

**GENERAL NOTES**

- THIS CONCEPT IS FOR SECTION 36, BLOCK 1, LOT 33, 11.221, 11.23, 11.1, 11.212 & 11.211, AND SECTION 33 BLOCK 1 LOT 91
- TOTAL TRACT AREA OF THE COMBINED LOTS IS ± 112.46 AC (± 4,898,602 SF)  
 LOT 33 IS ± 63.01 AC  
 LOT 11.221 IS ± 16.12 AC  
 LOT 11.23 IS ± 2.435 AC  
 LOT 11.1 IS ± 2.92 AC  
 LOT 10.1 IS ± 0.92 AC  
 LOT 11.212 IS ± 0.93 AC  
 LOT 11.211 IS ± 0.78 AC  
 LOT 91 IS ± 25.345 AC
  - ZONE - GENERAL INDUSTRY DISTRICT (I-1)
  - PROPOSED USE: INTENSIVE WAREHOUSE - PERMITTED WITH SPECIAL USE PERMIT
  - OWNER: NIELYTOWN BD DEVELOPERS, LLC  
 4775 WHITE PLAINS ROAD  
 BRONX, NEW YORK 10470
  - APPLICANT: RDM GROUP  
 21 PHILIPS PARKWAY  
 MONTVILLE, NJ 07045  
 917-530-6479
  - ENGINEER: COLLIER'S ENGINEERING & DESIGN CT. P.C.  
 SUITE 101  
 WOODCLIFF LAKE, NJ 07677
  - BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM PLANS ENTITLED "SURVEY PREPARED FOR NIELYTOWN DEVELOPMENT LLC," SHEET 1 OF 1, DATED JULY 14, 2022, PREPARED BY LANC & TULLY, P.L.L.C., UG. NO. 50276 OF NEW YORK STATE, LAST REVISED APRIL 25, 2023.
  - THIS PLAN FOR CONCEPTUAL PURPOSES ONLY AND NOT FOR CONSTRUCTION.

**ZONING TABLE**

TABLE OF BULK REQUIREMENTS ZONE: I-1 DISTRICT (GENERAL INDUSTRY)				
ITEM	REQUIRED (%)	PROVIDED (LOT 1) (%)	PROVIDED (LOT 2) (%)	COMPLIES
MIN. LOT AREA	5.0 AC (1)	3,012,410 SF (69.16 AC) (1)	1,090,918 (25.04 AC) (1)	YES
MIN. LOT WIDTH	200 FT	2,751.8'	733.71'	YES
MIN. FRONT YARD SETBACK	75'	95.1'	216.13'	YES
MIN. SIDE YARD (ONE) SETBACK	30'	N/A	177'	YES
MIN. SIDE YARD (BOTH) SETBACK	60'	N/A	409.57'	YES
MIN. REAR YARD SETBACK	50'	212.50'	242.23'	YES
MAX. BLDG. HGHT.	55'	55'	55'	YES
LOT COVERAGE	40%	± 28.22%	± 25.51%	YES

LOT AREA REDUCTION TABLE			
DESCRIPTION	REDUCTION	AREA	
TOTAL LOT AREA	N/A	3,729,852 SF (85.62 AC) (1)	
UTILITY RIGHT OF WAY / EASEMENT	50%	52,568 SF (1.21 AC) (1)	
WETLANDS	100%	609,869 SF (14.00 AC) (1)	
SLOPES BETWEEN 25% & 50%	50%	54,038 SF (1.24 AC) (1)	
SLOPES GREATER THAN 50%	100%	967 SF (0.02 AC) (1)	
REDUCED LOT AREA	N/A	3,012,410 SF (69.16 AC) (1)	
TOTAL LOT AREA	N/A	1,168,750 SF (26.83 AC) (1)	
UTILITY RIGHT OF WAY / EASEMENT	50%	36,525 SF (0.84 AC) (1)	
WETLANDS	100%	0 SF (0 AC) (1)	
SLOPES BETWEEN 25% & 50%	50%	40,918 SF (0.94 AC) (1)	
SLOPES GREATER THAN 50%	100%	389 SF (0.0089 AC) (1)	
REDUCED LOT AREA	N/A	1,090,918 (25.04 AC) (1)	

- THE ENTIRE PROJECT SITE COMPREHENSIVE ± 4,898,602 SF (112.46 AC), CONSOLIDATING TAX LOTS 36-1-33, 11.221, 11.23, 11.212, 11.211, 11.1, 10.1 AND LOT 33-1-91. AFTER SUBDIVISION OF THE ENTIRE PROJECT SITE, THE TOTAL LOT AREA FOR LOT 1 WOULD BE 3,729,852 (85.62 AC) AND FOR LOT 2 WOULD BE 1,168,750 SF (26.83 SF).
- MINIMUM LOT AREA SHALL BE 5.0 ACRES FOR INTENSIVE WAREHOUSES, PURSUANT TO ZONING LAW § 235-15.4(C)(47)(c).
- THE ZONING LAWS' TABLE OF DIMENSIONAL REGULATIONS REQUIRES A SETBACK OF 75 FEET FROM NIELYTOWN ROAD & BEAVER DAM ROAD, PER ZONING LAW § 235-4.1.
- PER ZONING LAW § 235-11.2(b), LOT AREA HAS BEEN REDUCED VIA LOT AREA REDUCTION TABLE ABOVE, WHERE AREAS TO BE REDUCED OVERLAP, THE GREATER OF THE REDUCTIONS HAS BEEN TAKEN.
- UTILITY RIGHT OF WAY REDUCTION AREA REPRESENTS A 50% REDUCTION IN THE UTILITY CORRIDOR THAT IS OUTSIDE LAND UNDER WATER IN THE UTILITY CORRIDOR.
- WETLANDS REDUCTION AREA REPRESENTS A 100% REDUCTION IN THE WETLAND AREAS SHOWN ON THE SITE.
- SLOPES GREATER THAN 25% BUT LESS THAN 50% AND SLOPES GREATER THAN 50% ARE INCLUDED IN THE REDUCTION.

**PARKING & LOADING CALCULATIONS:**

100-70-60 MINIMUM STALL SIZE (PARKING STALL): 9' X 20' (COMPLIES)  
 100-70-70 MINIMUM STALL SIZE (TRUCK LOADING SPACE): 12' W X 25' L X 14' H (COMPLIES)

**WAREHOUSE USE:**

100-30 SUFFICIENT PARKING FOR ALL TRUCKS, TRUCK TRAILERS, AND TRUCK TRACTORS STORED OR BEING SERVICED AT ANY PERIOD OF TIME, PLUS REQUIRED PARKING FOR OFFICE AREAS, PLUS 2 SPACES PER 3 EMPLOYEES ON DUTY OR ON THE PREMISES AT ANY ONE TIME

**REQUIRED:** 100-40: 1 LOADING SPACE FOR EACH 40,000 SF IN ADDITION TO THE FIRST 40,000 SQUARE FEET

LOT 1: 1 SPACE + (815,000 SF/40,000 SF) = 21 SPACES  
 LOT 2: 1 SPACE + (238,280 SF/40,000 SF) = 6 SPACES

**PROVIDED:** LOT 1: 140 LOADING SPACES (COMPLIES)  
 LOT 2: 50 LOADING SPACES (COMPLIES)

LOT 1 HAS A TOTAL OF 346 TRAILER STORAGE SPACES (43 LAND BANKED)  
 LOT 2 HAS A TOTAL OF 58 TRAILER STORAGE SPACES (56 LAND BANKED)

**OFFICE USE:**

**REQUIRED:** 100-30: 1 PARKING SPACE PER 200 SF OF FLOOR AREA

LOT 1: 8,000 SF / 200 SF = 40 SPACES  
 LOT 2: 16,000 SF / 200 SF = 80 SPACES

**NON-OFFICE SPACES:**

**REQUIRED:** 1 EMPLOYEE PER 4,100 GROSS FLOOR AREA\*\*  
 2 SPACES PER 3 EMPLOYEES

LOT 1: 278,270 SF - 8,000 SF (OFFICE AREA) = 270,270 SF / 4,100 SF = APPROXIMATELY 66 EMPLOYEES  
 (2 X 66) / 3 = 44 PARKING SPACES

LOT 1 TOTAL = 44 SPACES + 40 SPACES = 88 REQUIRED SPACES

LOT 2: 850,000 SF - 16,000 SF (OFFICE AREA) = 834,000 SF / 4,100 SF = APPROXIMATELY 204 EMPLOYEES  
 2 SPACES PER 3 EMPLOYEES  
 (2 X 204) / 3 = 136 REQUIRED SPACES

LOT 2 TOTAL = 136 SPACES + 80 SPACES = 216 REQUIRED SPACES

**PROVIDED:** LOT 1: 210 STANDARD SPACES FOR WAREHOUSE USE  
 80 STANDARD SPACES FOR OFFICE USE  
 10 ADA COMPLIANT SPACES  
 300 TOTAL SPACES (COMPLIES)

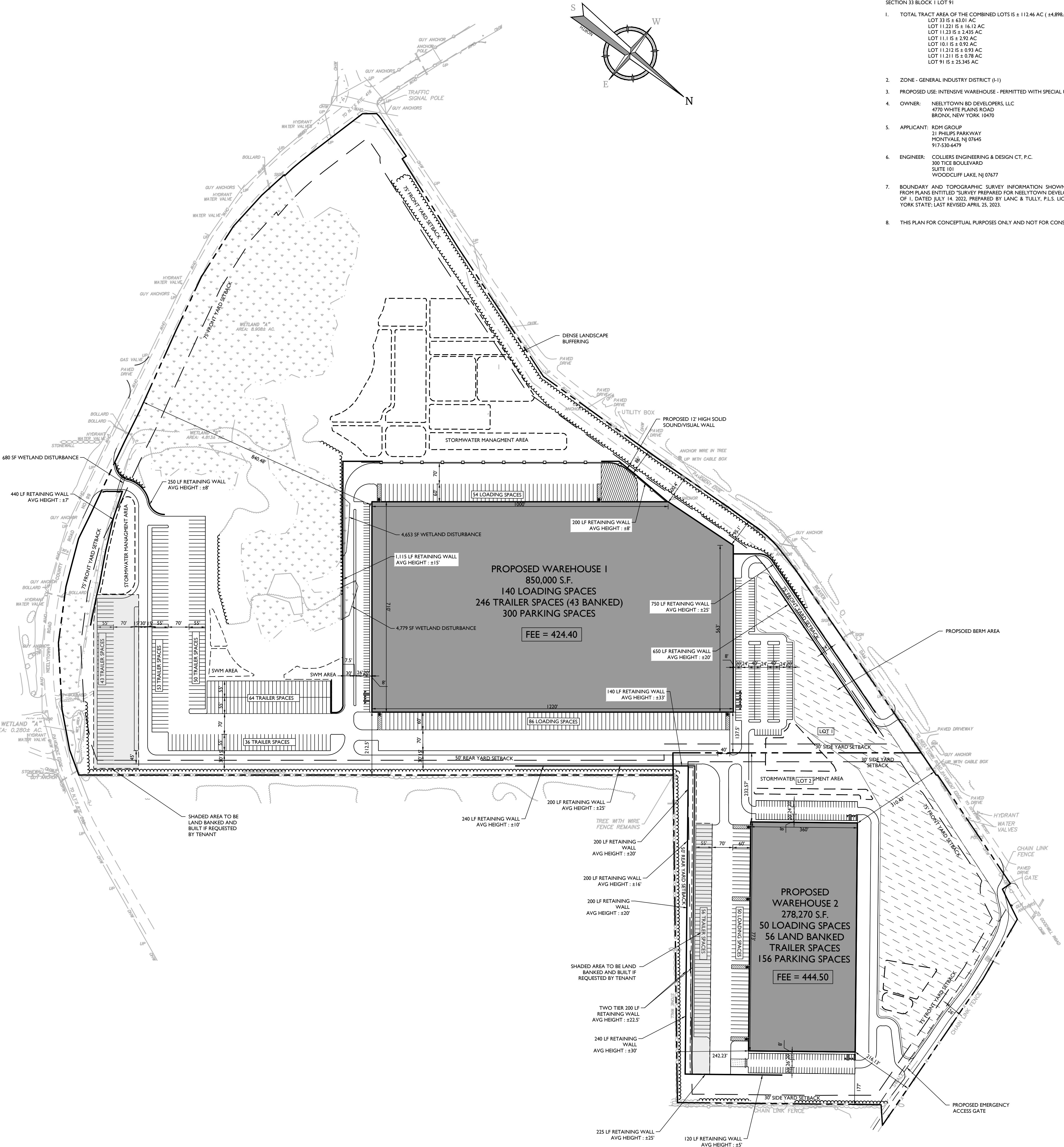
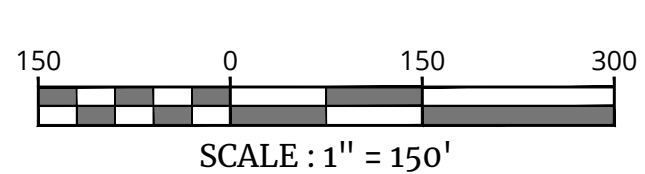
LOT 2: 110 STANDARD SPACES FOR WAREHOUSE USE  
 40 STANDARD SPACES FOR OFFICE USE  
 6 ADA COMPLIANT SPACES  
 156 TOTAL SPACES (COMPLIES)

\*\* NUMBER OF EMPLOYEES BASED ON ITE 4TH EDITION PARKING GENERATION FOR WAREHOUSE (LAND USE CODE 150 - WAREHOUSE)

**WETLANDS DISTURBANCE:**

APPROXIMATE AREA OF USACE WETLAND DISTURBANCE = ± 10.112 SF (0.23 ACRES)

