.
- 4. EXCAVATE AS FOR TEMPORARY SEDIMENT BASIN, UTILITY TRENCHING, AND STORMWATER TRENCHING.
- 5. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING AND UTILITY PLANS.
- 6. INSTALL INLET PROTECTION PER PLAN AND ADDITIONAL SOL EROSION MEASURES AS DICTATED BY CONSTRUCTION CONDITIONS.
- 7. ROUGH GRADE THE LIMITS WITHIN PHASE I.

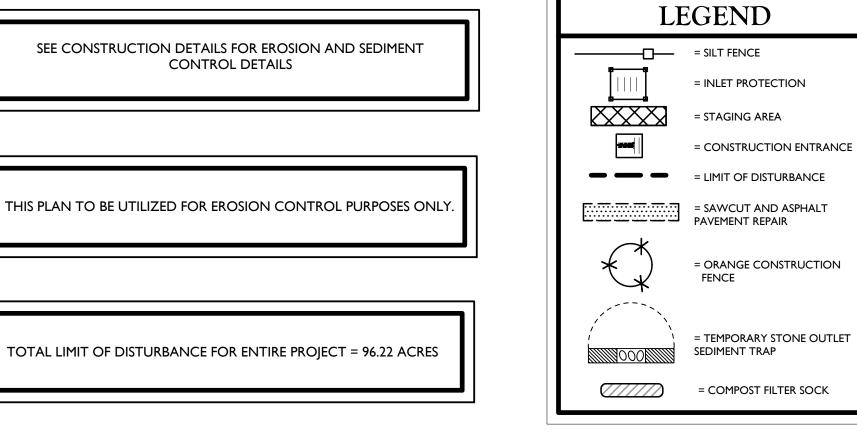
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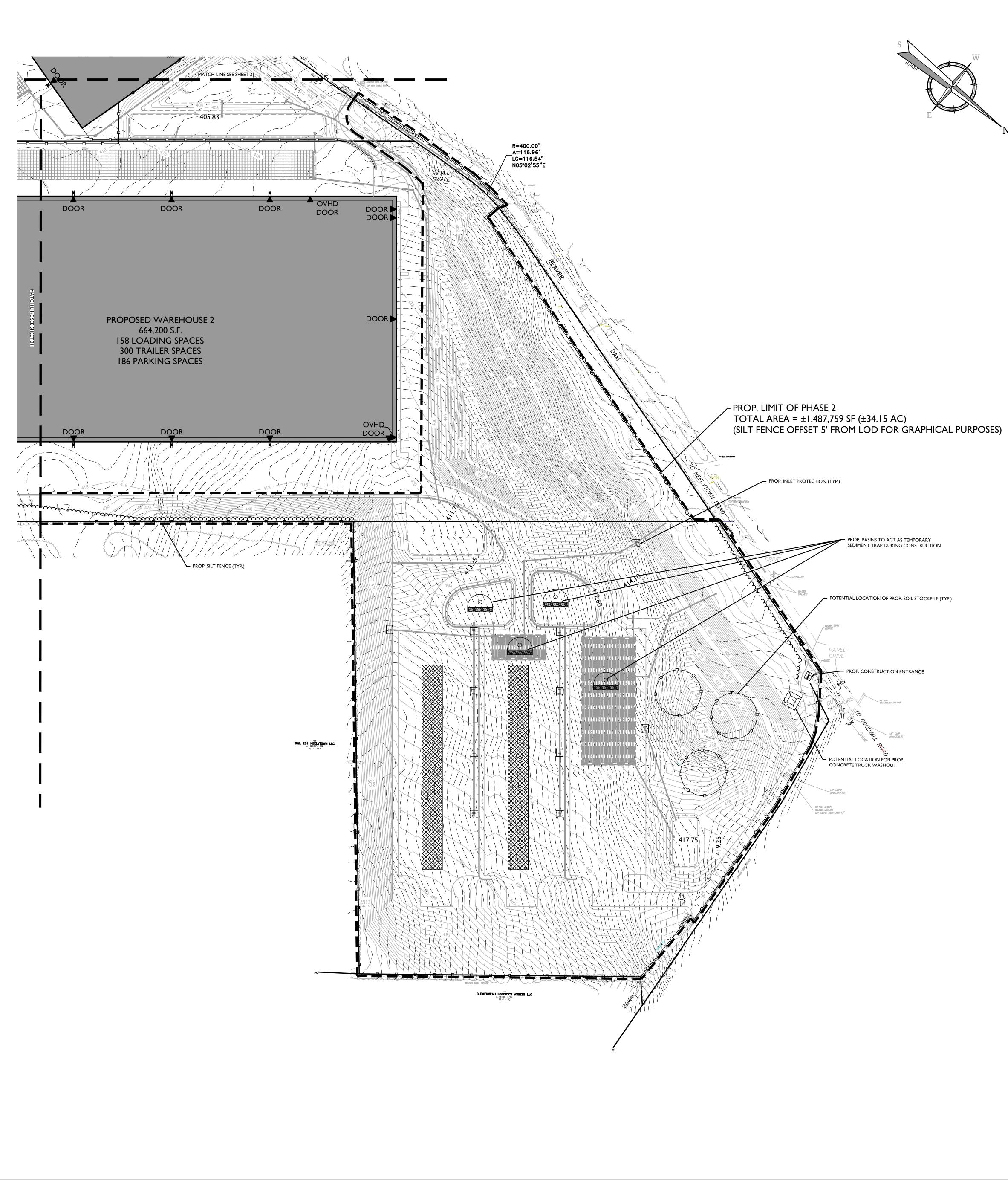
- 8. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED DRIVE AISLES BASED ON THE LAYOUT AND GRADING PLANS.
- 9. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES. ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 2 MAY BEGIN.



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SCALE : 1" = 100'

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	SHEET NUMBER: 31 of 42



13274)Engineering/Site Planc/C-SESC dwe/C-32-SOIL EPOSION - PHASE 2 Bv: IGOI DSTE

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING,
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- 7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- 8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- 10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- 11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
 ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.
- 15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.

16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
MAINITENANCE PLAN PURPLY CONSTRUCTION

OSES) MAINTENANCE PLAN DURING CONSTRUCTION:

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SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 2)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES: I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.

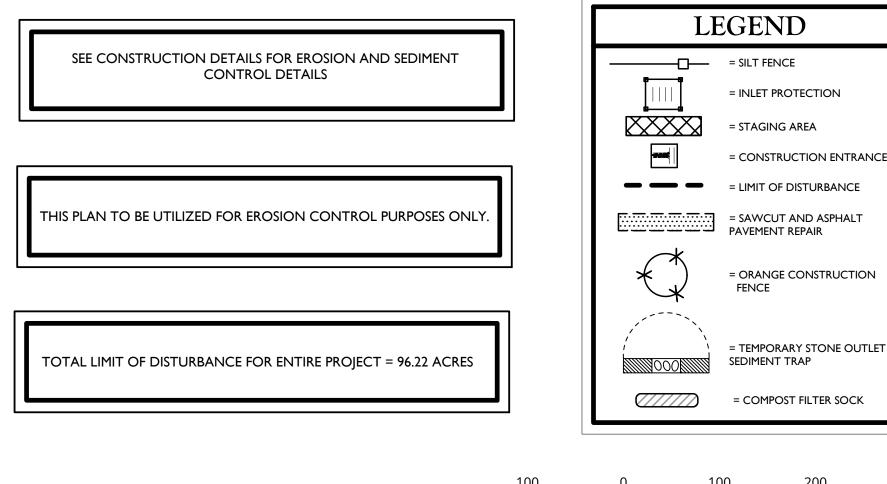
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST
- VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
 3. STABILIZATION THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION
- OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS). 4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT
- FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
- 5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- 6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
- 7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

PHASE 2: CLAY EXCAVATION, BEGIN SOIL MOVEMENT, AND TRAILER PARKING CONSTRUCTION

- I. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE, AS PER THE APPROVED PLANS.
- 2. INSTALL CONSTRUCTION ENTRANCES AND TRUCK WASHOUTS IN LOCATIONS INDICATED ON THIS PLAN FOR PHASE 2.
- 3. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE 2.
- 4. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.
- 5. EXCAVATE SUBSURFACE CLAY, RELOCATE CUT SOIL IN AREAS OF FILL AS INDICATED ON THE GRADING PLAN, TRUCK SOIL THAT WILL NOT BE USED AS FILL SHOULD BE BROUGHT OFF THE SITE

