

ZONING TABLE

TABLE OF BULK REQUIREMENTS ZONE: I-1 DISTRICT (GENERAL INDUSTRY)

ITEM	REQUIRED ⁽¹⁾	PROVIDED (LOT I) ⁽¹⁾	PROVIDED (LOT 2) ⁽¹⁾	COMPLIES
MIN. LOT AREA	5.0 AC ⁽³⁾	3,012,410 SF (69.16 AC) ⁽⁴⁾	1,090,918 (25.04 AC) ⁽⁴⁾	YES
MIN. LOT WIDTH	200 FT	2,751.83'	733.71'	YES
MIN. FRONT YARD SETBACK	75' ⁽⁴⁾	95.1'	216.13'	YES
MIN. SIDE YARD (ONE) SETBACK	30'	N/A	177'	YES
MIN. SIDE YARD (BOTH) SETBACK	60'	N/A	409.57'	YES
MIN. REAR YARD SETBACK	50'	212.50'	242.23'	YES
MAX. BLDG. HGHT.	55'	55'	55'	YES
LOT COVERAGE	40%	± 28.22%	± 25.51%	YES

LC	T AREA REDUCTION T	ABLE	
	DESCRIPTION	REDUCTION	AREA
	TOTAL LOT AREA	N/A	3,729,852 SF (85.62 AC) ⁽⁴⁾
	UTILITY RIGHT OF WAY / EASEMENT	50%	52,568 SF (1.21 AC) ^(4.1)
LOT I	WETLANDS	100%	609,869 SF (14.00 AC) ^(4.2)
	SLOPES BETWEEN 25% & 50%	50%	54,038 SF (1.24 AC) ^(4.3)
	SLOPES GREATER THAN 50%	100%	967 SF (0.02 AC) ^(4.3)
	REDUCED LOT AREA	N/A	3,012,410 SF (69.16 AC) ⁽⁴⁾
	TOTAL LOT AREA	N/A	I,168,750 SF (26.83 AC) ⁽⁴⁾
	UTILITY RIGHT OF WAY / EASEMENT	50%	36,525 SF (0.84 AC) ^(4.1)
LOT 2	WETLANDS	100%	0 SF (0 AC) ^(4.2)
LOT 2	SLOPES BETWEEN 25% & 50%	50%	40,918 SF (0.94 AC) ^(4.3)
	SLOPES GREATER THAN 50%	100%	389 SF (0.0089 AC) ^(4.3)
	REDUCED LOT AREA	N/A	1,090,918 (25.04 AC) ⁽⁴⁾

1. THE ENTIRE PROJECT SITE COMPRISES ±4,898,602 SF (112.46 AC), CONSOLIDATING TAX LOTS 36-1-33, 11.221, 11.212, 11.212, 11.211, 11.1, 10.1 AND LOT 33-1-91. AFTER SUBDIVISION OF THE ENTIRE PROJECT SITE, THE TOTAL LOT AREA FOR LOT I WOULD BE 3,729,852 (85.62 AC) AND FOR LOT 2 WOULD BE 1,168,750 SF (26.83 SF).

- 2. MINIMUM LOT AREA SHALL BE 5.0 ACRES FOR INTENSIVE WAREHOUSES, PURSUANT TO ZONING LAW § 235-15.4(C)(47)(c). 3. THE ZONING LAW'S TABLE OF DIMENSIONAL REGULATIONS REQUIRES A SETBACK OF 75 FEET FROM NEELYTOWN ROAD & BEAVER
- DAM ROAD, PER ZONING LAW § 235-4.3. 4. PER ZONING LAW § 235-11.2(B), LOT AREA HAS BEEN REDUCED VIA LOT AREA REDUCTION TABLE ABOVE. WHERE AREAS TO BE REDUCED OVERLAP, THE GREATER OF THE REDUCTIONS HAS BEEN TAKEN. 4.1. UTILITY RIGHT OF WAY REDUCTION AREA REPRESENTS A 50% REDUCTION IN THE UTILITY CORRIDOR THAT IS OUTSIDE LAND
- UNDER WATER IN THE UTILITY CORRIDOR. 4.2. WETLANDS REDUCTION AREA REPRESENTS A 100% REDUCTION IN THE WETLAND AREA(S) SHOWN ON THE SITE.
- 4.3. SLOPES GREATER THAN 25% BUT LESS THAN 50% AND SLOPES GREATER THAN 50% ARE INCLUDED IN THE REDUCTION.