EXISTING	LEGEND	PROPOSED
---	RIGHT OF WAY LINE	---
- - -	PROPERTY LINE	- - -
- . - . -	EDGE OF PAVEMENT	- . - . -
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
- x - x -	FENCES	- x - x -
~~~~~	TREELINE	~~~~~
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	STALL COUNT	---
---	ADA ACCESSIBLE STALL	---
---	DEPRESSED CURB AND ADA RAMP	---
---	DIRECTION OF TRAFFIC FLOW	---



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 FOR STATE SPECIFIC DIRECT PHONE NUMBERS  
 VISIT: WWW.CALL811.COM

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

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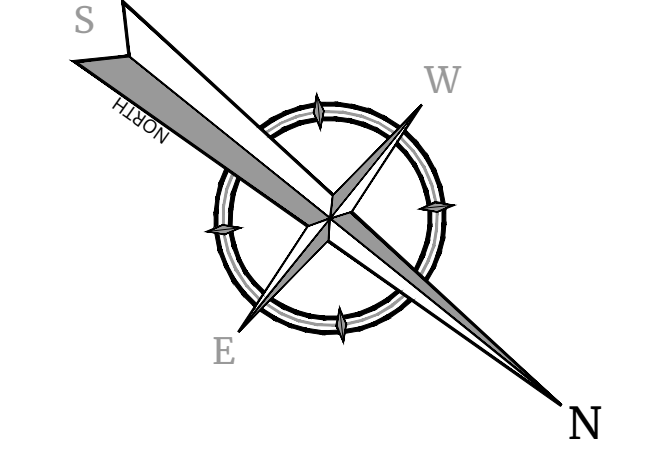
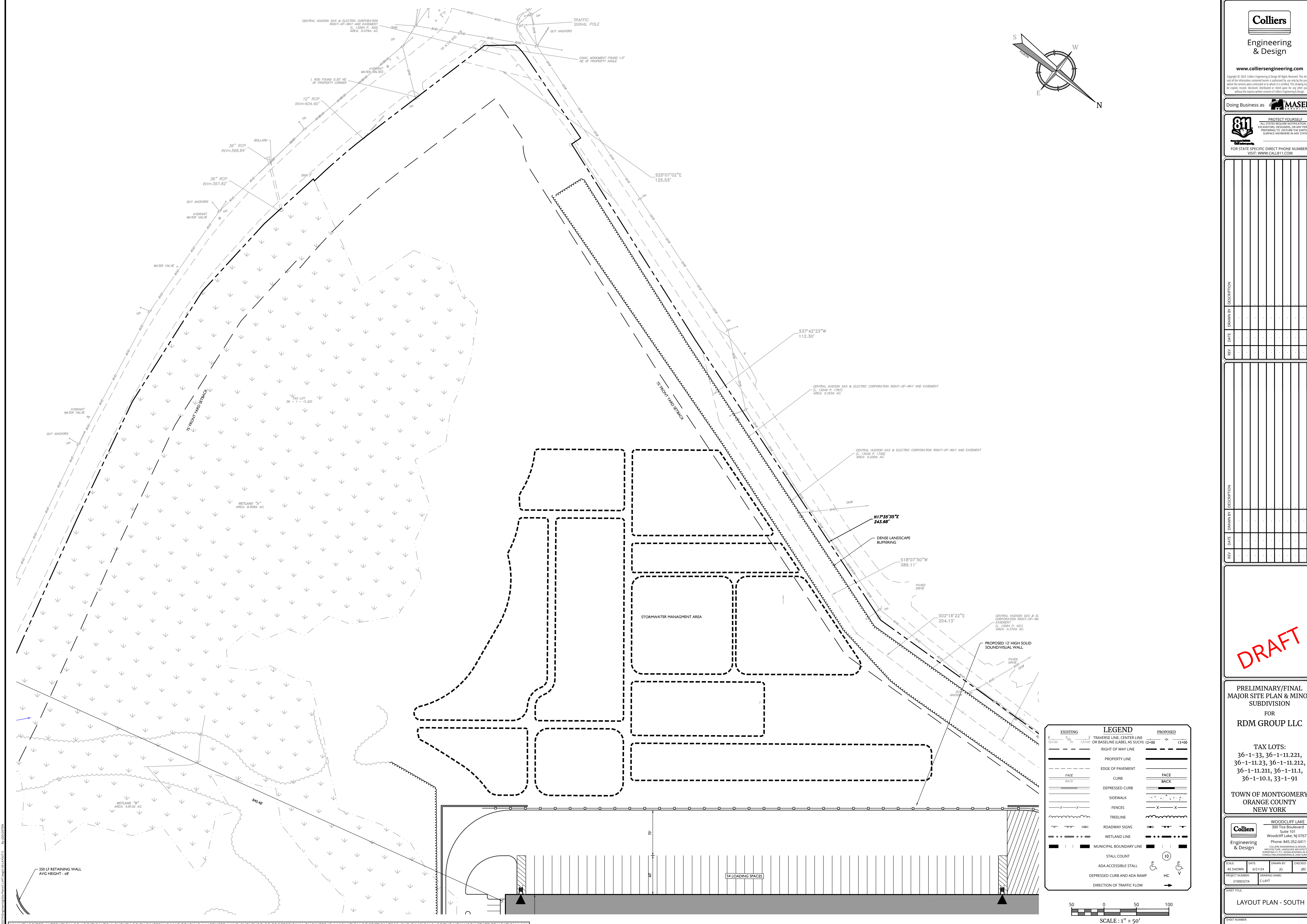
PRELIMINARY/FINAL  
 MAJOR SITE PLAN & MINOR  
 SUBDIVISION  
 FOR  
**RDM GROUP LLC**  
 TAX LOTS:  
 36-1-33, 36-1-11.221,  
 36-1-11.23, 36-1-11.212,  
 36-1-11.211, 36-1-11.1,  
 36-1-10.1, 33-1-91

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SCALE: 6/21/24  
 DATE: 6/21/24  
 DRAWN BY: JAG  
 CHECKED BY: JBC  
 PROJECT NUMBER: 21000327A  
 DRAWING NAME: C-LAY  
 SHEET TITLE: OVERALL LAYOUT PLAN  
 SHEET NUMBER: 5 of 42

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

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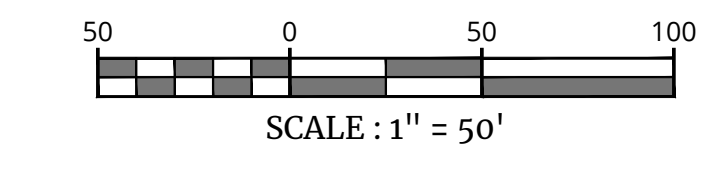
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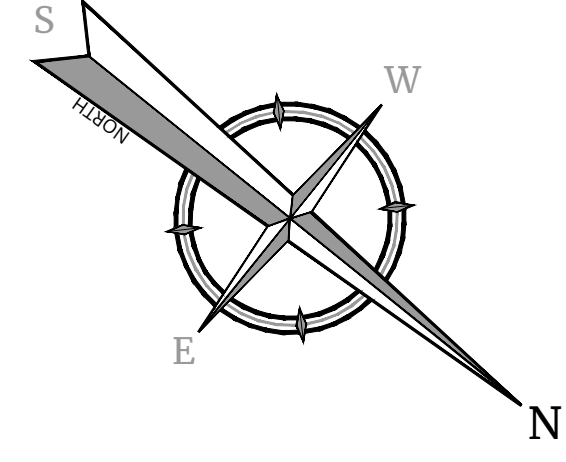
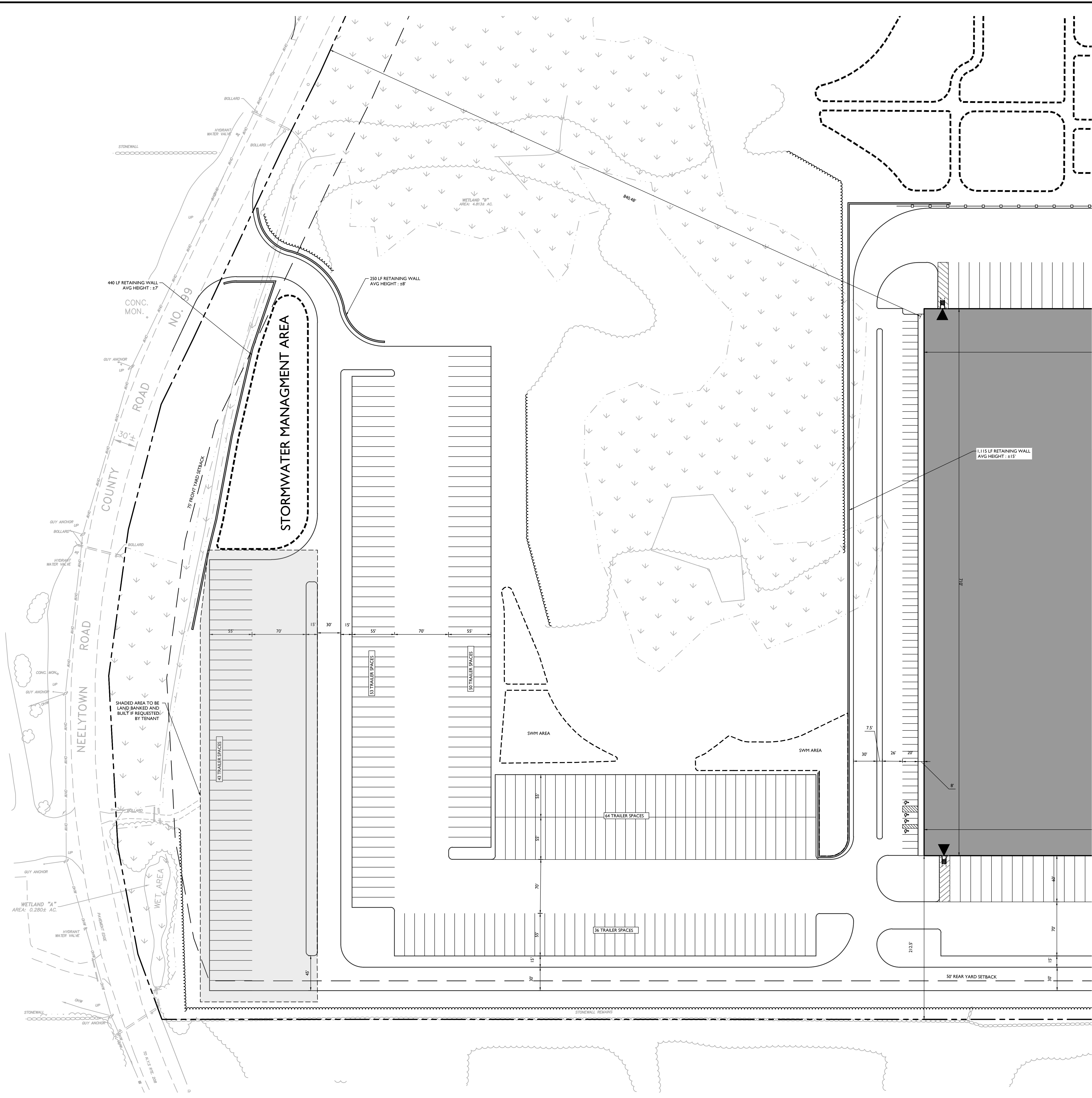
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 36-1-11.23, 36-1-11.212,  
 36-1-11.211, 36-1-11.1,  
 36-1-10.1, 33-1-91

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
		RIGHT OF WAY LINE
		PROPERTY LINE
		EDGE OF PAVEMENT
		CURB
		DEPRESSED CURB
		SIDEWALK
		FENCES
		TREELINE
		ROADWAY SIGNS
		WETLAND LINE
		MUNICIPAL BOUNDARY LINE
		STALL COUNT
		ADA ACCESSIBLE STALL
		DEPRESSED CURB AND ADA RAMP
		DIRECTION OF TRAFFIC FLOW



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REV	DATE	DRAWN BY	DESCRIPTION

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MAJOR SITE PLAN & MINOR  
SUBDIVISION  
FOR  
**RDM GROUP LLC**

TAX LOTS:  
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36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

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SCALE: AS SHOWN DATE: 6/21/24 DRAWN BY: JG CHECKED BY: JBC  
PROJECT NUMBER: 21000327A DRAWING NAME: C-LAY1

SHEET TITLE:  
LAYOUT PLAN - SOUTH

SHEET NUMBER:  
7 of 42

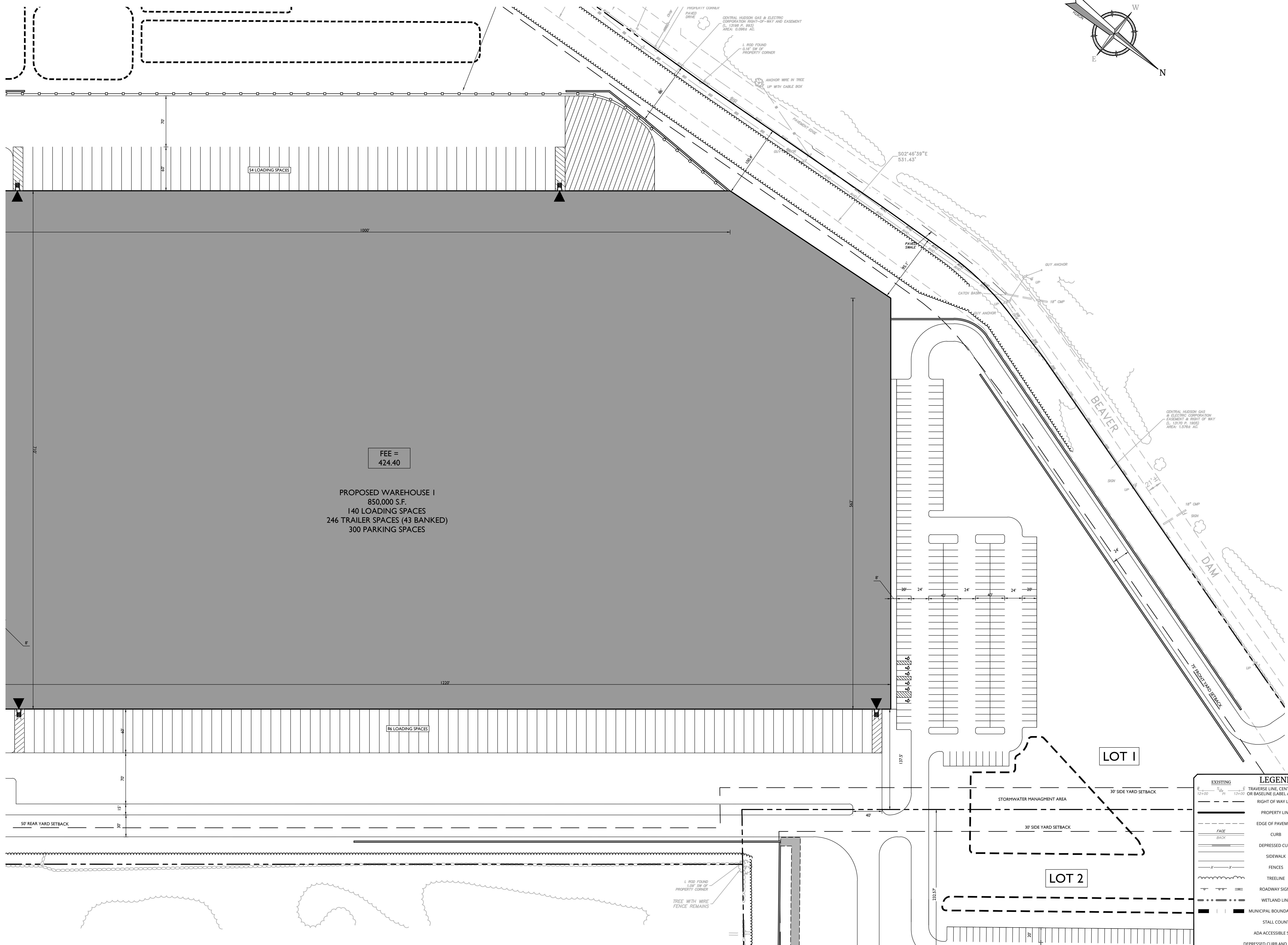
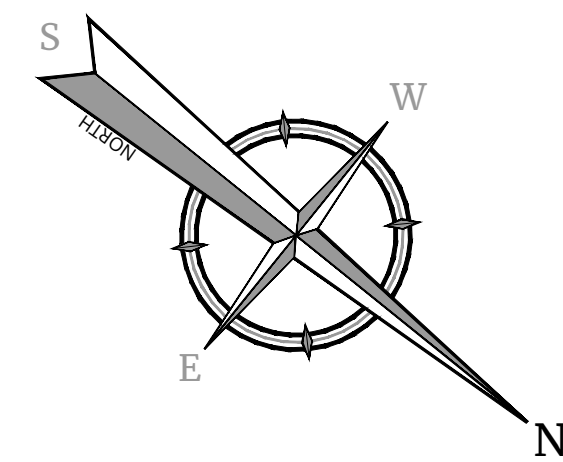
**LEGEND**

EXISTING	PROPOSED
12+00	12+00
13+00	13+00
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
RIGHT OF WAY LINE	RIGHT OF WAY LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
DEPRESSED CURB	DEPRESSED CURB
SIDEWALK	SIDEWALK
FENCES	FENCES
TREELINE	TREELINE
ROADWAY SIGNS	ROADWAY SIGNS
WETLAND LINE	WETLAND LINE
MUNICIPAL BOUNDARY LINE	MUNICIPAL BOUNDARY LINE
STALL COUNT	STALL COUNT
ADA ACCESSIBLE STALL	ADA ACCESSIBLE STALL
DEPRESSED CURB AND ADA RAMP	DEPRESSED CURB AND ADA RAMP
DIRECTION OF TRAFFIC FLOW	DIRECTION OF TRAFFIC FLOW

SCALE: 1" = 50'

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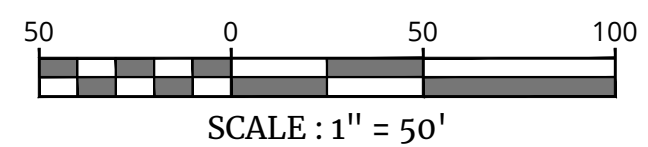
FEE = 424.40

PROPOSED WAREHOUSE I  
850,000 S.F.  
140 LOADING SPACES  
246 TRAILER SPACES (43 BANKED)  
300 PARKING SPACES

LOT 1

LOT 2

EXISTING	LEGEND	PROPOSED
12+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	13+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
FACE	CURB	FACE
BACK		BACK
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	STALL COUNT	10
---	ADA ACCESSIBLE STALL	HC
---	DEPRESSED CURB AND ADA RAMP	HC
---	DIRECTION OF TRAFFIC FLOW	---



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PRELIMINARY/FINAL  
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SUBDIVISION  
FOR  
RDM GROUP LLC

TAX LOTS:  
36-1-33, 36-1-11.221,  
36-1-11.23, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

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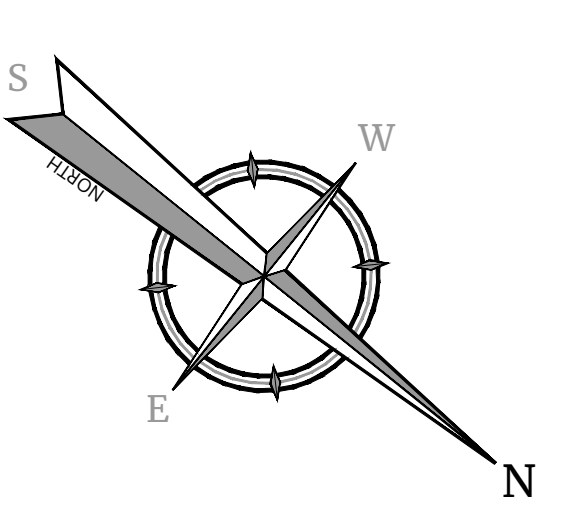