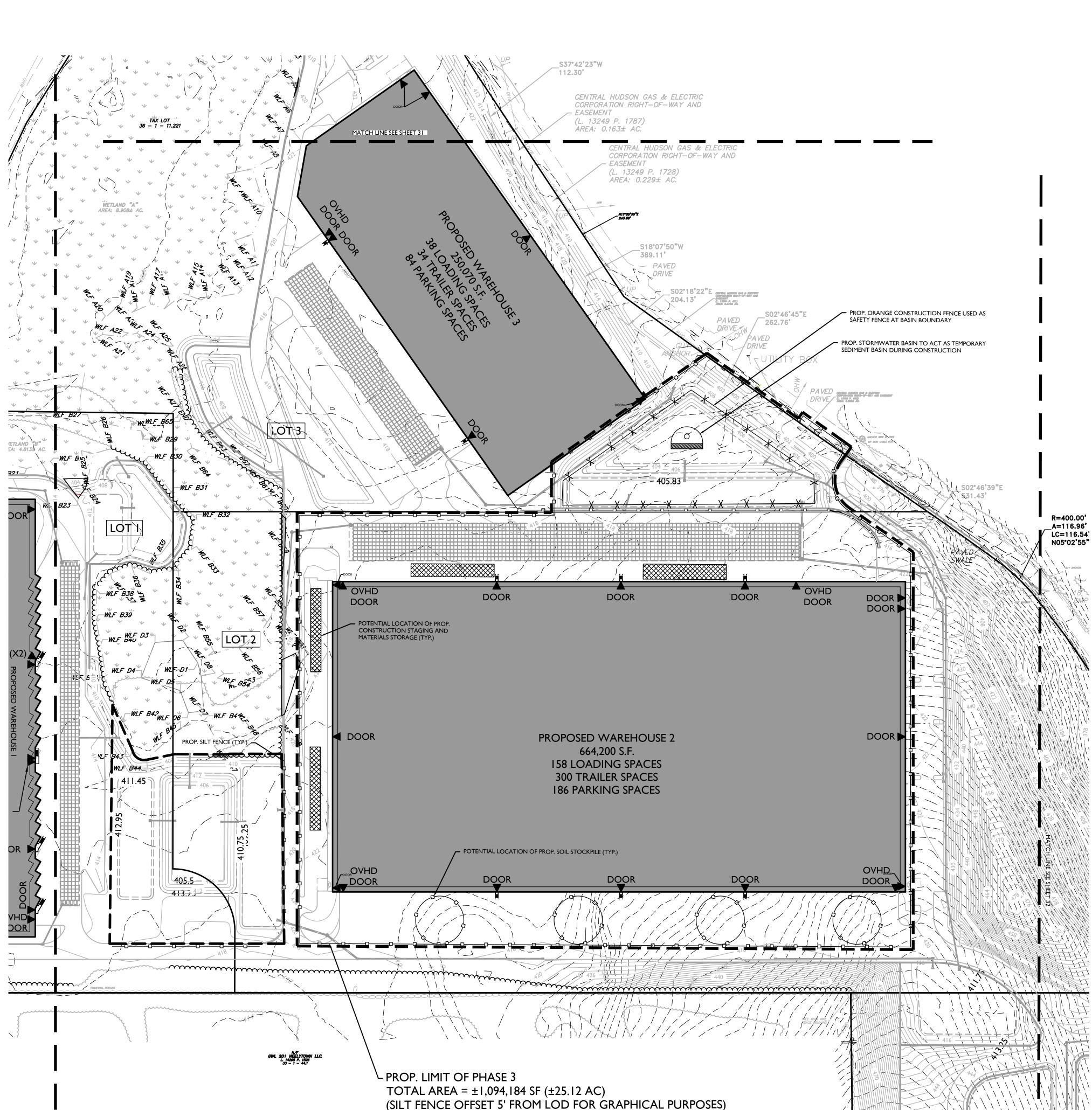
6. THE TEMPORARY SEDIMENT TRAPS WILL REMAIN WITHIN THE STORMWATER BASINS FOR THE DURATION OF CONSTRUCTION FOR THIS PHASE.

- 7. EXCAVATE FOR STORMWATER TRENCHING.
- 8. INSTALL STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING PLAN.
- 9. INSTALL INLET PROTECTION PER PLAN AND ADDITIONAL SOIL EROSION MEASURES AS DICTATED BY CONSTRUCTION CONDITIONS.
- 10. ROUGH GRADE THE LIMITS WITHIN PHASE 2.
- 11. CONSTRUCT RETAINING WALLS PER LAYOUT AND GRADING PLANS.
- INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED TRAILER PARKING BASED ON THE LAYOUT AND GRADING PLANS.
 ADD PARKING STRIPING AS SHOWN ON THE LAYOUT PLAN.
- 14. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES. ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 3 MAY BEGIN.



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- WORK NEAR EXISTING UTILITY LINES.



ACCORDING TO STATE STANDARDS.

MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE,

3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING,

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING. 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.

7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.

8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.

10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

II. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE

13. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. 14. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR RESPONSIBILITY.

15. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.

16. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

MAINTENANCE PLAN DURING CONSTRUCTION:

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-20-001. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 3)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.

2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER

CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS). 4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT

FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL

DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. 6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR

CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. 7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY

PHASE 3: CONSTRUCTION OF BUILDING 2 AND STORMWATER BASIN

I. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE, AS PER THE APPROVED PLANS.

2. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE 3.

3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.

4. EXCAVATE AND CONSTRUCT STORMWATER BASIN.

5. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.

6. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING. 7. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING AND UTILITY PLANS.

8. ROUGH GRADE THE LIMITS WITHIN PHASE 3.

9. CONSTRUCT BUILDING 2 FOUNDATION, STRUCTURE, AND RETAINING WALLS AS SHOWN ON THE GRADING PLAN.

10 INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED LOADING DOCKS BASED ON THE LAYOUT AND GRADING PLANS.

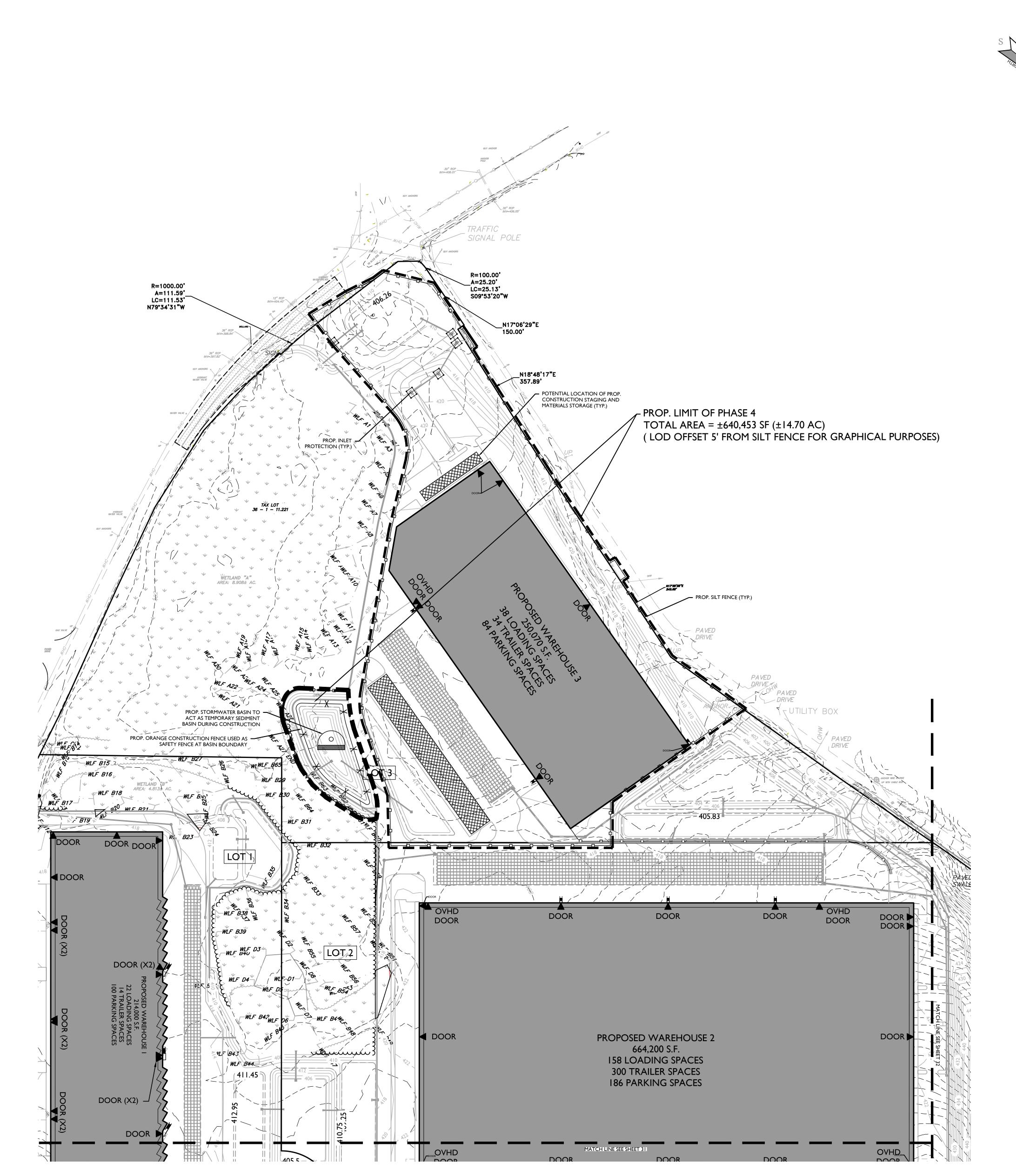
II. ADD PARKING STRIPING AS SHOWN ON THE LAYOUT PLAN.

12. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES. ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 4 MAY BEGIN.

> LEGEND SEE CONSTRUCTION DETAILS FOR EROSION AND SEDIMENT = SILT FENCE CONTROL DETAILS = INLET PROTECTION $\times\!\!\times\!\!\times\!\!\times$ = STAGING AREA -----= CONSTRUCTION ENTRANC = LIMIT OF DISTURBANCE THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY. = SAWCUT AND ASPHALT PAVEMENT REPAIR = ORANGE CONSTRUCTION FENCE = TEMPORARY STONE OUTLET SEDIMENT TRAP TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 96.22 ACRES = COMPOST FILTER SOCK

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ACCORDING TO STATE STANDARDS.

- PROIECT.

- MAINTENANCE PLAN DURING CONSTRUCTION:

- DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- WORK NEAR EXISTING UTILITY LINES. PHASE 4: CONSTRUCTION OF BUILDING 3 AND STORMWATER BASIN

- 7. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING AND UTILITY PLANS.
- GRADING PLANS.



SOIL EROSION AND SEDIMENT CONTROL NOTES

I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE,

3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING,

MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED. 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING. 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.

7. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.

8. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

9. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.

10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

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SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 4)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.

2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER

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2. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE 4.

3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.

4. EXCAVATE AND CONSTRUCT STORMWATER BASIN.

5. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.

6. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING.

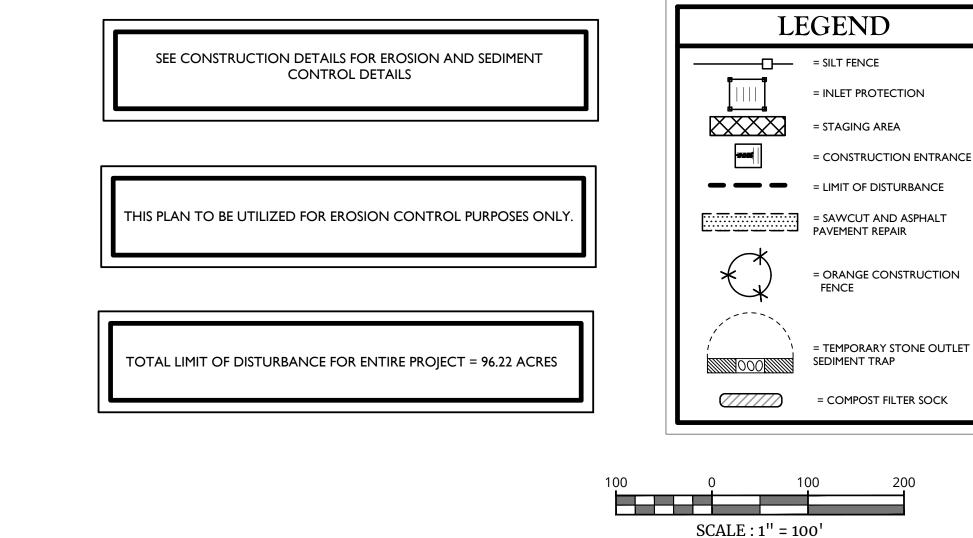
8. ROUGH GRADE THE LIMITS WITHIN PHASE 4.

9. CONSTRUCT BUILDING 3 FOUNDATION, STRUCTURE, AND RETAINING WALLS AS SHOWN ON THE GRADING PLAN.

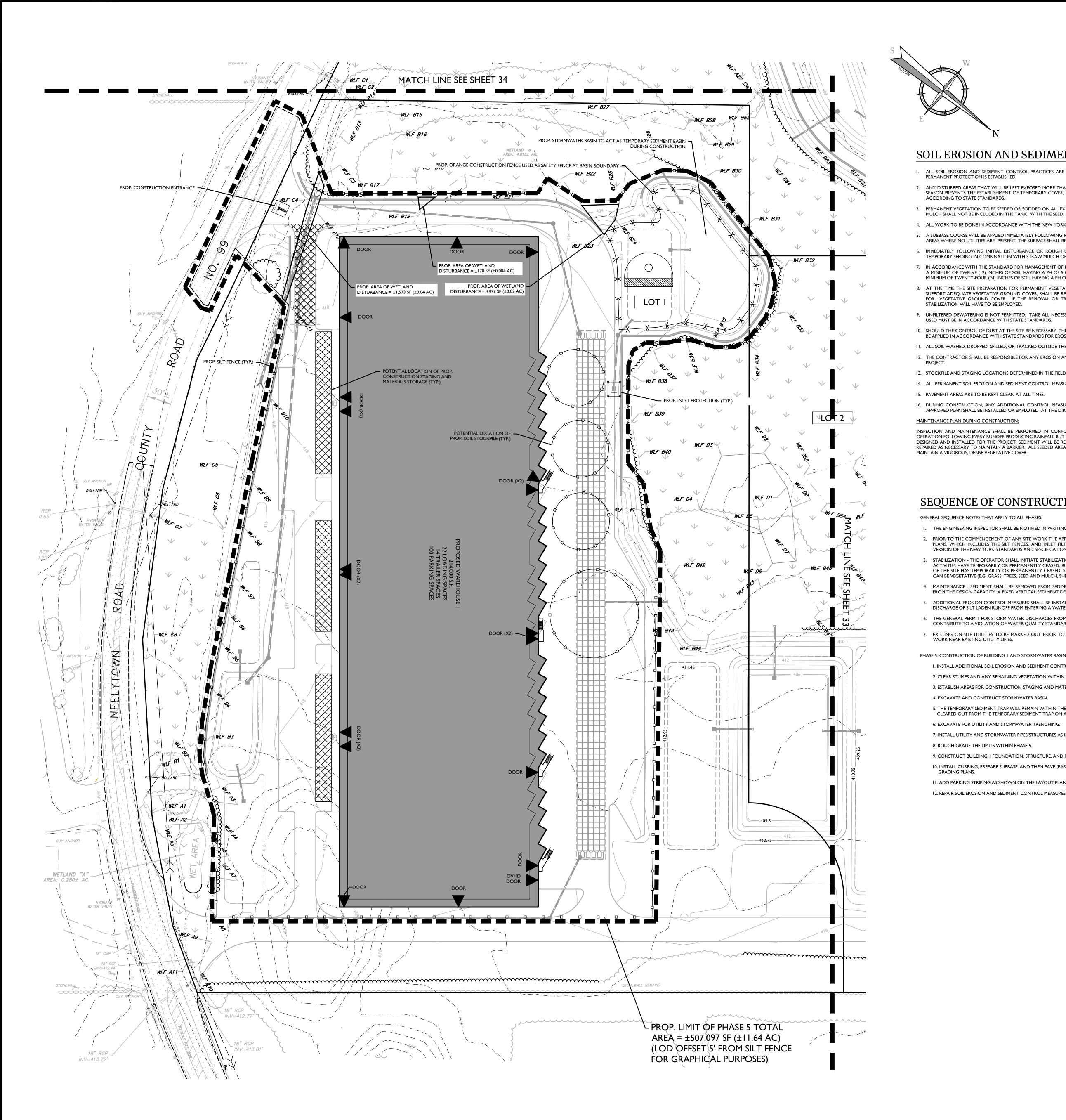
10. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED LOADING DOCKS AND PARKING LOT BASED ON THE LAYOUT AND

II. ADD PARKING STRIPING AS SHOWN ON THE LAYOUT PLAN.

12. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES. ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 5 MAY BEGIN.



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SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (PHASE 5)

GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:

I. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.

2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, AND INLET FILTERS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER

CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS). 4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT

FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL

DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. 6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR

CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

7. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

PHASE 5: CONSTRUCTION OF BUILDING I AND STORMWATER BASIN

I. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES NOT NOTED ABOVE, AS PER THE APPROVED PLANS.

2. CLEAR STUMPS AND ANY REMAINING VEGETATION WITHIN THE LIMITS OF PHASE 5.

3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.

4. EXCAVATE AND CONSTRUCT STORMWATER BASIN.

5. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.

6. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING.