PARKING & LOADING CALCULATIONS:

§100-70-60 MINIMUM STALL SIZE (PARKING STALL): 9' X 20' (COMPLIES)

§100-70-70 MINIMUM STALL SIZE (TRUCK LOADING SPACE): 12' W X 25' L X 14' H (COMPLIES)

WAREHOUSE USE:

\$100-30 SUFFICIENT PARKING FOR ALL TRUCKS, TRUCK TRAILERS, AND TRUCK TRACTORS STORED OR BEING SERVICED AT ANY PERIOD OF TIME, PLUS REQUIRED PARKING FOR OFFICE AREAS, PLUS 2 SPACES PER 3 EMPLOYEES ON DUTY OR ON THE PREMISES AT ANY ONE TIME

- REQUIRED: \$100-40: 1 LOADING SPACE FOR EACH 40,000 SF IN ADDITION TO THE FIRST 40,000 SQUARE FEET LOT 1: 1 SPACE + (815,000 SF/40,000 SF) = 21 SPACES
- LOT 2: 1 SPACE + (238,280 SF/40,000 SF) = 6 SPACES PROVIDED:
- LOT 1: 140 LOADING SPACES (COMPLIES) LOT 2: 50 LOADING SPACES (COMPLIES)

LOT 1 HAS A TOTAL OF 246 TRAILER STORAGE SPACES (43 LAND BANKED) LOT 2 HAS A TOTAL OF 56 TRAILER STORAGE SPACES (56 LAND BANKED)

OFFICE USE:

REQUIRED: §100-30: 1 PARKING SPACE PER 200 SF OF FLOOR AREA

LOT 1: 8,000 SF / 200 SF = 40 SPACES LOT 2: 16,000 SF / 200 SF = 80 SPACES

NON-OFFICE SPACES:

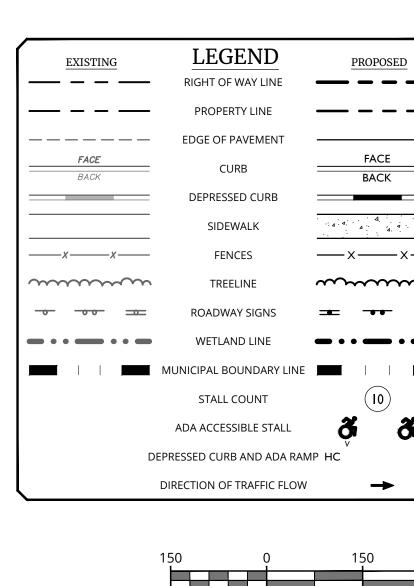
REQUIRED: 1 EMPLOYEE PER 4,100 GROSS FLOOR AREA** 2 SPACES PER 3 EMPLOYEES

- LOT 1: 278,270 SF 8,000 SF (OFFICE AREA) = 270,270 SF / 4,100 SF = APPROXIMATELY 66 EMPLOYEES 2 SPACES PER 3 EMPLOYEES:
- (2 X 66) / 3 = 44 PARKING SPACES
- LOT 1 TOTAL = 44 SPACES + 40 SPACES = 88 REQUIRED SPACES
- LOT 2: 850,000 SF 16,000 SF (OFFICE AREA) = 834,000 SF / 4,100 SF = APPROXIMATELY 204 EMPLOYEES 2 SPACES PER 3 EMPLOYEES (2 X 204) / 3 = 136 REQUIRED SPACES
- LOT 2 TOTAL = 136 SPACES + 80 SPACES = 216 REQUIRED SPACES
- PROVIDED: LOT 1: 210 STANDARD SPACES FOR WAREHOUSE USE
 - 80 STANDARD SPACES FOR OFFICE USE 10 ADA COMPLIANT SPACES 300 TOTAL SPACES (COMPLIE
 - LOT 2: 110 STANDARD SPACES FOR WAREHOUSE USE
 - 40 STANDARD SPACES FOR OFFICE USE 6 ADA COMPLIANT SPACES 156 TOTAL SPACES (COMPLIES)