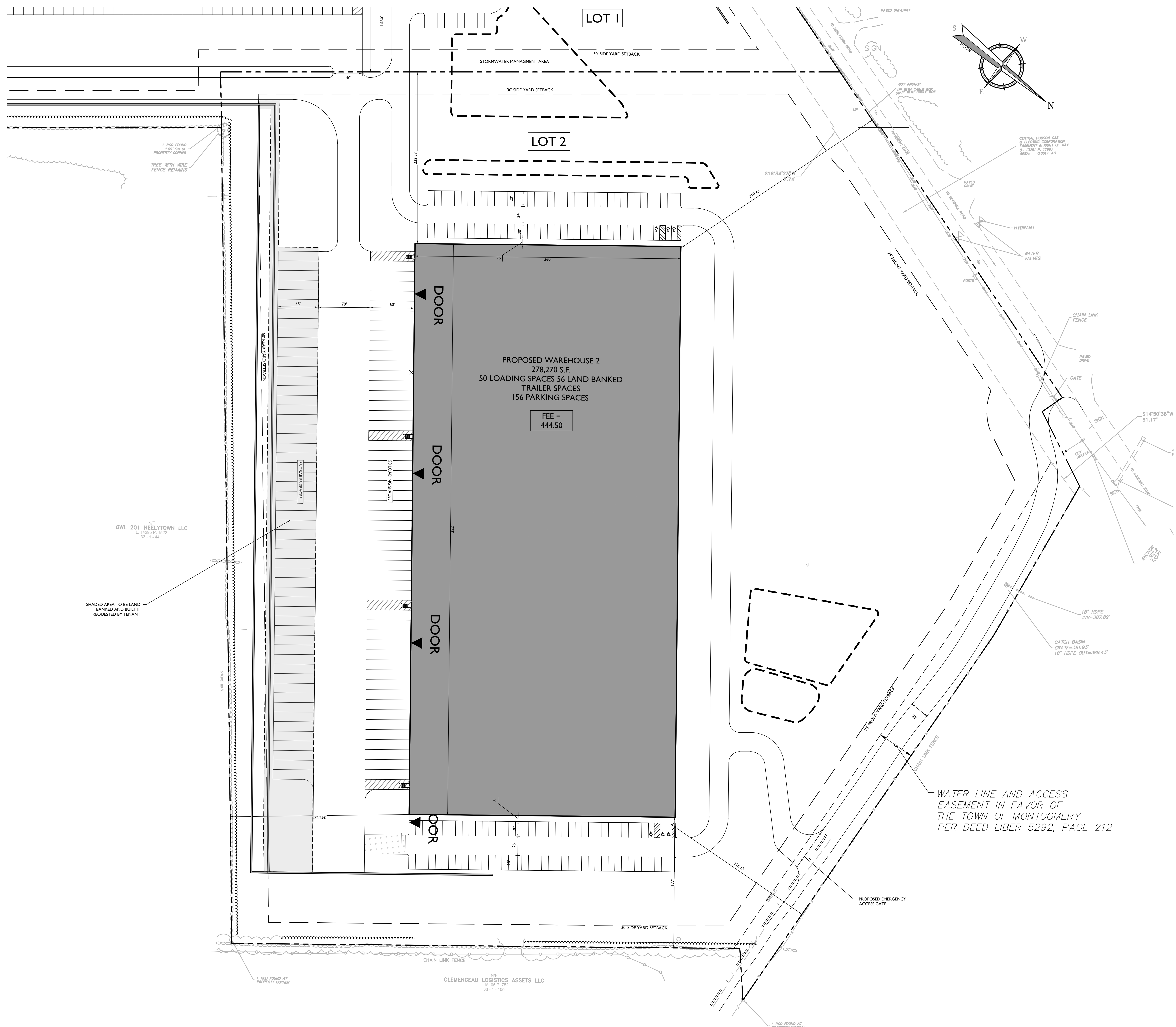
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PROJECT NUMBER: 21000327A DRAWING NAME: C-LAY1

LAYOUT PLAN - WEST

8 of 42

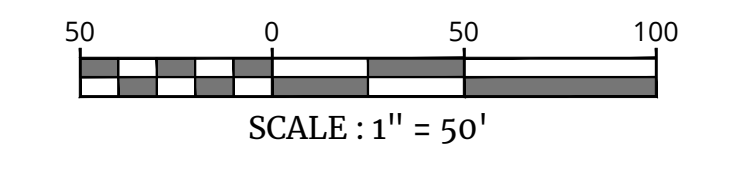
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PROPOSED WAREHOUSE 2  
278,270 S.F.  
50 LOADING SPACES 56 LAND BANKED TRAILER SPACES  
156 PARKING SPACES  
FEE = 444.50

WATER LINE AND ACCESS EASEMENT IN FAVOR OF THE TOWN OF MONTGOMERY PER DEED LIBER 5292, PAGE 212

EXISTING	LEGEND	PROPOSED
	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00 - 13+00
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	FACE BACK
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	X X
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	10
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	HC
	DIRECTION OF TRAFFIC FLOW	



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REV	DATE	DESCRIPTION

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PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC

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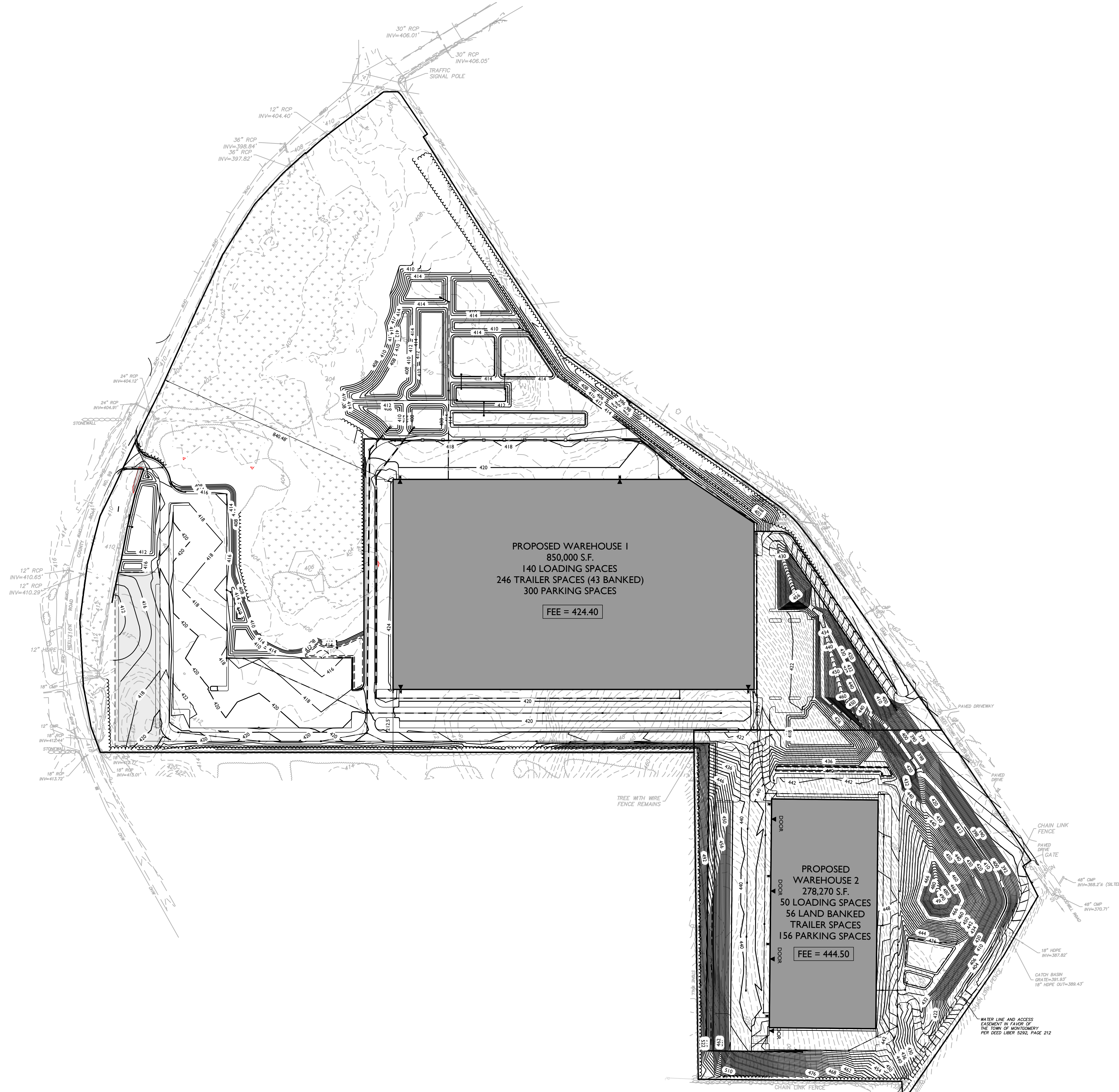
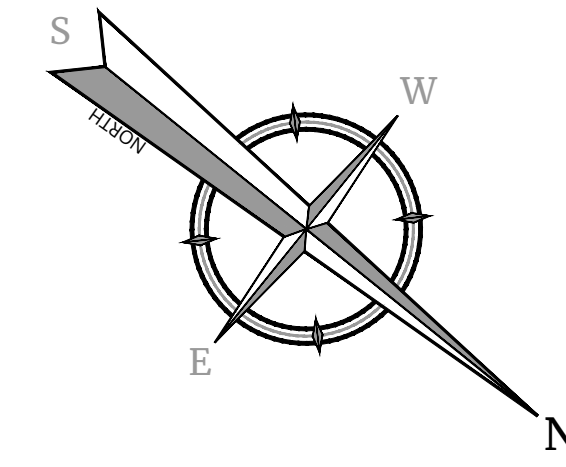
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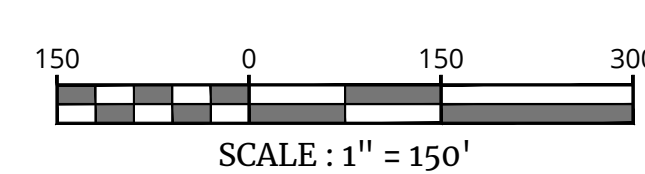
SCALE: AS SHOWN 6/21/24 DATE: 6/21/24 DRAWN BY: JG CHECKED BY: JBC  
PROJECT NUMBER: 210003276 DRAWING NAME: C-LAY

SHEET TITLE: LAYOUT PLAN - NORTH  
SHEET NUMBER: 9 of 42  
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EXISTING	LEGEND	PROPOSED
12+00	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00
— — — —	RIGHT OF WAY LINE	— — — —
— — — —	PROPERTY LINE	— — — —
— — — —	EDGE OF PAVEMENT	— — — —
— — — —	CURB	— — — —
— — — —	DEPRESSED CURB	— — — —
— — — —	SIDEWALK	— — — —
— — — —	FENCES	— — — —
— — — —	TREELINE	— — — —
— — — —	ROADWAY SIGNS	— — — —
— — — —	WETLAND LINE	— — — —
— — — —	MUNICIPAL BOUNDARY LINE	— — — —
— — — —	CATCH BASIN	— — — —
— — — —	DRAIN INLET	— — — —
— — — —	STORM MANHOLE	— — — —
— — — —	SANITARY MANHOLE	— — — —
— — — —	FLARED END SECTION	— — — —
— — — —	HEADWALL	— — — —
— — — —	HYDRANT	— — — —
— — — —	POLE MOUNTED LIGHT	— — — —
— — — —	CONTOURS	— — — —
— — — —	SPOT ELEVATION	— — — —
— — — —	DIRECTION OF OVERLAND FLOW	— — — —
— — — —	TOP OF CURB ELEVATION	— — — —
— — — —	BOTTOM OF CURB ELEVATION	— — — —
— — — —	TOP OF DEPRESSED CURB ELEVATION	— — — —



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REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

**DRAFT**

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36-1-10.1, 33-1-91

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ORANGE COUNTY  
NEW YORK

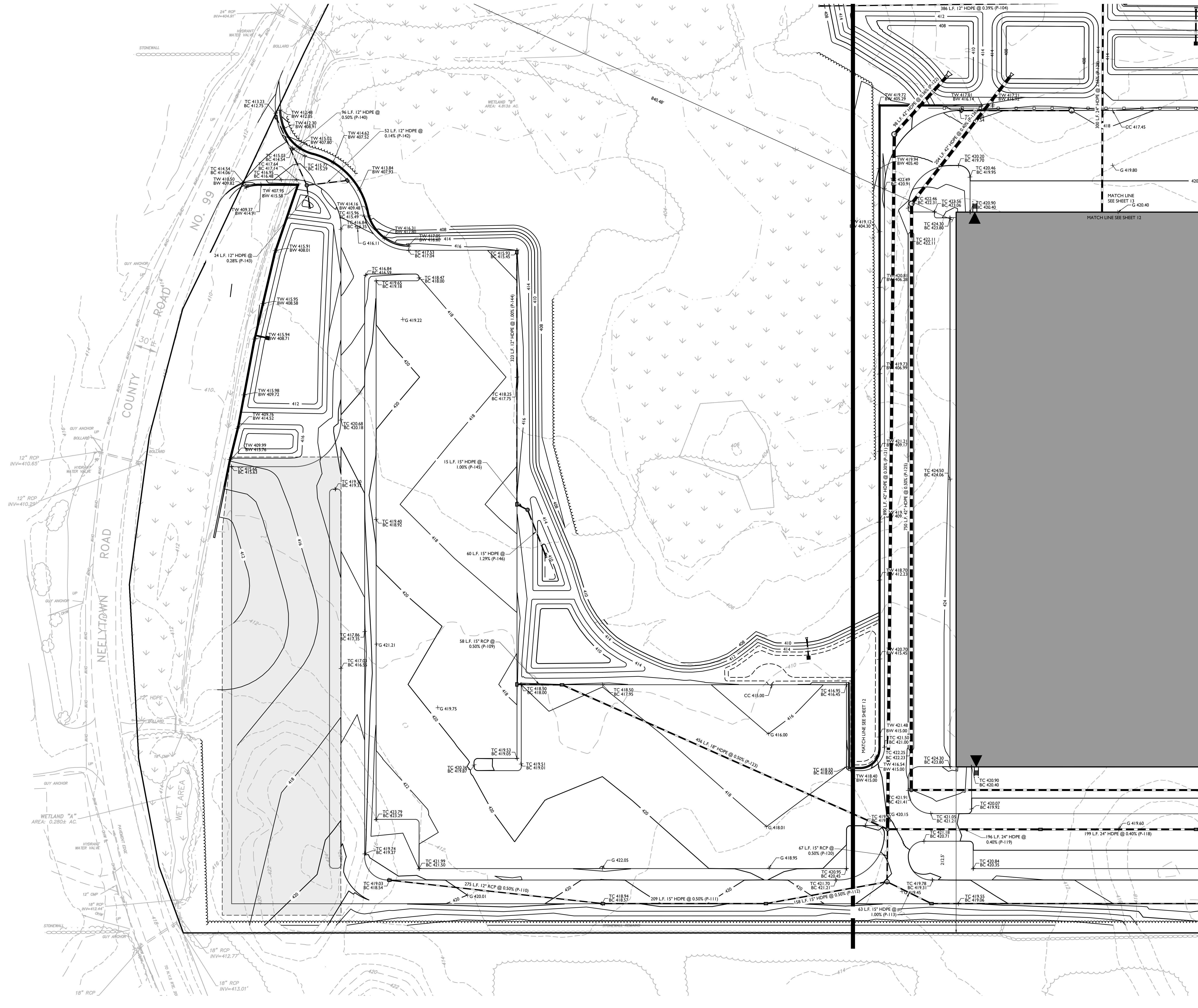
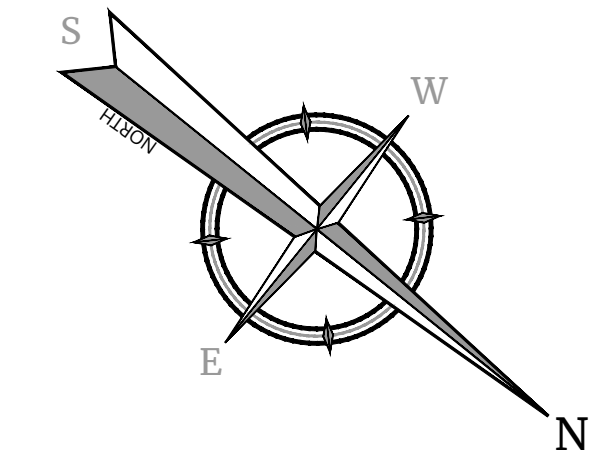
WOODCLIFF LAKE  
300 Tim Boulevard  
Suite 101  
Woodcliff Lake, NJ 07677  
Phone: 943.932.0411  
Fax: 943.932.0411  
**Colliers Engineering & Design**  
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ARCHITECTURE, INTERIOR ARCHITECTURE, LAND SURVEYING, CIVIL ENGINEERING, CONSTRUCTION MANAGEMENT, GENERAL CONTRACTING, ELECTRICAL ENGINEERING & DESIGN

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	8/21/24	JG	JBC
PROJECT NUMBER:	DRAWING NAME:		
21009327A	C-GRAD		

SHEET TITLE:  
**OVERALL GRADING & DRAINAGE PLAN**

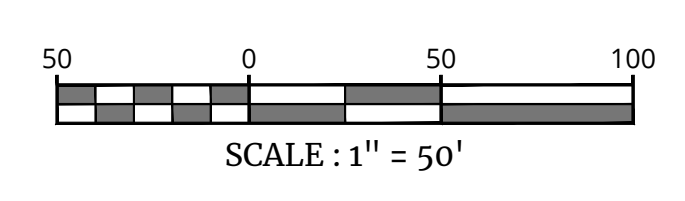
SHEET NUMBER:  
**10 of 42**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**LEGEND**

EXISTING	PROPOSED
124.00	134.00
TRAVERSE LINE, CENTER LINE	TRAVERSE LINE, CENTER LINE
OR BASELINE (LABEL AS SUCH) 124.00	OR BASELINE (LABEL AS SUCH) 134.00
RIGHT OF WAY LINE	RIGHT OF WAY LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
DEPRESSED CURB	DEPRESSED CURB
SIDEWALK	SIDEWALK
FENCES	FENCES
TREELINE	TREELINE
ROADWAY SIGNS	ROADWAY SIGNS
WETLAND LINE	WETLAND LINE
MUNICIPAL BOUNDARY LINE	MUNICIPAL BOUNDARY LINE
'B' INLET	'B' INLET
'E' INLET	'E' INLET
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
FLARED END SECTION	FLARED END SECTION