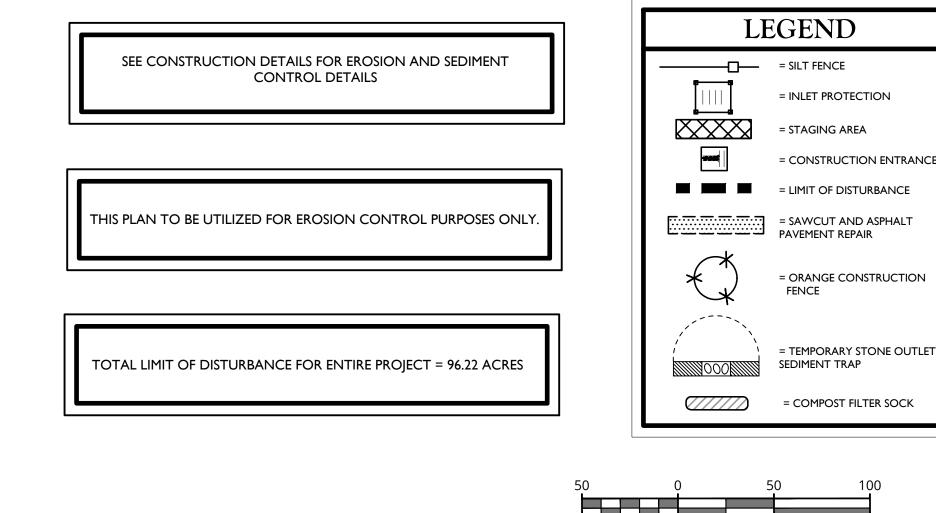
7. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING AND UTILITY PLANS.

8. ROUGH GRADE THE LIMITS WITHIN PHASE 5. 9. CONSTRUCT BUILDING I FOUNDATION, STRUCTURE, AND RETAINING WALLS AS SHOWN ON THE GRADING PLAN.

10. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED LOADING DOCKS AND PARKING LOT BASED ON THE LAYOUT AND GRADING PLANS.

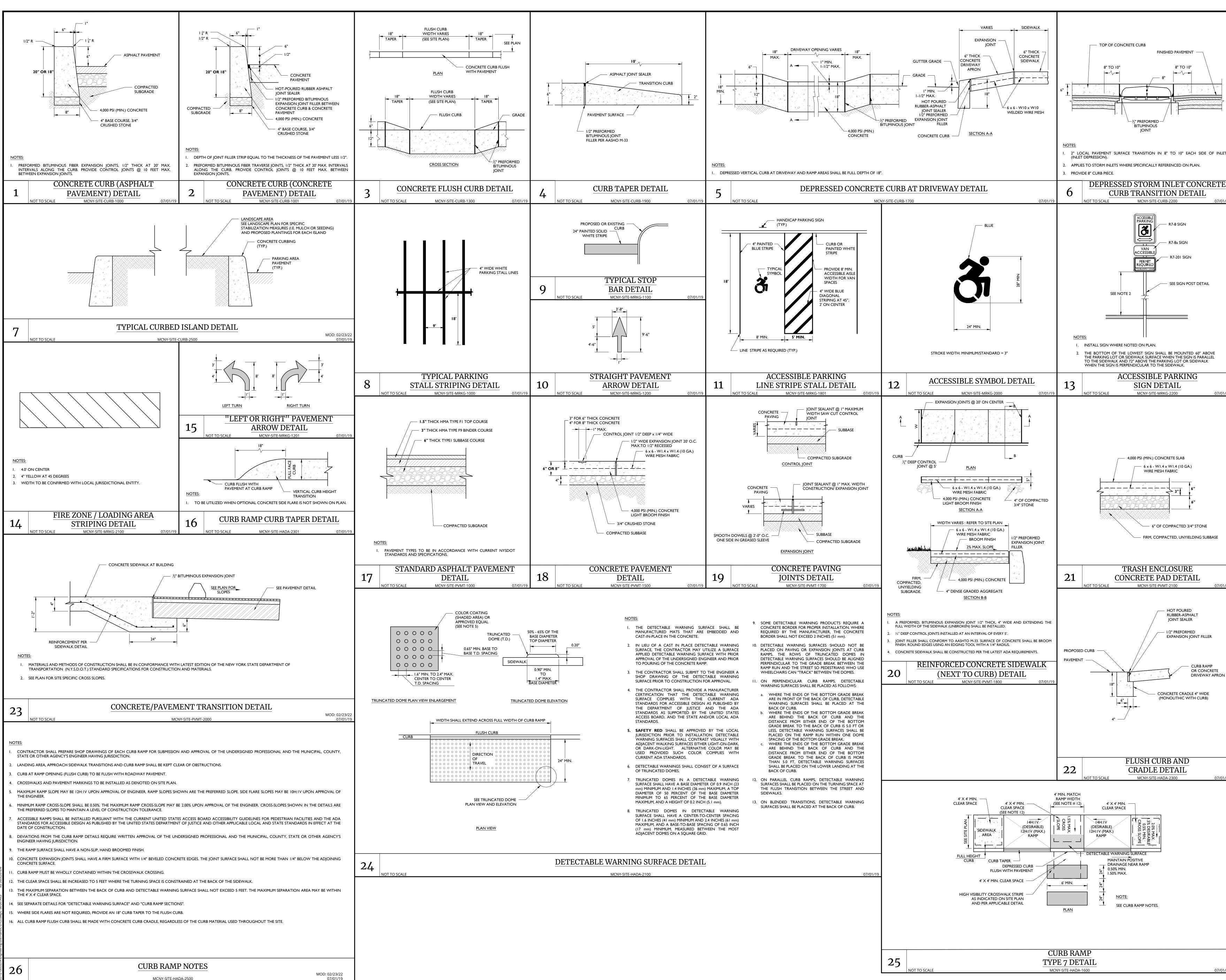
II. ADD PARKING STRIPING AS SHOWN ON THE LAYOUT PLAN.

12. REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM CONSTRUCTION ACTIVITIES.

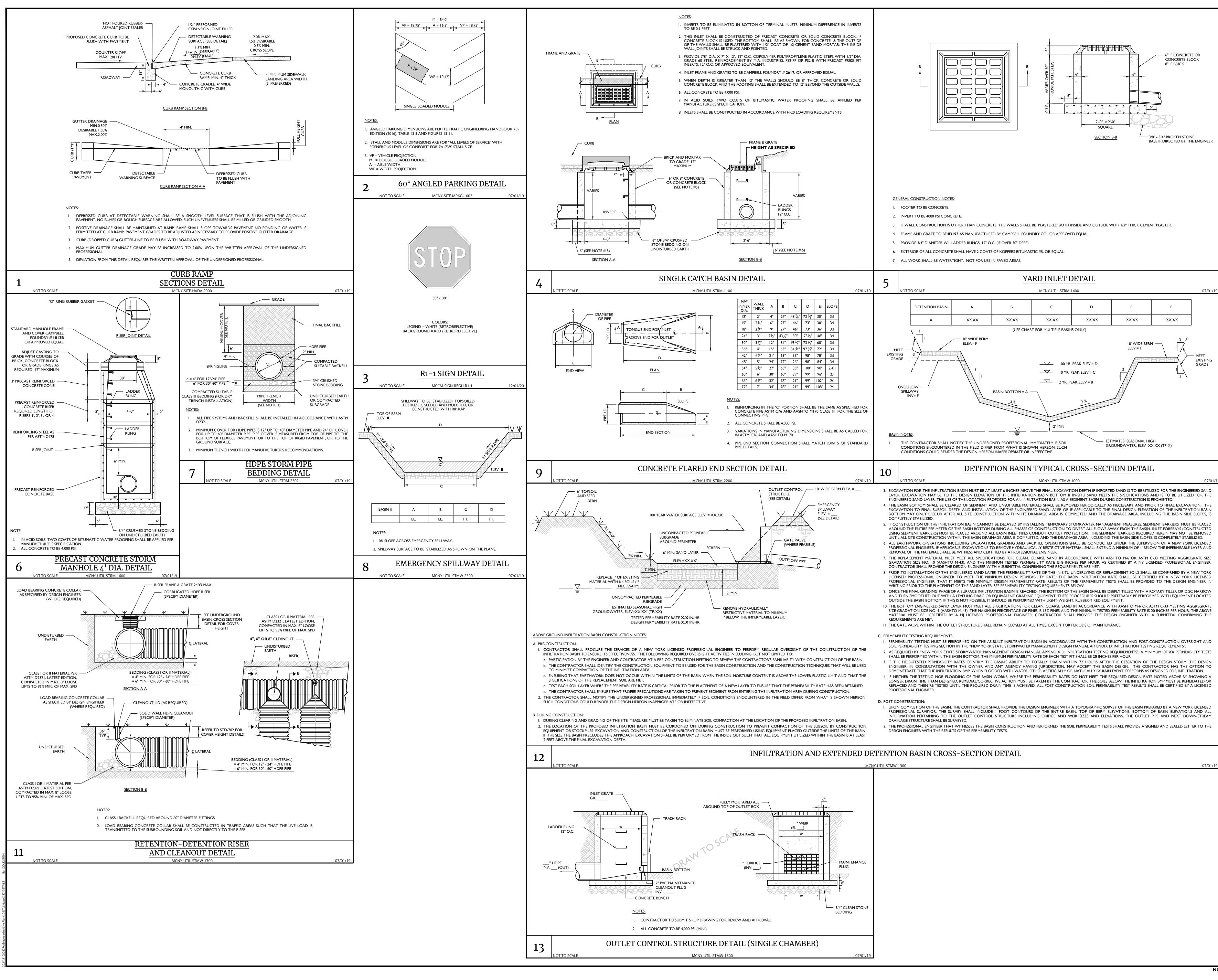


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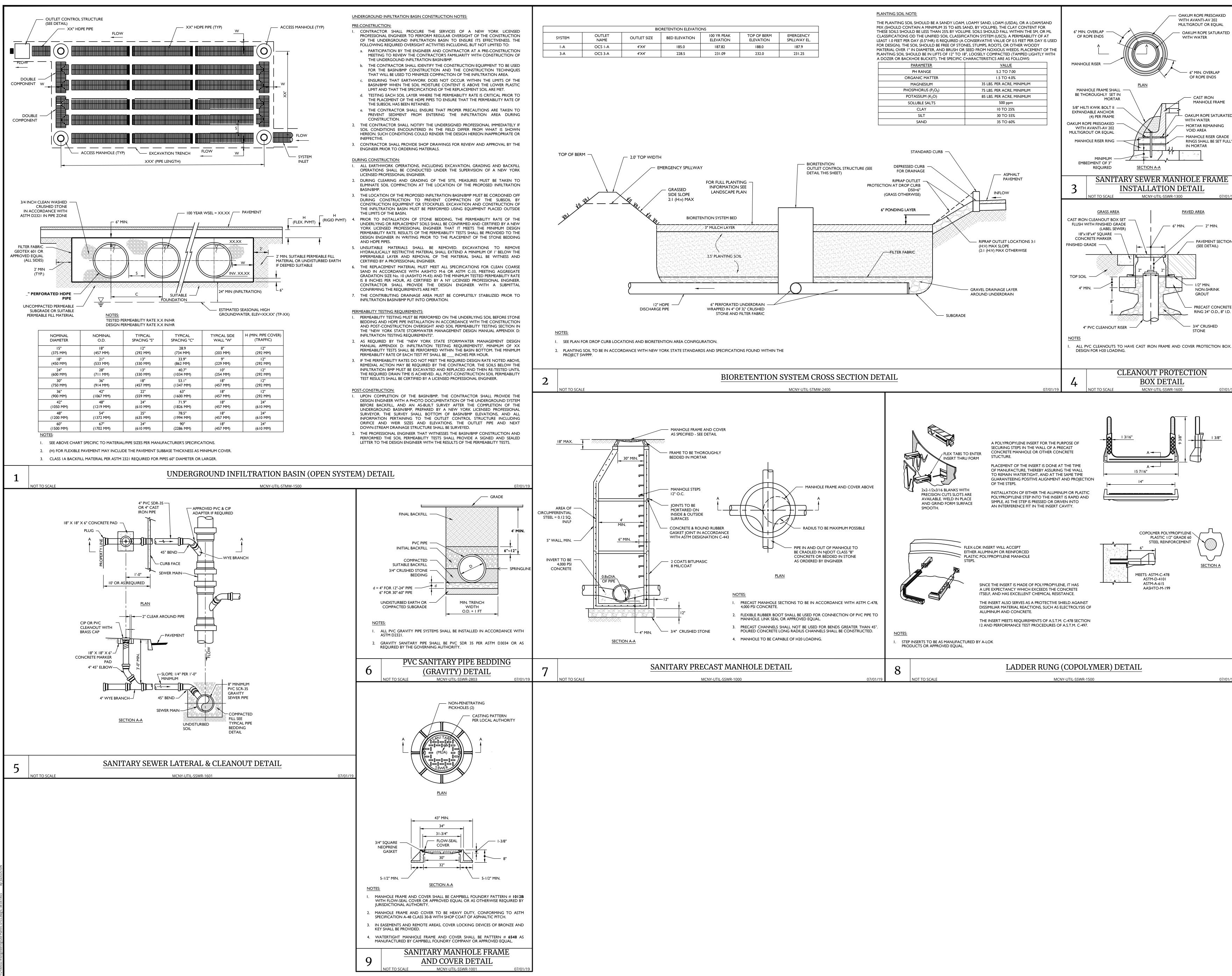