HEADWALL	HEADWALL
HYDRANT	HYDRANT
POLE MOUNTED LIGHT	POLE MOUNTED LIGHT
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
DIRECTION OF OVERLAND FLOW	DIRECTION OF OVERLAND FLOW
TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION	BOTTOM OF CURB ELEVATION
TOP OF DEPRESSED CURB ELEVATION	TOP OF DEPRESSED CURB ELEVATION



**DRAFT**

**PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION**  
FOR  
**RDM GROUP LLC**

**TAX LOTS:**  
36-1-11.23, 36-1-11.221,  
36-1-11.213, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

**TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK**

**Colliers**  
Engineering & Design

WOODCLIFF LAKE  
300 THE BRIDGEWAY  
SUITE 101  
WOODCLIFF LAKE, NY 07677  
PHONE: 845.352.0411

COLLIERS ENGINEERING & DESIGN  
ARCHITECTURE, INTERIOR ARCHITECTURE,  
SURVEYING, P.E., CIVIL ENGINEERING & LAND  
CONSULTING ENGINEERING & LAND SURVEYING

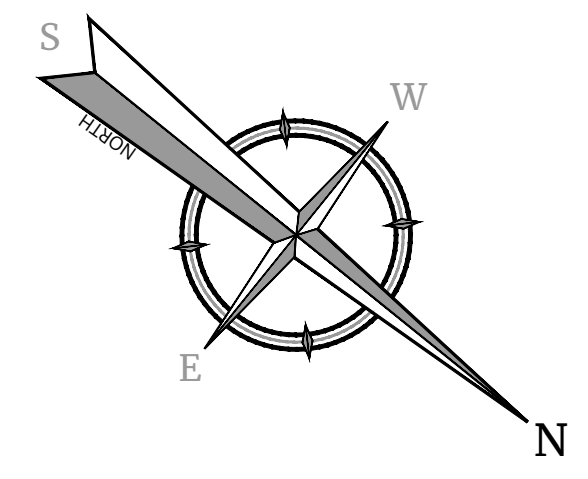
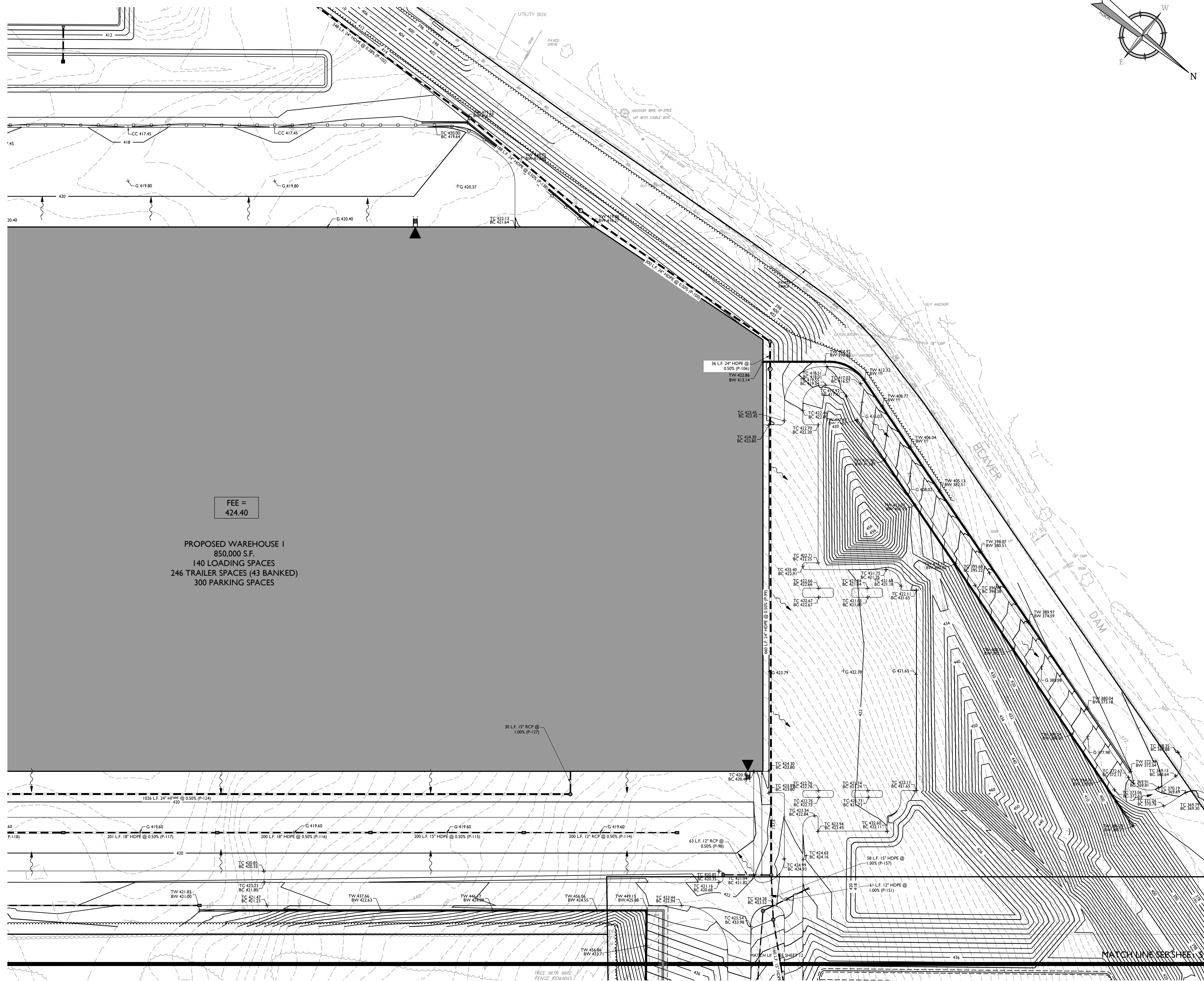
SCALE: AS SHOWN  
DATE: 02/12/24  
PROJECT NUMBER: 21000327A

DRAWN BY: JS  
CHECKED BY: JBC  
DRAWING NAME: C-GRAD

**GRADING & DRAINAGE  
PLAN - EAST**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

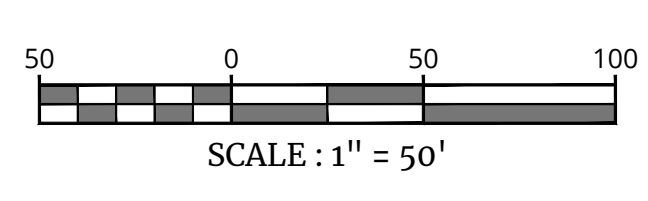
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



FEE =  
424.40

PROPOSED WAREHOUSE I  
850,000 S.F.  
140 LOADING SPACES  
246 TRAILER SPACES (43 BANKED)  
300 PARKING SPACES

EXISTING		LEGEND		PROPOSED	
12+00	13+00	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00	13+00	
		RIGHT OF WAY LINE			
		PROPERTY LINE			
		EDGE OF PAVEMENT			
FACE		CURB	FACE		
BACK		DEPRESSED CURB	BACK		
		SIDEWALK			
		FENCES	X X		
		TREELINE			
		ROADWAY SIGNS			
		WETLAND LINE			
		MUNICIPAL BOUNDARY LINE			
		'B' INLET			
		'E' INLET			
		STORM MANHOLE			
		SANITARY MANHOLE			
		FLARED END SECTION			
		HEADWALL			
		HYDRANT			
		POLE MOUNTED LIGHT			
		CONTOURS			
X G 29.0		SPOT ELEVATION	X G 29.0		
X TC 29.0		DIRECTION OF OVERLAND FLOW	X TC 29.0		
X BC 29.0		TOP OF CURB ELEVATION	X BC 29.0		
		BOTTOM OF CURB ELEVATION	X BC 29.0		
		TOP OF DEPRESSED CURB ELEVATION	X TDC 29.0		



**DRAFT**

PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION  
FOR  
**RDM GROUP LLC**  
  
TAX LOTS:  
36-1-11.23, 36-1-11.21,  
36-1-11.23, 36-1-11.21,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91  
  
TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK

WOODCLIFF LAKE  
300 TOWN BRIDGEWAY  
SUITE 101  
WOODCLIFF LAKE, NY 07677  
PHONE: 845.352.0411  
COLLIERS ENGINEERING & DESIGN  
ARCHITECTURE, INTERIOR DESIGN, AND  
SURVEYING, P.C. DOING BUSINESS AS MASER  
CONSULTING ENGINEERS & DESIGNERS

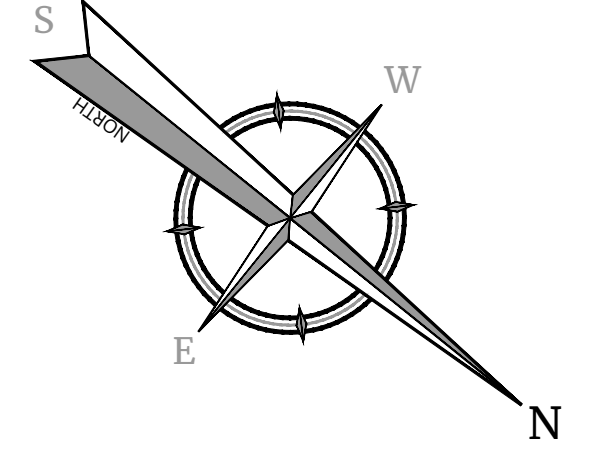
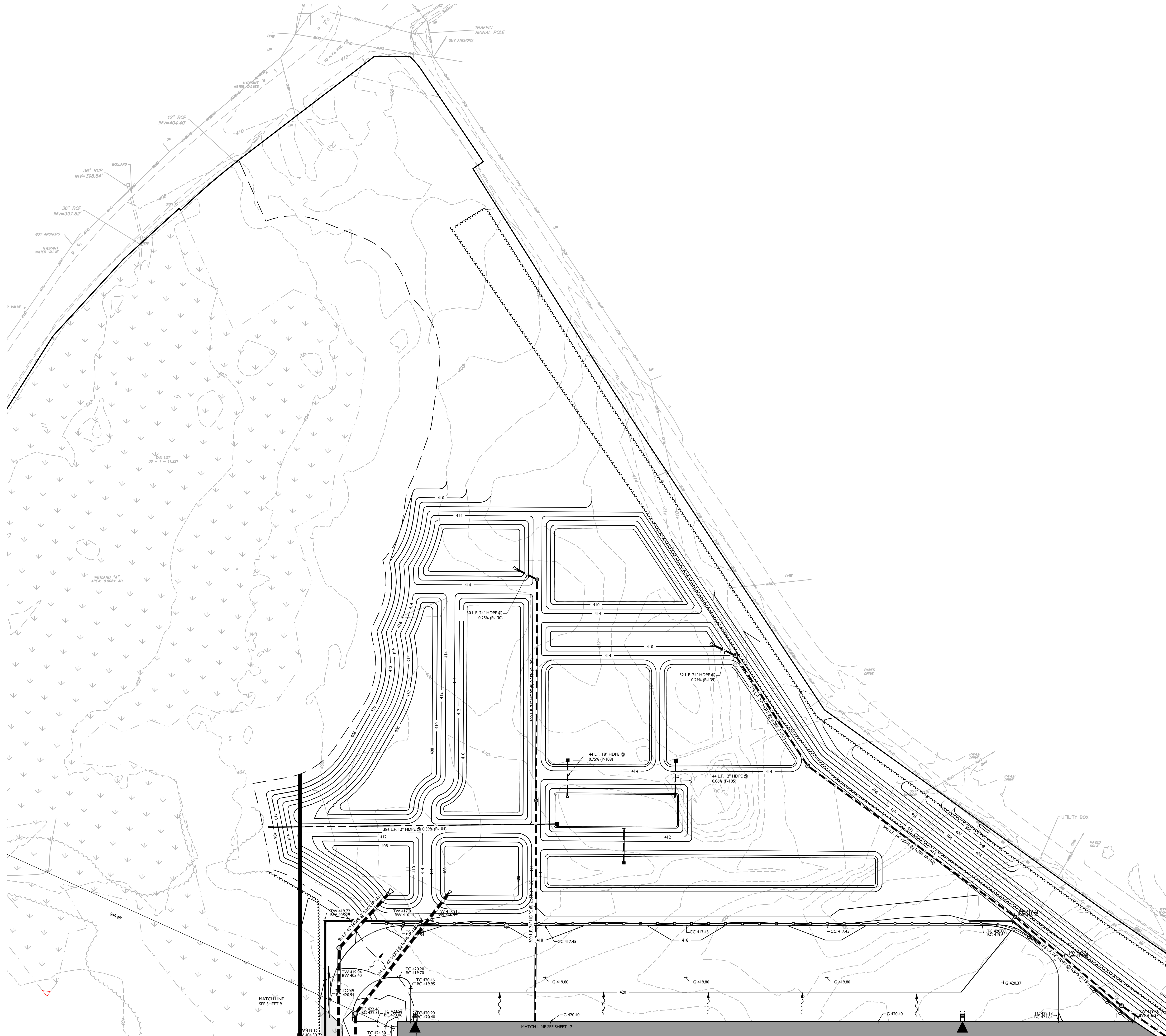
SCALE: AS SHOWN DATE: 02/12/24 DRAWN BY: JS CHECKED BY: JBC  
PROJECT NUMBER: 21000327A DRAWING NAME: C-GRAD

SHEET TITLE:  
**GRADING & DRAINAGE  
PLAN - WEST**  
SHEET NUMBER:  
**12 of 42**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





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Doing Business as **MASER**

**811** PROTECT YOURSELF  
ALL STATES REQUIRE NOTIFICATION OF EDUCATORS, SCHOOLS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

EXISTING	PROPOSED	
---	---	TRANSVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
---	---	RIGHT OF WAY LINE
---	---	PROPERTY LINE
---	---	EDGE OF PAVEMENT
---	---	CURB
---	---	DEPRESSED CURB
---	---	SIDEWALK
---	---	FENCES
---	---	TREELINE
---	---	ROADWAY SIGNS
---	---	WETLAND LINE
---	---	MUNICIPAL BOUNDARY LINE
---	---	'B' INLET
---	---	'E' INLET
---	---	STORM MANHOLE
---	---	SANITARY MANHOLE
---	---	FLARED END SECTION
---	---	HEADWALL
---	---	HYDRANT
---	---	POLE MOUNTED LIGHT
---	---	CONTOURS
X G 29.0	X G 29.0	SPOT ELEVATION
X TC 29.0	X TC 29.0	TOP OF CURB ELEVATION
X BC 29.0	X BC 29.0	BOTTOM OF CURB ELEVATION
X TDC 29.0	X TDC 29.0	TOP OF DEPRESSED CURB ELEVATION

**DRAFT**

PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION  
FOR  
**RDM GROUP LLC**  
TAX LOTS:  
36-1-33, 36-1-11.221,  
36-1-11.23, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91  
TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK

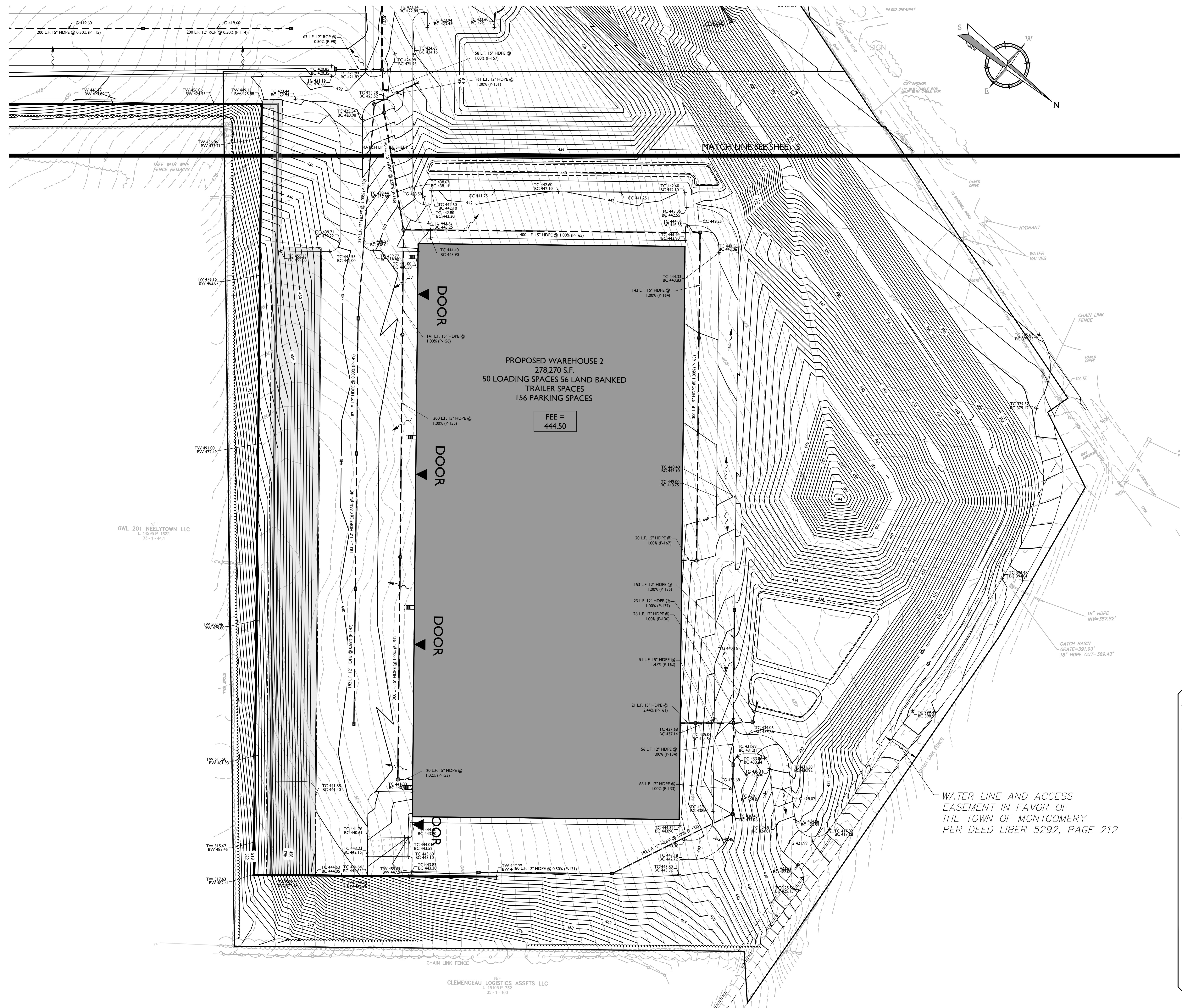
**Colliers**  
Engineering  
& Design  
WOODCLIFF LAKE  
300 TWP BROADWAY  
SUITE 101  
WOODCLIFF LAKE, NJ 07677  
PHONE: 845.352.0411  
COLLIERS ENGINEERING & DESIGN  
ARCHITECTURE, INTERIOR ARCHITECTURE,  
SURVEYING, CIVIL, GEOTECHNICAL, ENVIRONMENTAL, MARINE,  
CONSULTING ENGINEERING & DESIGN SERVICES

SCALE: 1" = 50'

PROJECT NUMBER: 21000327A  
DRAWING NAME: C-GRAD  
SHEET NUMBER: 13 of 42

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

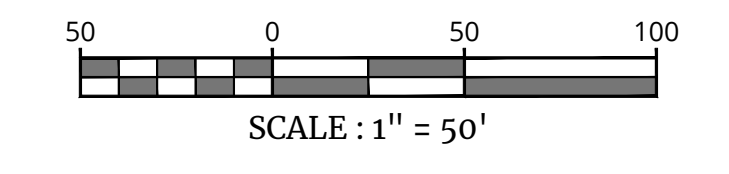


N/P  
GWL 201 HEELYTOWN LLC  
L 14300 P 1522  
33-1-44.1

N/P  
CLEMENEAU LOGISTICS ASSETS LLC  
L 13100 P 732  
33-1-100

WATER LINE AND ACCESS  
EASEMENT IN FAVOR OF  
THE TOWN OF MONTGOMERY  
PER DEED LIBER 5292, PAGE 212

EXISTING	PROPOSED	LEGEND
		TRAVERSED LINE, CENTER LINE
		EDGE OF PAVEMENT
		RIGHT OF WAY LINE
		PROPERTY LINE
		FACE CURB
		BACK CURB
		DEPRESSED CURB
		SIDEWALK
		FENCES
		TREELINE
		ROADWAY SIGNS
		WETLAND LINE
		MUNICIPAL BOUNDARY LINE
		8" INLET
		E" INLET
		STORM MANHOLE
		SANITARY MANHOLE
		FLARED END SECTION
		HEADWALL
		HYDRANT
		POLE MOUNTED LIGHT
		CONTOURS
		SPOT ELEVATION
		DIRECTION OF OVERLAND FLOW
		TOP OF CURB ELEVATION
		BOTTOM OF CURB ELEVATION
		TOP OF DEPRESSED CURB ELEVATION
		TDC 29.0



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FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION

DRAFT

**PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION**

FOR  
**RDM GROUP LLC**

**TAX LOTS:**  
36-1-33, 36-1-11.221,  
36-1-11.23, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

**TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK**

**Colliers**  
Engineering & Design

SCALE: AS SHOWN  
DATE: 6/2/24  
PROJECT NUMBER: 21009327A

WOODCLIFF LAKE  
300 TIM BRUNHARDT  
SUITE 101  
WOODCLIFF LAKE, NJ 07677  
PHONE: 943.352.0411

CHECKED BY: JBC

SHEET TITLE:  
**GRADING & DRAINAGE  
PLAN - NORTH**

SHEET NUMBER:  
**14 of 42**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

LANDSCAPE PLAN NOTES

- 1. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
2. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
3. LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
4. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESS, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
5. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.
6. MINIMUM OF 30" OF PLANTING SOIL IN ALL PLANTING AREAS TO HELP ENSURE SUCCESSFUL ESTABLISHMENT OF NEW PLANTINGS.

TOWN OF MONTGOMERY LANDSCAPE NOTES

PER §235-16.5.C)(1)(i)-(v)

- 1. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPING SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

PER §235-16.5.C)(1)(v)

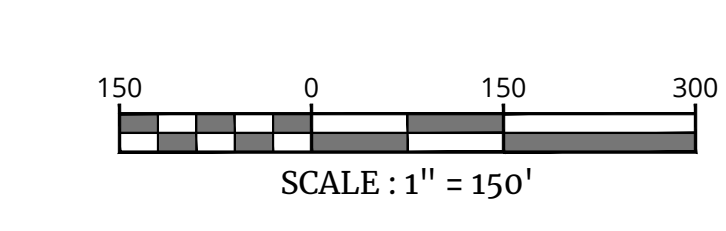
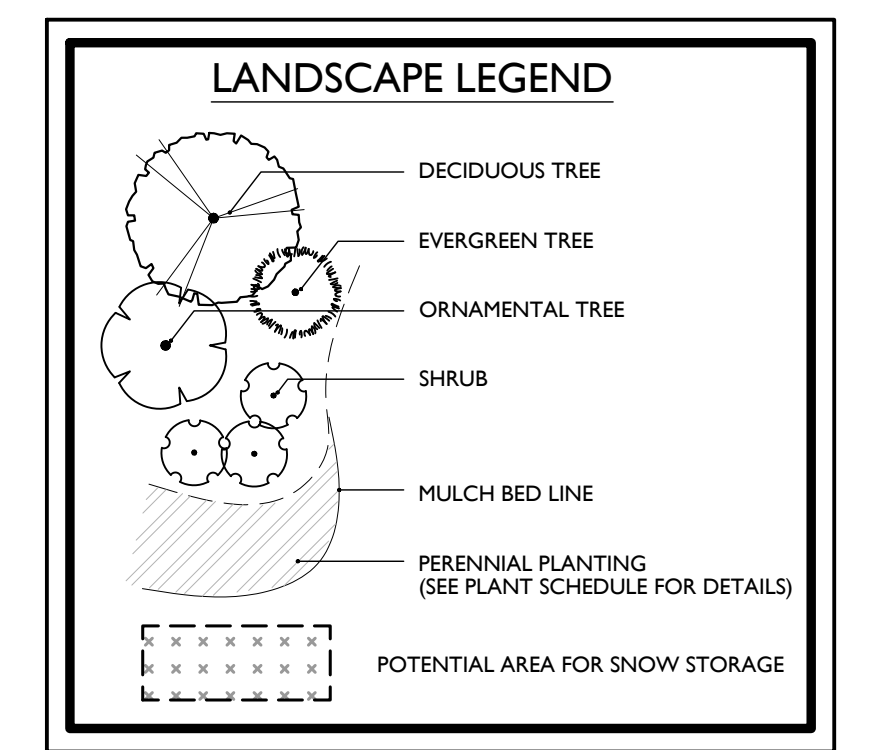
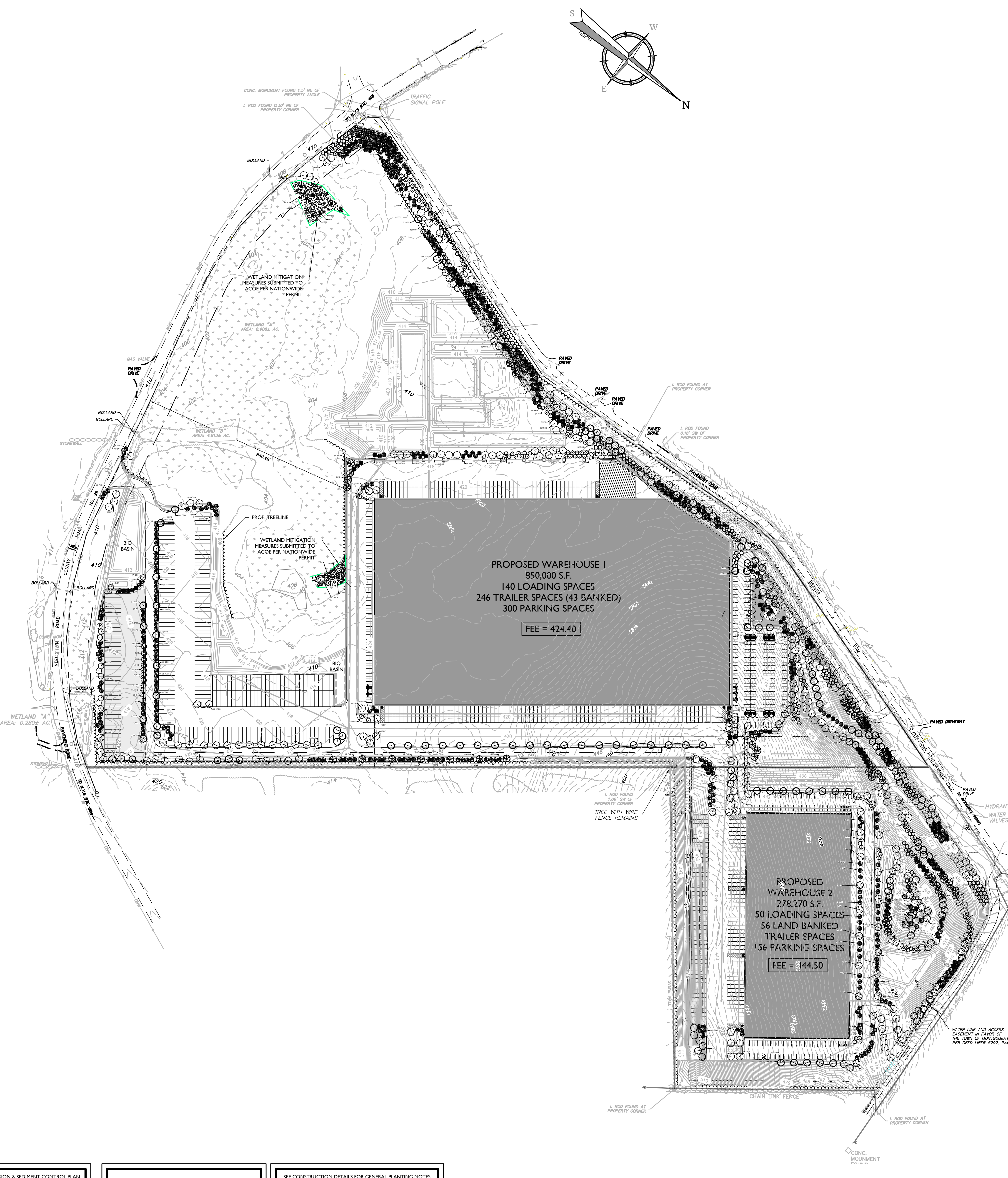
- 1. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE/LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

WETLAND MITIGATION PLANTING SCHEDULE

Table with columns: SYM., BOTANICAL NAME, COMMON NAME, COND., SIZE, SPACING, QTY. Includes rows for Red Maple, Spicebush, Pussy Willow, Winterberry, and Highbush Blueberry.

PLANT SCHEDULE (APPLIES TO ENTIRE PROJECT SITE, SHEETS 21-24)

Main plant schedule table with columns: CODE, QTY, BOTANICAL / COMMON NAME, CONT., SIZE, CONDITION. Includes sections for Evergreen Trees, Ornamental Trees, Shade Trees, Deciduous Shrubs, Evergreen Shrubs, and Ground Covers.



Revision table with columns: REV, DATE, DRAWN BY, DESCRIPTION. Contains multiple rows for project revisions.

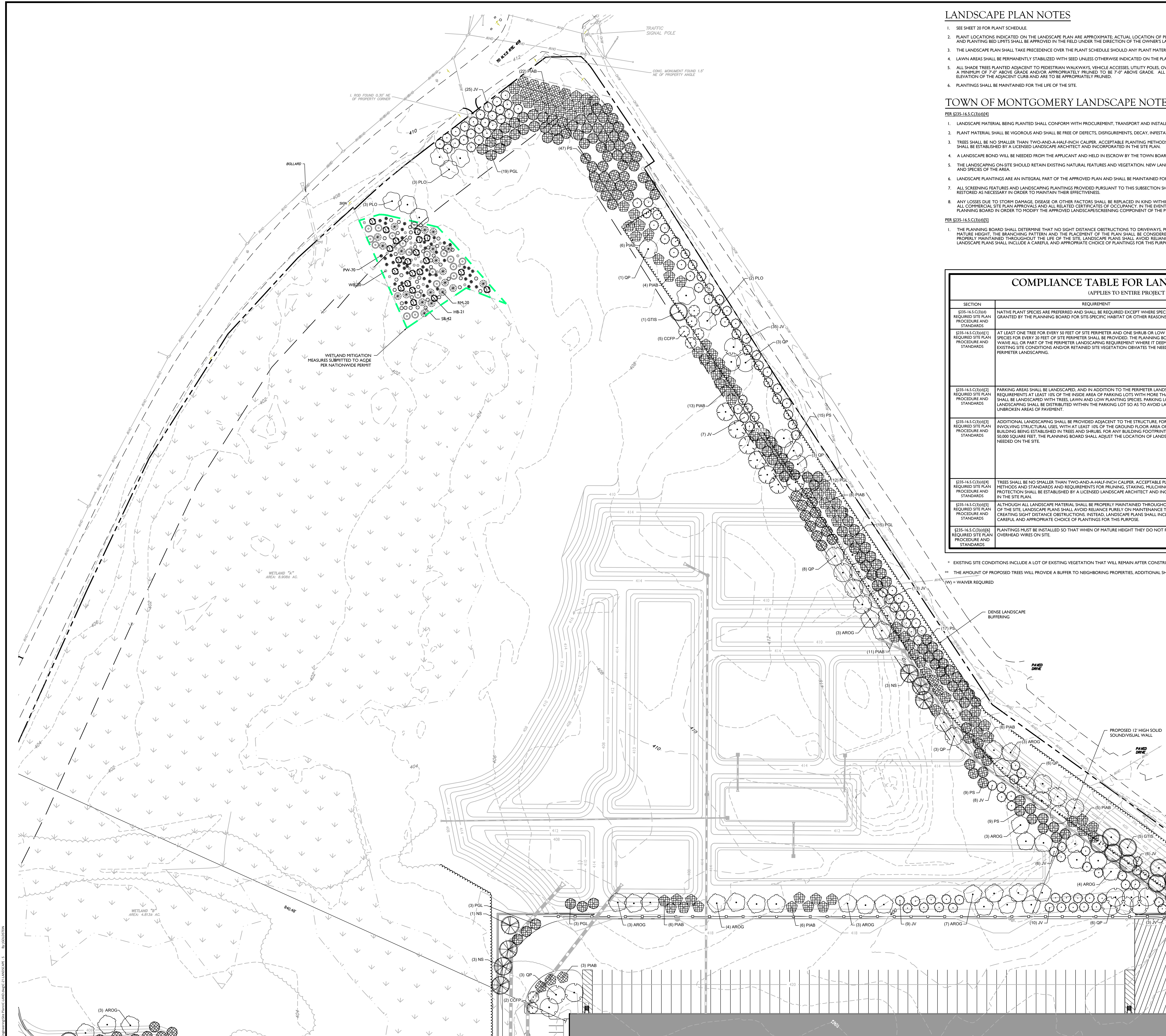
DRAFT

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC. TAX LOTS: 36-1-33, 36-1-11.221, 36-1-11.23, 36-1-11.212, 36-1-11.211, 36-1-11.1, 36-1-10.1, 33-1-91. TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK.