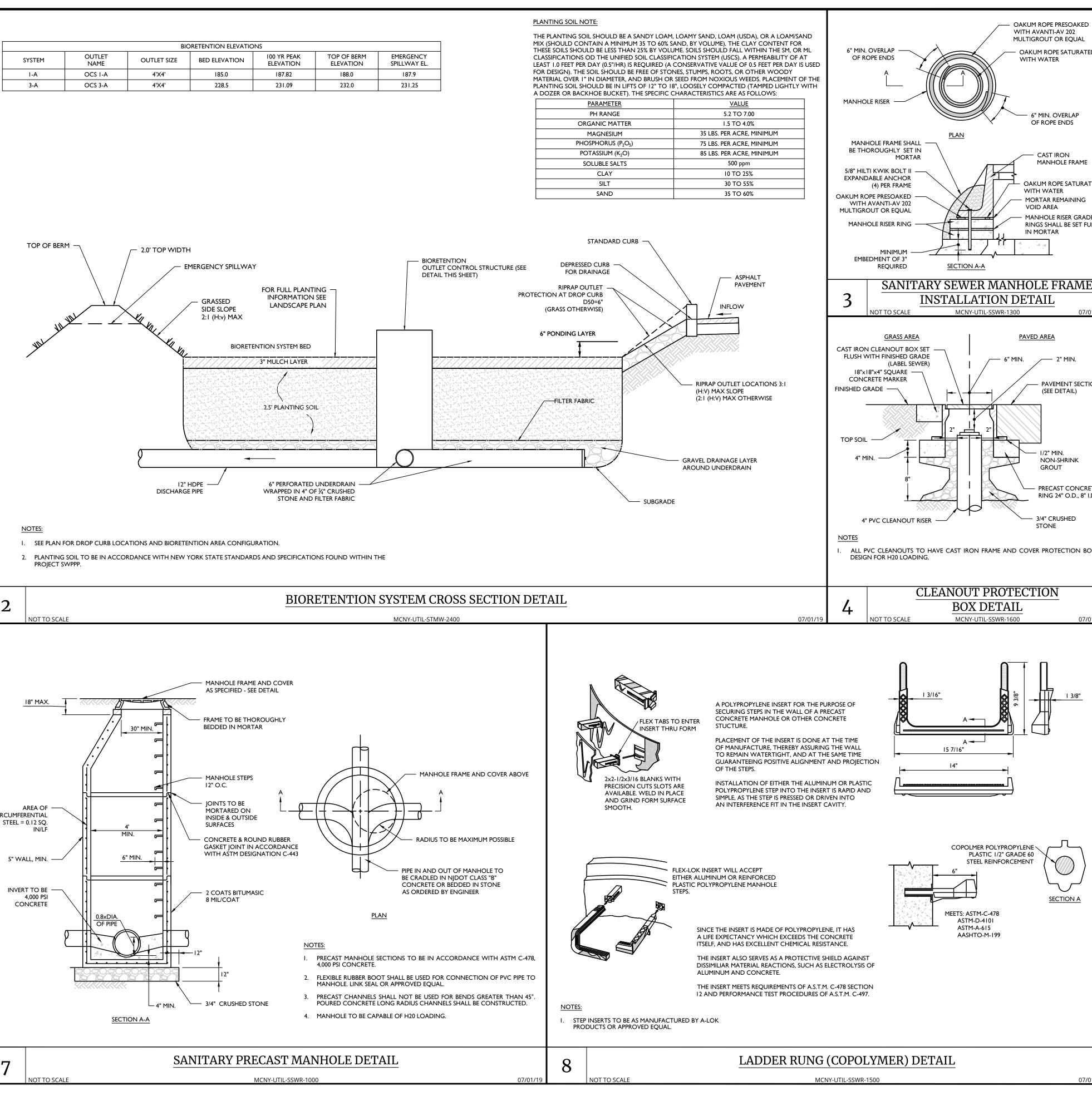
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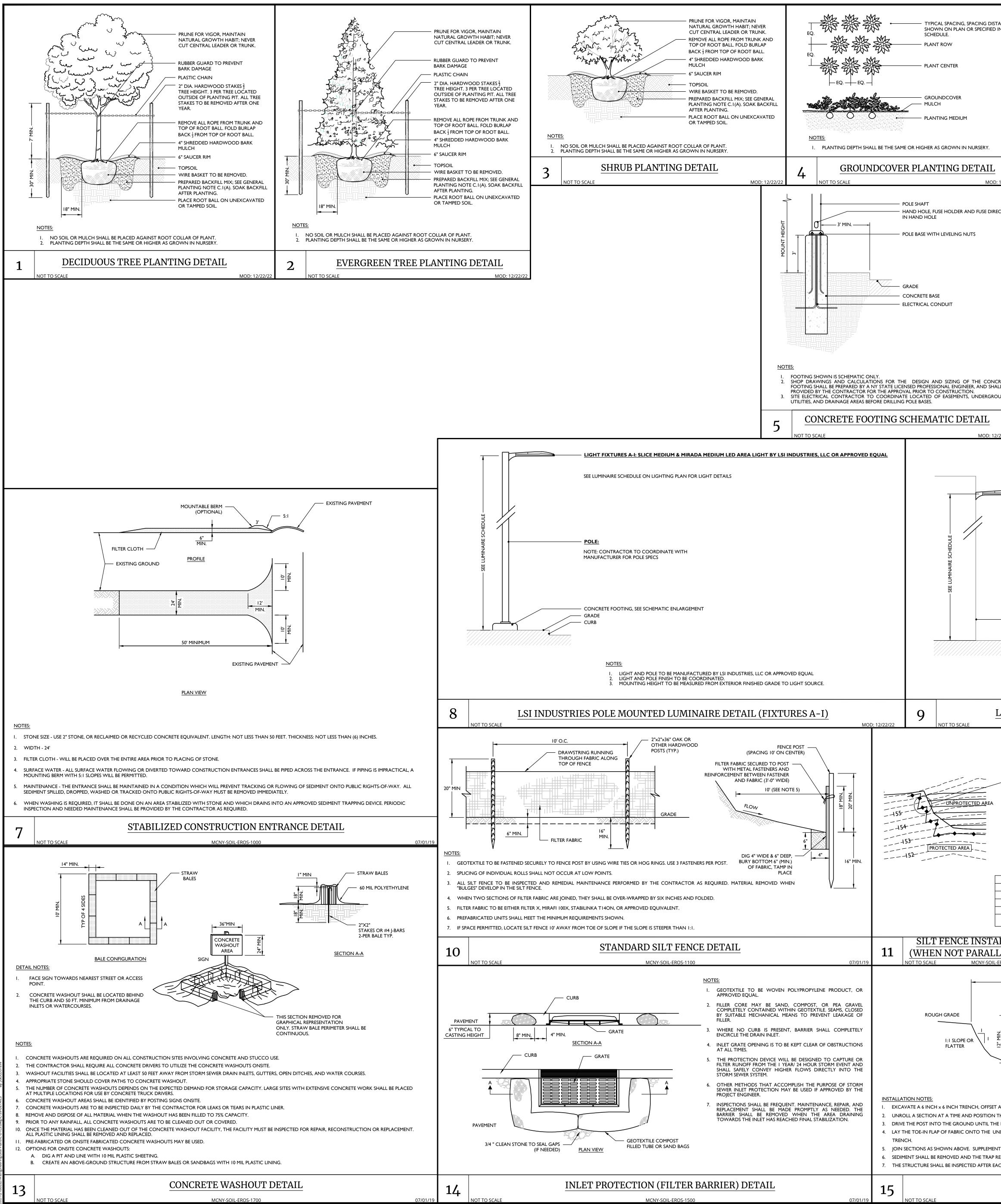
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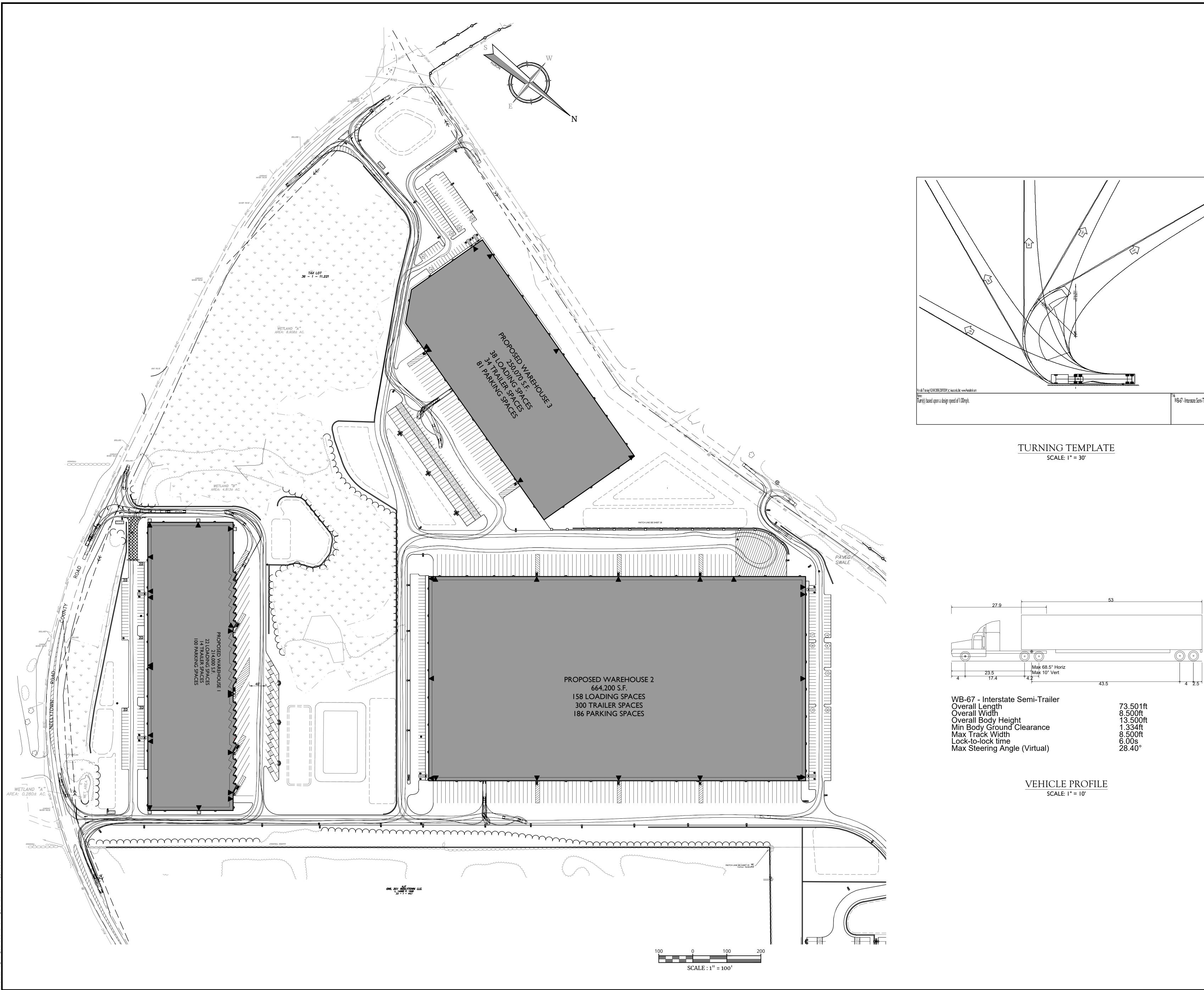