WOODCLIFF LAKE 300 Tin Boulevard Suite 101 Woodcliff Lake, NJ 07677 Phone: 845-362-0411

Colliers Engineering & Design. Colliers Engineering & Design, Architectural, Mechanical, Electrical, Surveying, P.E., Doing Business as Maser Consulting Engineers & Surveyors.

SCALE: AS SHOWN, DATE: 8/21/24, DRAWN BY: JS, CHECKED BY: JBC. PROJECT NUMBER: 21000327A, DRAWING NAME: C-LAND. SHEET TITLE: OVERALL LANDSCAPE PLAN. SHEET NUMBER: 20 of 42.



**LANDSCAPE PLAN NOTES**

- SEE SHEET 20 FOR PLANT SCHEDULE.
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ARCHITECT.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN; SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESS, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 3' ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

**TOWN OF MONTGOMERY LANDSCAPE NOTES**

- LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
- TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
- THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
- LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
- ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE SITE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
- ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT A-BURDEN REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPING/SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

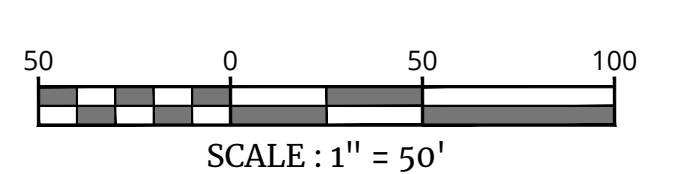
COMPLIANCE TABLE FOR LANDSCAPE REQUIREMENT (APPLIES TO ENTIRE PROJECT SITE, SHEETS 21-24)			
SECTION	REQUIREMENT	PROVIDED	COMPLIES
§235-14.5.C3(a)(6) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	NATIVE PLANT SPECIES ARE PREFERRED AND SHALL BE REQUIRED EXCEPT WHERE SPECIFIC WAIVER IS GRANTED BY THE PLANNING BOARD FOR SITE-SPECIFIC HABITAT OR OTHER REASONS.	NATIVE PLANTS SPECIES ARE PROPOSED	YES
§235-14.5.C3(a)(1) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	AT LEAST ONE TREE FOR EVERY 50 FEET OF SITE PERIMETER AND ONE SHRUB OR LOW PLANTING SPECIES FOR EVERY 20 FEET OF SITE PERIMETER SHALL BE PROVIDED. THE PLANNING BOARD MAY WAIVE ALL OR PART OF THE PERIMETER LANDSCAPING REQUIREMENT WHERE IT DEEMS THAT THE EXISTING SITE CONDITIONS AND/OR RETAINED SITE VEGETATION OBVIATES THE NEED FOR NEW PERIMETER LANDSCAPING.	NORTH/NORTHWEST PROPERTY LINES (LOTS 2 & 3): 4,401 LF 88 REQUIRED TREES, 220 REQUIRED SHRUBS 497 PROPOSED TREES SOUTH/SOUTHWEST PROPERTY LINES (LOTS 1 & 3): 2,624 LF 53 REQUIRED TREES, 132 REQUIRED SHRUBS 66 PROPOSED TREES, 76 PROPOSED SHRUBS NORTHEAST PROPERTY LINES (LOTS 1 & 2): 3,870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS 97 PROPOSED TREES	YES**
§235-14.5.C3(a)(2) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	PARKING AREAS SHALL BE LANDSCAPED, AND IN ADDITION TO THE PERIMETER LANDSCAPE REQUIREMENTS AT LEAST 10% OF THE INSIDE AREA OF PARKING LOTS WITH MORE THAN 30 SPACES SHALL BE LANDSCAPED WITH TREES AND SHRUBS. PARKING LOT LANDSCAPING SHALL BE DISTRIBUTED WITHIN THE PARKING LOT SO AS TO AVOID LARGE UNBROKEN AREAS OF PAVEMENT.	TOTAL PARKING AREA: 670,537 SF TOTAL LANDSCAPED PARKING AREA: 161,796 SF 189,973 SF / 642,290 SF = 24.12%	YES
§235-14.5.C3(a)(3) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ADDITIONAL LANDSCAPING SHALL BE PROVIDED ADJACENT TO THE STRUCTURE. FOR SITE PLANS INVOLVING STRUCTURAL LINES, WITH AT LEAST 10% OF THE GROUND FLOOR AREA OF THE BUILDING BEING ESTABLISHED IN TREES AND SHRUBS. FOR ANY BUILDING FOOTPRINT IN EXCESS OF 50,000 SQUARE FEET, THE PLANNING BOARD SHALL ADJUST THE LOCATION OF LANDSCAPING NEEDED ON THE SITE.	GROSS FLOOR AREA OF WAREHOUSE ON LOT 1: 214,000 SF REQUIRED BUILDING LANDSCAPING: 21,400 SF PROPOSED BUILDING LANDSCAPING: 17,900 SF GROSS FLOOR AREA OF WAREHOUSE ON LOT 2: 664,200 SF REQUIRED BUILDING LANDSCAPING: 66,420 SF PROPOSED BUILDING LANDSCAPING: 48,040 SF GROSS FLOOR AREA OF WAREHOUSE ON LOT 3: 350,070 SF REQUIRED BUILDING LANDSCAPING: 35,007 SF PROPOSED BUILDING LANDSCAPING: 47,703 SF	NO (W) NO (W) YES