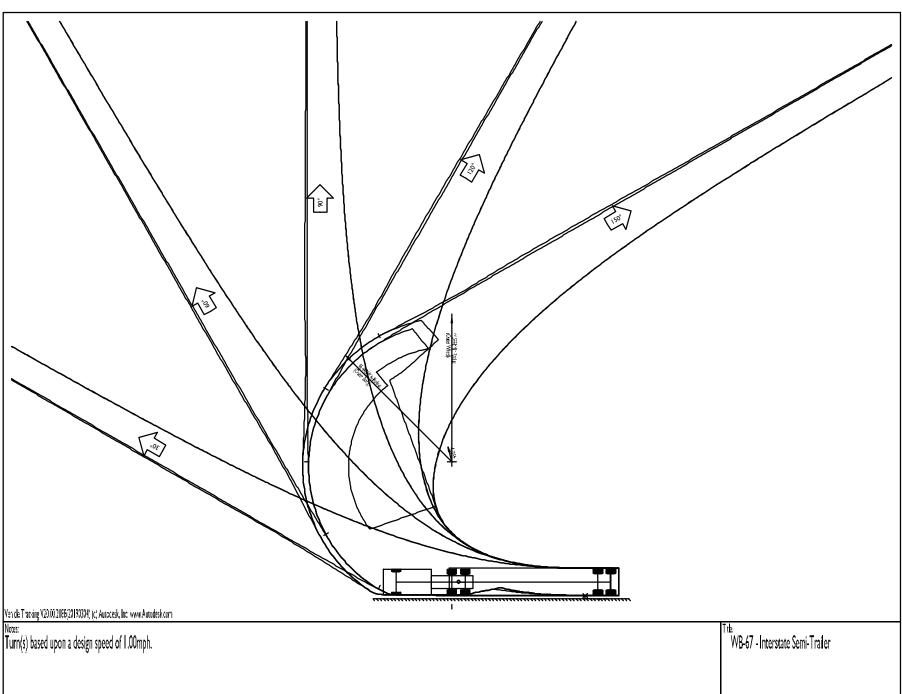
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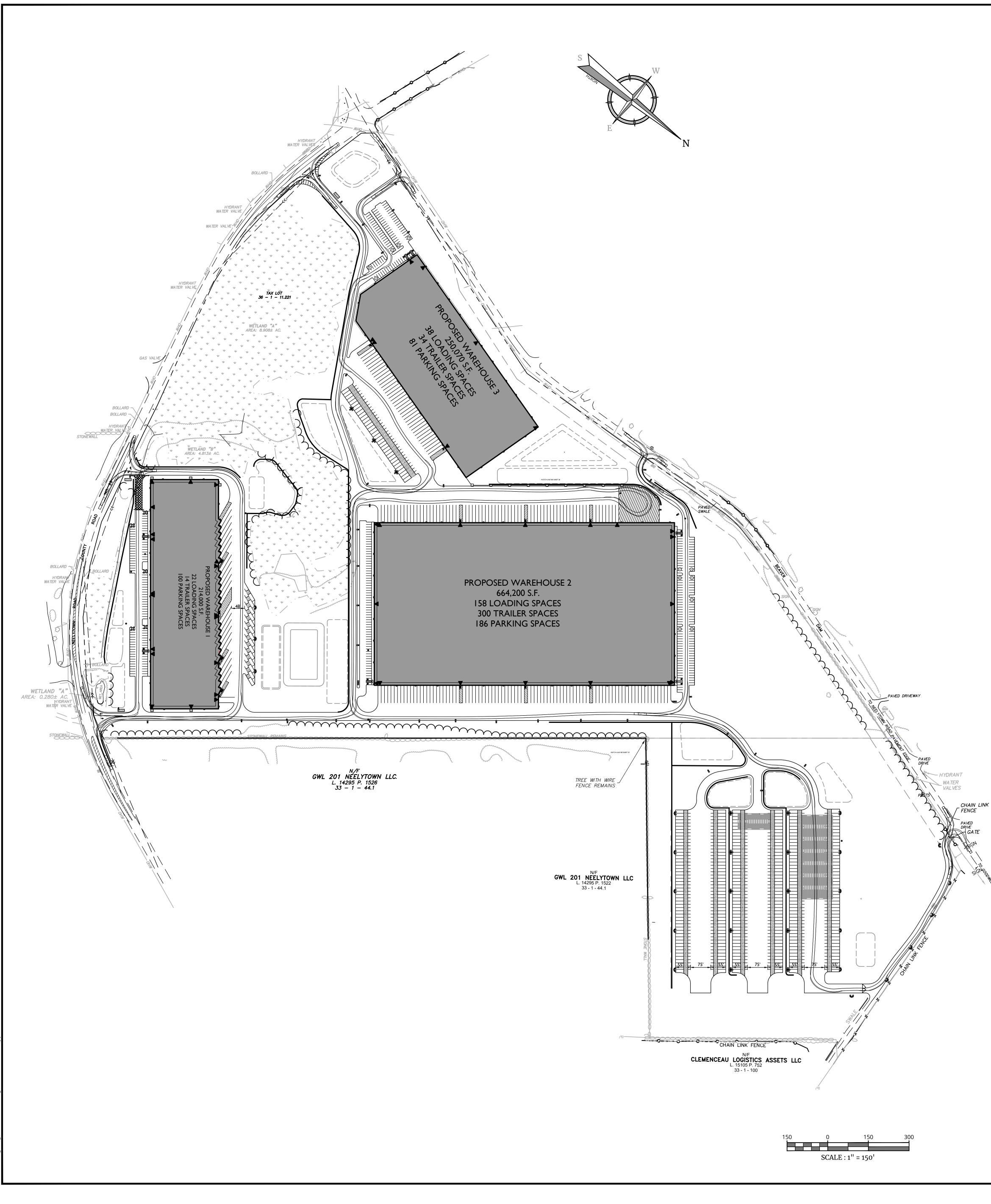
DISTANCE AS ED IN PLANT	AND STRUCTURES. NOTIFY T CONFLICTS PRIOR TO PLANTING 2. THE CONTRACTOR SHALL BE R FEDERAL, STATE, OR LOCAL COE	AWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONE HE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES INSTALLATION. ESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLI DES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPO TIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING	OR LOCATION NA EST IANCE WITH ALL C. A ON THIS WORK. THI S OPERATIONS. AN D. BRC	CHAIN LINK TREE TIE (⁷ / ₆ " WIDE REC ET PLANTS PLUMB AND STRAIGHT. S TURAL RELATIONSHIP TO THE CRO ABLISHED. LOCATE PLANTS IN CENTEI AT TIME OF INSTALLATION, THE CON E CONTRACTOR SHALL PROVIDE REG D SURVIVAL OF ALL PLANTS. B&B PLANTS SHALL BE HANDLED FR DKEN, SPLIT, OR DAMAGED ROOTBALL	TRACTOR SHALL WATER NEWLY INSTALLED PLANT MA ULAR WATERING TO ENSURE THE ESTABLISHMENT, GR OM THE BOTTOM OF THE ROOTBALL ONLY. PLANT LS SHALL BE REJECTED.
	STOCK' AS PUBLISHED BY THI TO QUALITY, SIZE OF PLANTI B. PLANTS SHALL BE TYPICAL DEVELOPED BRANCHES, DEN INJURY, DISEASE, AND/OR INF C. ALL PLANT MATERIAL SHA	DNFORM WITH THE ANSI Z60. I-2004 'AMERICAN STANDAI E AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (A NG, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCH OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROW ISELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE ESTATION, WITH ROOT BALLS INTACT. LL BEAR THE SAME RELATION TO FINISHED GRADE AT TH ANTED AT THE SAME LEVEL WHEN PLANTED.	THI RD FOR NURSERY PLA NLA) IN REGARD HING PATTERN. <u>D. MAIN</u> TH HABITS, WELL FROM DEFECTS, I. <u>PRUNIN</u> A. E HE NURSERY. THE LAN	E UPPER ¹ 3 OF THE ROOT BALL. ALL NTING PIT. <u>FENANCE</u> I <u>G:</u> IACH TREE AND SHRUB SHALL BE PRUI IDSCAPE ASSOCIATION TO PRESERVE	SHALL BE CUT AND REMOVED, ALONG WITH THE BUF WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACK NED IN ACCORDANCE WITH THE AMERICAN NURSERY THE NATURAL CHARACTER OF THE PLANT. ALL DEAD V Y BRUISED BRANCHES SHALL BE REMOVED. PRUNING SH
	NOT POSSIBLE, THE CONTRA FROM DAMAGE PRIOR TO INS E. THE LANDSCAPE ARCHIT OPERATION, TO REJECT ANY THE REQUIREMENTS OF THES	ECT OR OWNER SHALL HAVE THE RIGHT, AT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION	PLANT MATERIAL B. S LOV STAGE OF THE SHA DOES NOT MEET STR BRA	WER THAN 7'-0" ABOVE GRADE. PLAN ALL NOT EXCEED A MATURE HEIGH	TRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRA NT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EAS T OF 30" ABOVE THE ELEVATION OF THE ADJACENT ANGLE EASEMENTS SHALL BE PRUNED TO NOT TO CUT OR DAMAGED.
L DD: 12/22/22	INDICATED IN THE PLANT SCHEI 4. <u>SUBSTITUTIONS:</u> NO PLANT SUI VARIETY WITHOUT WRITTEN PI WRITTEN PROOF OF THE P CONTRACTOR.	HALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT DULE. BSTITUTIONS SHALL BE PERMITTED WITH REGARD TO S ERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITE LANT MATERIAL UNAVAILABILITY MUST BY DOCUM	SIZE, SPECIES, OR B. A ECT, OR OWNER. LAN ENTED BY THE ERC C. S	HE LANDSCAPE CONTRACTOR SHALI D MIX AND SUPPLEMENT AS REQUIREE ALL DISTURBED AREAS SHALL BE STA IDSCAPE PLANS. SEED SHALL BE IN DSION AND SEDIMENT CONTROL PLAI SOD, IF SPECIFIED, SHALL CONSIST C	OF A NEW YORK CERTIFIED MIXTURE. ALL DISTURBED
IRECTLY	ACCEPTANCE. ANY PLANT N INCLUDING STUMP, AND REPL	SHALL BE GUARANTEED FOR ONE (I) YEAR AFTER THE 1ATERIAL THAT IS WITHIN THAT TIME PERIOD SHAL ACED WITH A SIMILAR SIZE AND SPECIES AT THE E AR OF ONE GROWING SEASON. TREE STAKES, AND PLAST E GUARANTEE PERIOD.	L BE REMOVED, XPENSE OF THE IC CHAINS SHALL IC CHAINS SHALL INDIVI COMM COMM	VN INSTALLATION. <u>IG VEGETATION:</u> EXISTING TREES AN IST CONSTRUCTION DAMAGE BY S DUAL TREE CANOPY. TREES TO IENCEMENT OF CONSTRUCTION. TREI IENCEMENT OF CONSTRUCTION,	TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PR ID SHRUBS TO BE PRESERVED ON SITE SHALL BE PRO NOW FENCING. FENCING SHALL BE PLACED OUTSI REMAIN SHALL BE IDENTIFIED IN THE FIELD PRI E PROTECTION FENCING SHALL BE INSTALLED PRIOR TO GRADING, OR CLEARING. EXISTING VEGETATION OF THE NEW TREELINE SHALL BE PRUNED AND TRIM
	WELL DRAINING AND FERTI SOIL TO BE ONE PART EACH (B. PLANTING BEDS SHALL RE MULCH AND TREATED WIT	AS INDICATED ON PLANTING DETAILS. BACKFILL PLAN E SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEB DF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATEF CEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDD H A PRE-EMERGENT HERBICIDE. NO MULCH SHALL C RE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE RG	ITING PITS WITH 4 <u>. Site Cl</u> RIS, ROCKS, ETC. SHALL RIAL. NEAT, ED HARDWOOD ACCEP COME IN DIRECT	/E ALL DEAD, DAMAGED, OR DISEASEE EANUP: PLANTING DEBRIS (WIRE, TWI) BRANCHES. NE, RUBBERHOSE, BACKFILL, ETC.) PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEI
	2. <u>PLANT LOCATIONS:</u> THE LOCATI APPROXIMATE. THE FINAL LOC DETERMINED IN THE FIELD AT APPROVED PLANS, UNLESS THER 3. <u>PLANTING DATES:</u> PLANTING OPP	ANTED IN CONTINUOUS MULCHED BEDS. ON OF ALL PLANT MATERIAL INDICATED ON THE LANDS ATION OF ALL PLANT MATERIAL AND PLANTING BED THE TIME OF INSTALLATION FOLLOWING THE BASIC E IS A SPECIFIC DIMENSION OR LOCATION SHOWN. ERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN COLL CONDUCTIONS AND SAUTADIE AND IN ACCORDANICS	DLINES SHALL BE INTENT OF THE N THE PLANTING		
	LOCAL PRACTICES. PLANTING THROUGH NOV 15. PLANTING I THE GROUND IS NOT FROZEN, MUST BE FROST FREE, FRIABLE, AI 4. <u>PLANTING METHODS:</u> A. TREES SHALL BE SUPPORTE	SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY S ACCEPTABLE DURING THE WINTER MONTHS IF WEATH AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS ND NOT MUDDY AT TIME OF PLANTING. ED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHA ED IN CONFORMANCE WITH THE TYPICAL PLANTING DET	15 AND SEPT 15 IER PERMITS AND PROVIDED. SOIL ALL BE PROPERLY		
NCRETE HALL BE ROUND	(I) STAKES SHALL BE E CAPABLE OF WITHSTAN PERIOD OF GUARANTEI IN DIAMETER (2) THREE STAKES SHAL	EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNF NDING ABOVEGROUND AND UNDERGROUND CONDITION WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES L BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULA ICALLY INTO THE GROUND 2 $\frac{1}{2}$ TO 3 FEET IN A MANNER	INISHED LUMBER DNS DURING THE BY TWO INCHES AR FASHION AND		
	6		GENERAL PLAN	NTING NOTES	
	2. LIGHT FI 3. MOUNTI 4. MOUNTI	D BE MANUFACTURED BY LSI INDUSTRIES OR APPROVED EN NISH TO BE COORDINATED. NG HEIGHT TO BE MEASURE FROM FINISHED EXTERIOR GP NG LOCATIONS TO BE COORDINATED WITH ARCHITECT	ADE TO LIGHT SOURCE. URAL PLANS.	MOD: 12/22/22 NOTES: I. BALES SHALL BE PLAC IN A ROW WITH EN 2. EACH BALE SHALL BE PLACED SO THE BINI 3. BALES SHALL BE SECU OR RE-BARS DRIVEN	CED AT THE TOE OF A SLOPE OR ON THE CONTOUR AN DS TIGHTLY ABUTTING THE ADJACENT BALES. E EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AN DINGS ARE HORIZONTAL. JRELY ANCHORED IN PLACE BY EITHER TWO (2) STAKES THROUGH THE BALE. THE FIRST STAKE IN EACH BALE DWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO
SLOPE	DISTANCE	ANGLE FIRST STAKE TOWARDS PREVIOUSLY LAID BALE.	DETAIL	FORCE THE BALES TO BALE. 4. INSPECTION SHALL E PROMPTLY AS NEEDI 5. BALES SHALL BE REM	OGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MAD
1:2 1:3 1:4 1:5 FLATTER THAN 1:5		ANCHORING	PLACED 1/2' TO 2 FLUSH WITH TOP C	CKETS OR 2"X2" STAKES ' IN GROUND. DRIVE STAKES DF BALE.	
	ION DETAIL D CONTOURS) 07/01/1912	2 NOT TO SCALE		ALE DIKE DETAIL	07/0
4' N 12" MIN.		VOODEN STAKE - 3/4" STONE INLET P C C C C C C C C C C C C C C C C C C C	ILTER FABRIC		HEAVY DUTY 5 MIL. POLYETHYLENE TARP REQUIRED FOR SOILS TESTED AT 4.5 PH OR LOWER.
IN THE POSTS A THE NETTING UNDISTURBED	S APPROXIMATELY 2 INCHES FROM THE DEDTTOM OF THE TRENCH, BACKFIL	TER. WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTIO HE TRENCH BOTTOM. - THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQU	UIRE AN INTERCEPT	NOTES: 1. ALL STOCKPILES SHALL NOT T	O BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLO
EACH RAIN A	ND REPAIRS MADE AS NEEDED.	THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN	DEPTH OF THE TRAP.	ROADWAY OR DRAINAGE FAC	CILITY.
<u>S'</u>	TORM INLET SEDIN	MENT TRAP DETAIL	07/01/19	16 TOPS	SOIL STOCKPILE DETAIL MCNY-SOIL-EROS-2500 07/0

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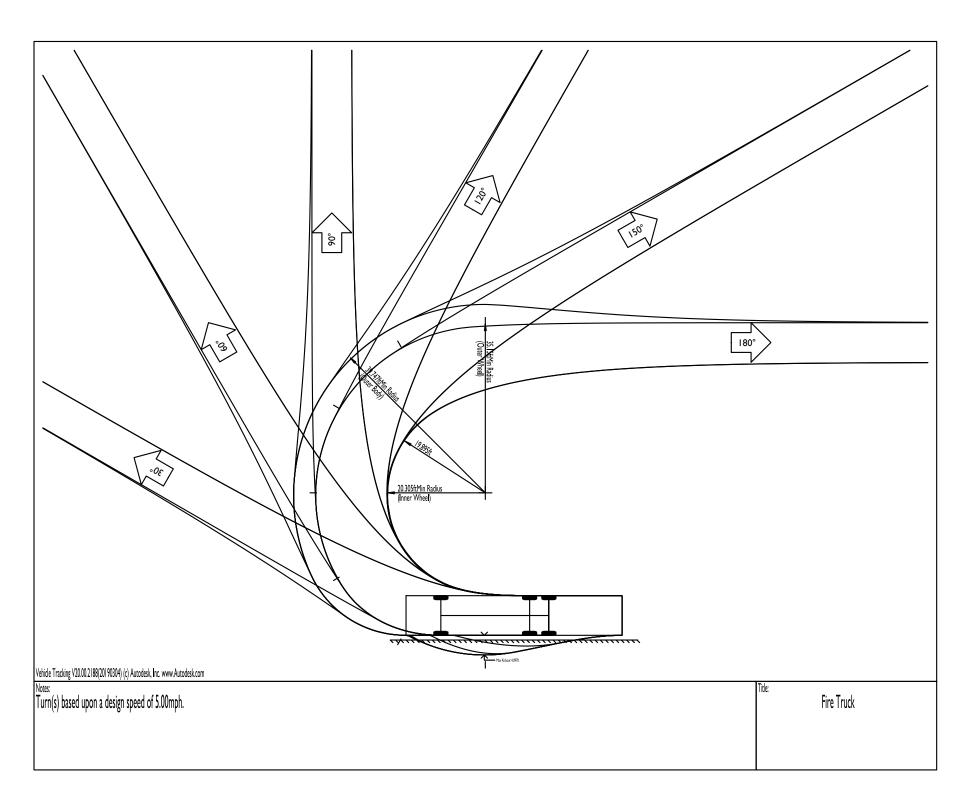




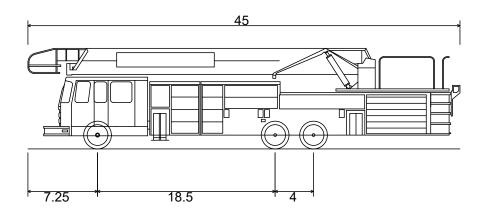
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327A\Engineering\Site Plans\C-TRCK-TURN.dwe\C-41- FIRE TRUCK TURN By: IGOLDSTEIN



TURNING TEMPLATE SCALE: 1" = 20'



Fire Truck Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Curb to Curb Turning Radius



VEHICLE PROFILE SCALE: 1" = 10'

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