§235-14.5.C3(a)(4) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.	ALL TREES ARE 2-1/2" CALIPER MINIMUM	YES
§235-14.5.C3(a)(5) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.	ADDITIONAL PLANTINGS HAVE BEEN INSTALLED AT THE SOUTHWEST AND WESTERN SIDES OF THE PROPERTY FOR SCREENING PURPOSES	YES
§235-14.5.C3(a)(6) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	PLANTINGS MUST BE INSTALLED SO THAT WHEN OF MATURE HEIGHT THEY DO NOT REACH ANY OVERHEAD WIRES ON SITE.	ALL PROPOSED PLANTINGS WILL BE MAINTAINED TO ENSURE THEIR MATURE HEIGHT DOES NOT CONFLICT WITH OVERHEAD WIRING	YES

\* EXISTING SITE CONDITIONS INCLUDE A LOT OF EXISTING VEGETATION THAT WILL REMAIN AFTER CONSTRUCTION, REDUCING THE AMOUNT OR NEED FOR NEW VEGETATION.  
\*\* THE AMOUNT OF PROPOSED TREES WILL PROVIDE A BUFFER TO NEIGHBORING PROPERTIES. ADDITIONAL SHRUBS ARE NOT NEEDED IN ORDER TO MAINTAIN THE BUFFER  
(W) = WAIVER REQUIRED

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.



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REV	DATE	DESCRIPTION

**DRAFT**

PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION  
FOR  
**RDM GROUP LLC**

TAX LOTS:  
36-1-33, 36-1-11.221,  
36-1-11.23, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK

**Colliers**  
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WOODCLIFF LAKE  
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Woodcliff Lakes, NJ 07677  
Phone: 848.352.0411  
Fax: 848.352.0411  
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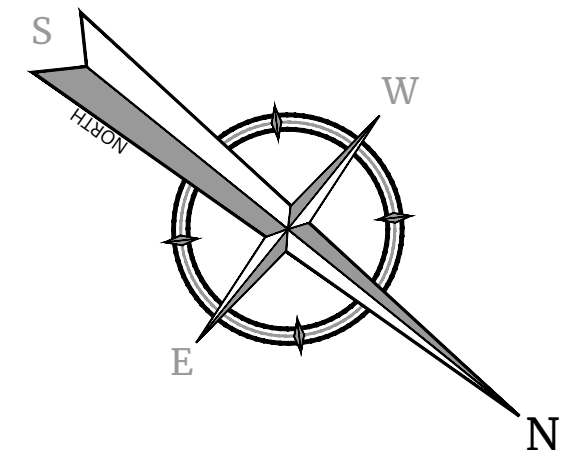
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN:	6/2/24:	JG:	JBC:
PROJECT NUMBER:	DRAWING NAME:		
210003274:	C-LAND:		

LANDSCAPE PLAN - SOUTH

SHEET NUMBER:  
**21** of **42**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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**LANDSCAPE PLAN NOTES**

- SEE SHEET 20 FOR PLANT SCHEDULE.
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESS, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30' ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

**TOWN OF MONTGOMERY LANDSCAPE NOTES**

PER §235-16.5.C(3)(i)(G)(4)

- LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DISEASES, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
- TREES SHALL BE NO SMALLER THAN TWO-INCHES-A-HALF-INCH CALIBER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
- THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
- LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
- ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
- ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

PER §235-16.5.C(3)(i)(G)(5)

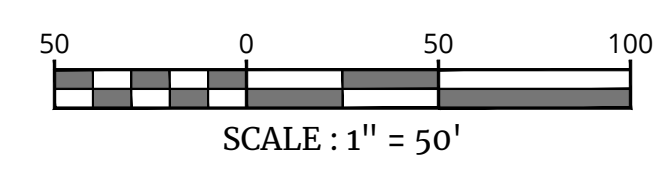
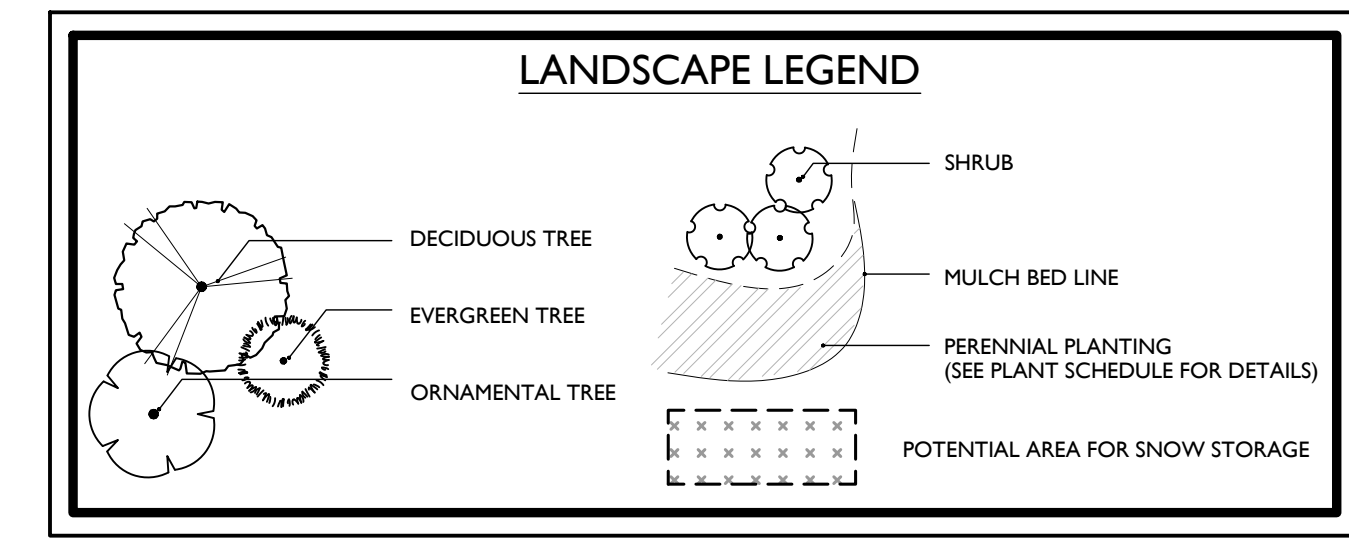
- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.

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REV	DATE	DRAWN BY	DESCRIPTION

REV	DATE	DRAWN BY	DESCRIPTION

**DRAFT**

PRELIMINARY/FINAL  
MAJOR SITE PLAN & MINOR  
SUBDIVISION  
FOR  
**RDM GROUP LLC**

TAX LOTS:  
36-1-33, 36-1-11.221,  
36-1-11.23, 36-1-11.212,  
36-1-11.211, 36-1-11.1,  
36-1-10.1, 33-1-91

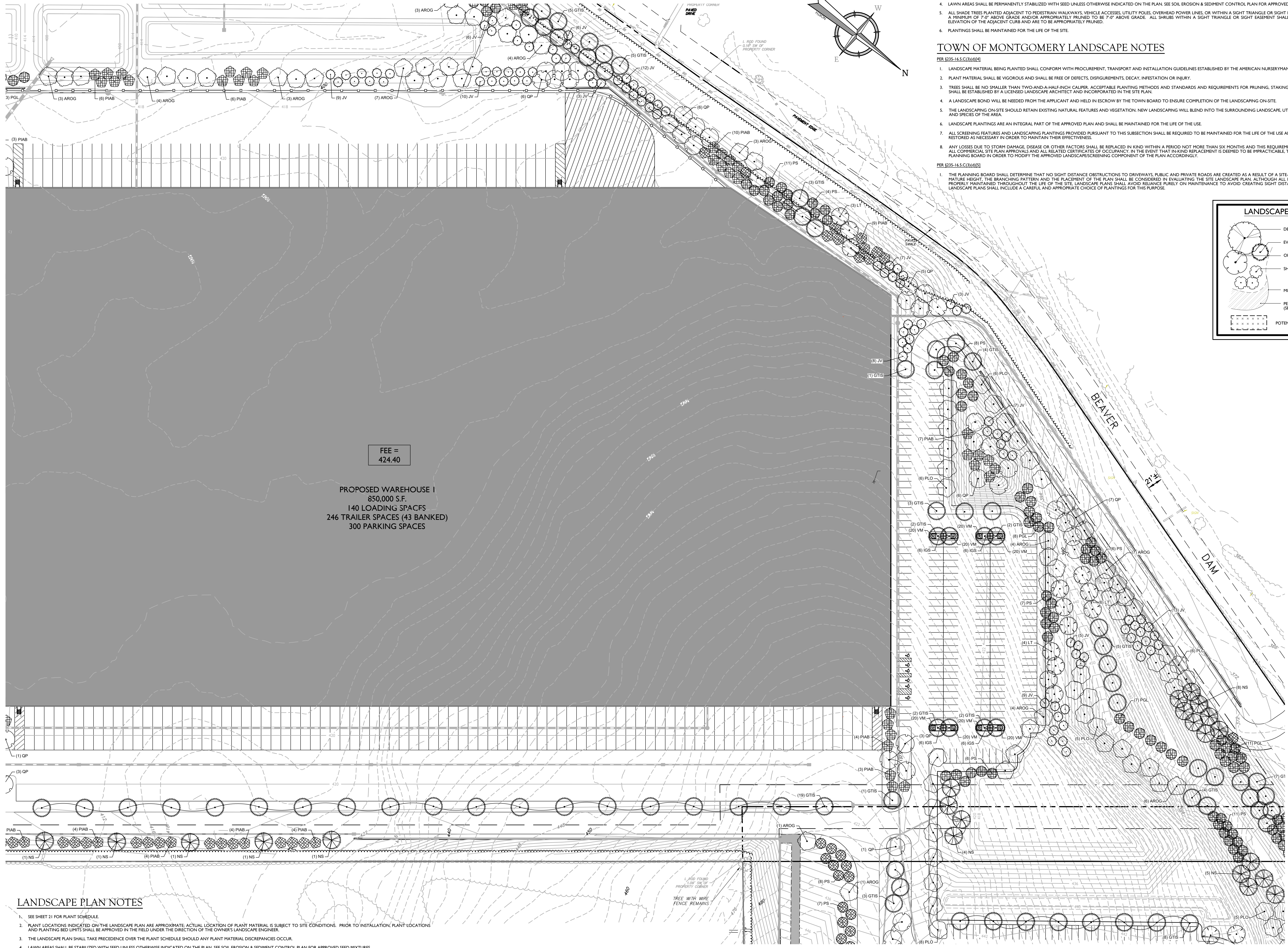
TOWN OF MONTGOMERY  
ORANGE COUNTY  
NEW YORK

WOODCLIFF LAKE  
300 Timberline Drive  
Suite 101  
Woodcliff Lake, NJ 07677  
Phone: 945.952.0411

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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	6/21/24	JG	JBC
PROJECT NUMBER:	DRAWING NAME:	SHEET TITLE:	
21000327A	C-LAND	LANDSCAPE PLAN - EAST	

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FEE = 424.40

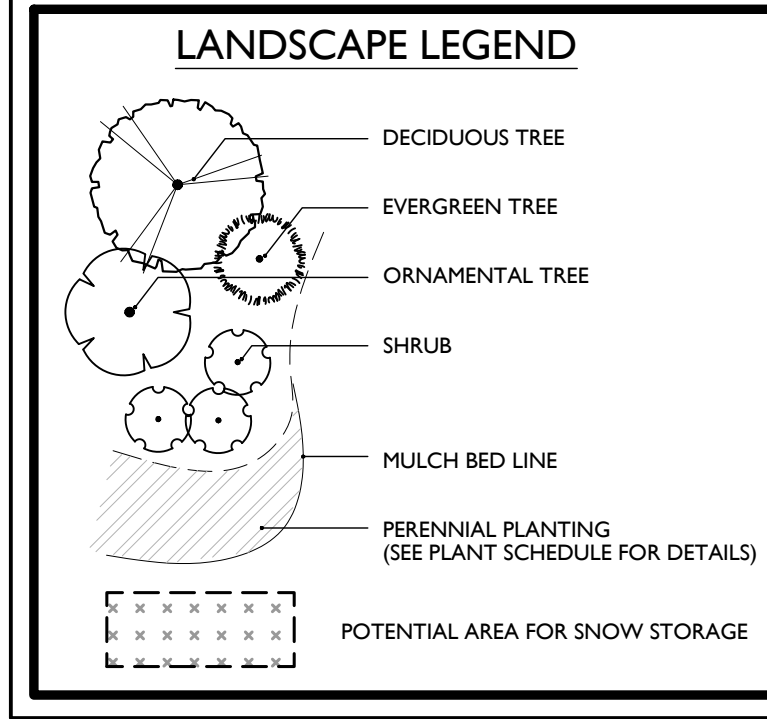
**PROPOSED WAREHOUSE I**  
 850,000 S.F.  
 140 LOADING SPACES  
 246 TRAILER SPACES (43 BANKED)  
 300 PARKING SPACES

**LANDSCAPE PLAN NOTES**

1. SEE SHEET 20 FOR PLANT SCHEDULE.
2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
4. LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30' ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

**TOWN OF MONTGOMERY LANDSCAPE NOTES**

- PER §235-16.5.C(1)(b)(1)
1. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
  2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
  3. TREES SHALL BE NO SMALLER THAN TWO INCHES DIA. HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
  4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
  5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
  6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
  7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
  8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT A KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE SCREENING COMPONENT OF THE PLAN ACCORDINGLY.
- PER §235-16.5.C(1)(b)(3)
1. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.



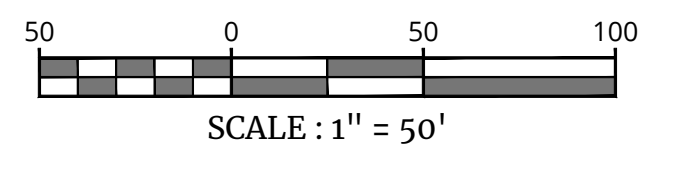
**LANDSCAPE PLAN NOTES**

1. SEE SHEET 21 FOR PLANT SCHEDULE.
2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
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6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.



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REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

**DRAFT**

**PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION FOR RDM GROUP LLC**

TAX LOTS:  
 36-1-33, 36-1-11.221,  
 36-1-11.23, 36-1-11.212,  
 36-1-11.211, 36-1-11.1,  
 36-1-10.1, 33-1-91

**TOWN OF MONTGOMERY ORANGE COUNTY NEW YORK**

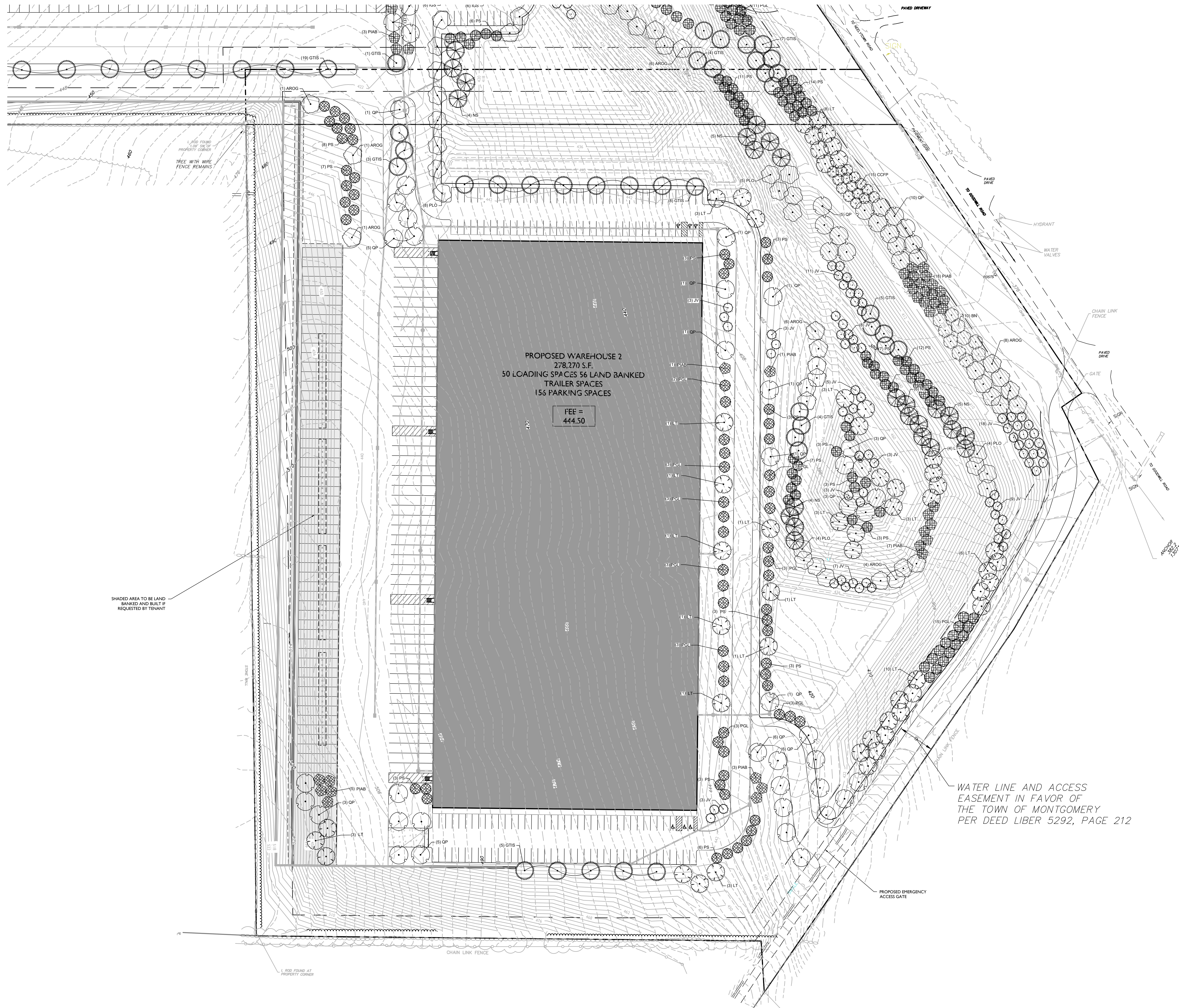
**Colliers**  
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300 TOWN BRUNSWICK SUITE 101 WOODCLIFF LAKE, NJ 07677  
 PHONE: 943-302-0411  
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	6/21/24	JG	JBC
PROJECT NUMBER:	210093274	DRAWING NAME:	C-LAND

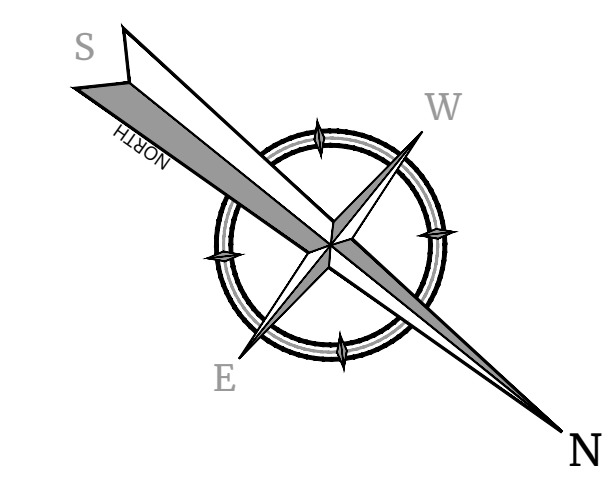
LANDSCAPE PLAN - WEST  
 SHEET NUMBER:  
 23 of 42

**NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.**

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PROPOSED WAREHOUSE 2  
 278,270 S.F.  
 50 LOADING SPACES 56 LAND BANKED  
 TRAILER SPACES  
 156 PARKING SPACES  
 FEE = 444.50



**LANDSCAPE PLAN NOTES**

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- PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

**TOWN OF MONTGOMERY LANDSCAPE NOTES**

- PER §235-16.5(C)(9)(4)
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  - TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
  - A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
  - THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS MATERIALS AND SPECIES OF THE AREA.
  - LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
  - ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PLASANT TO THE SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
  - ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THE REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT REPAIRED REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCORDINGLY.

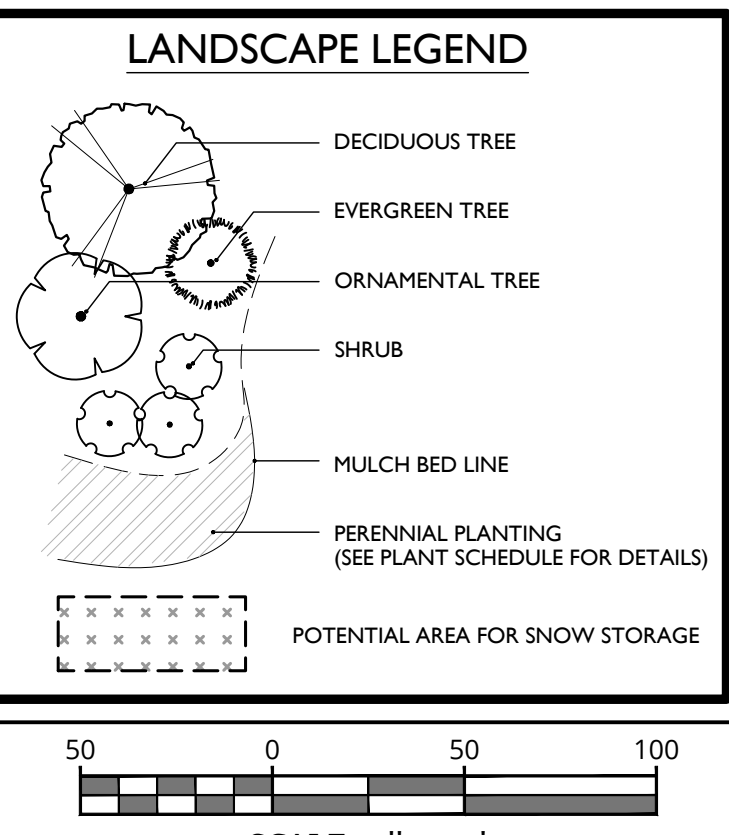
- PER §235-16.5(C)(9)(5)
- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

WATER LINE AND ACCESS EASEMENT IN FAVOR OF THE TOWN OF MONTGOMERY PER DEED LIBER 5292, PAGE 212

SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GENERAL SEEDING NOTES

SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.



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NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**DRAFT**

PRELIMINARY/FINAL MAJOR SITE PLAN & MINOR SUBDIVISION  
 FOR  
**RDM GROUP LLC**  
 TAX LOTS:  
 36-1-33, 36-1-11.221,  
 36-1-11.23, 36-1-11.212,  
 36-1-11.211, 36-1-11.1,  
 36-1-10.1, 33-1-91  
 TOWN OF MONTGOMERY  
 ORANGE COUNTY  
 NEW YORK

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 CONSULTING ENGINEERING & DESIGN SERVICES  
 SCALE: AS SHOWN DATE: 6/21/24 DRAWN BY: JG CHECKED BY: JBC  
 PROJECT NUMBER: 210003274 DRAWING NAME: C-LAND  
 SHEET TITLE: LANDSCAPE PLAN - NORTH  
 SHEET NUMBER: 24 of 42

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