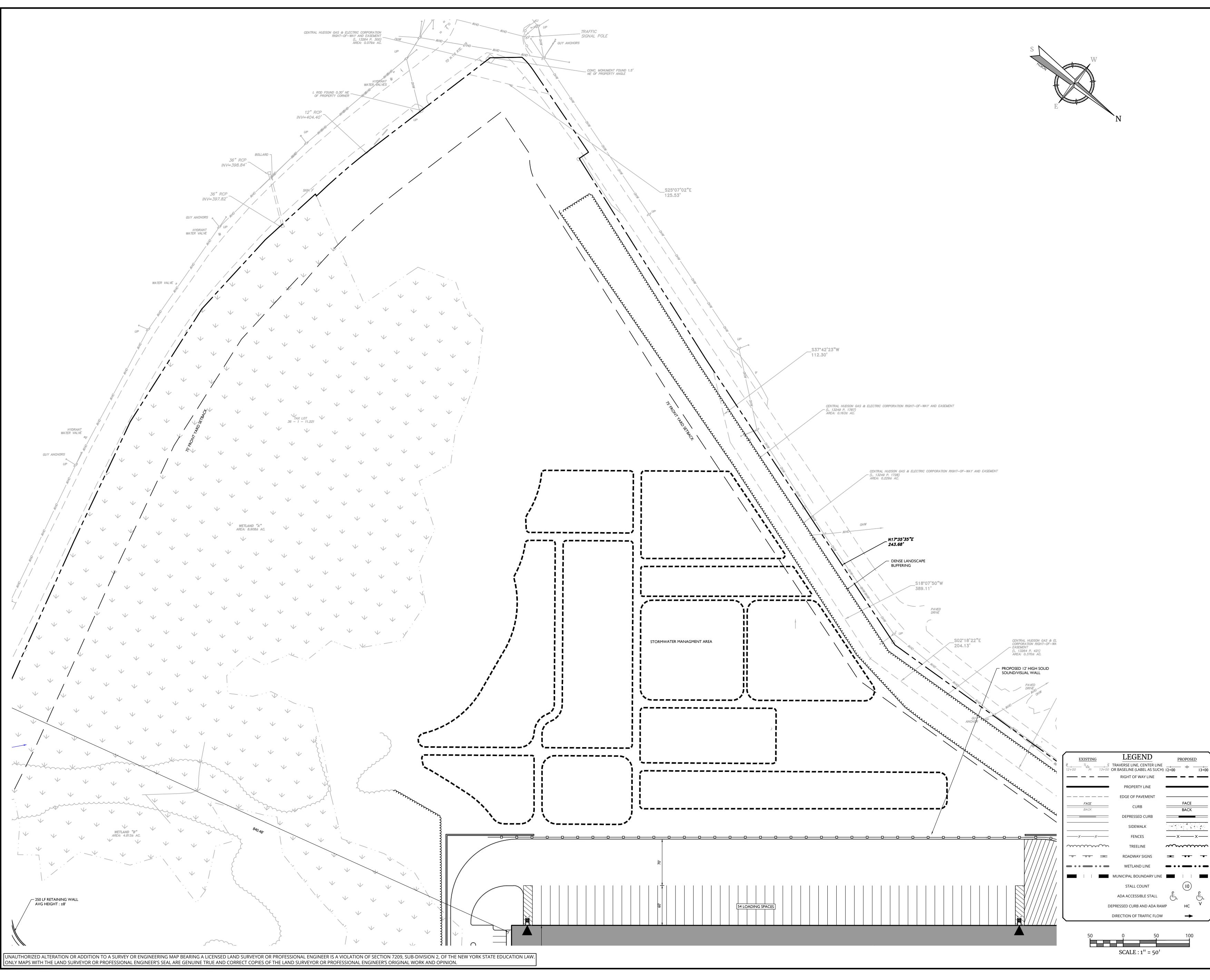
** NUMBER OF EMPLOYEES BASED ON ITE 4TH EDITION PARKING GENERATION FOR WAREHOUSE (LAND USE CODE 150 -WAREHOUSE)

WETLANDS DISTURBANCE:

APPROXIMATE AREA OF USACOE WETLAND DISTURBANCE = ± 10,112 SF (0.23 ACRES)

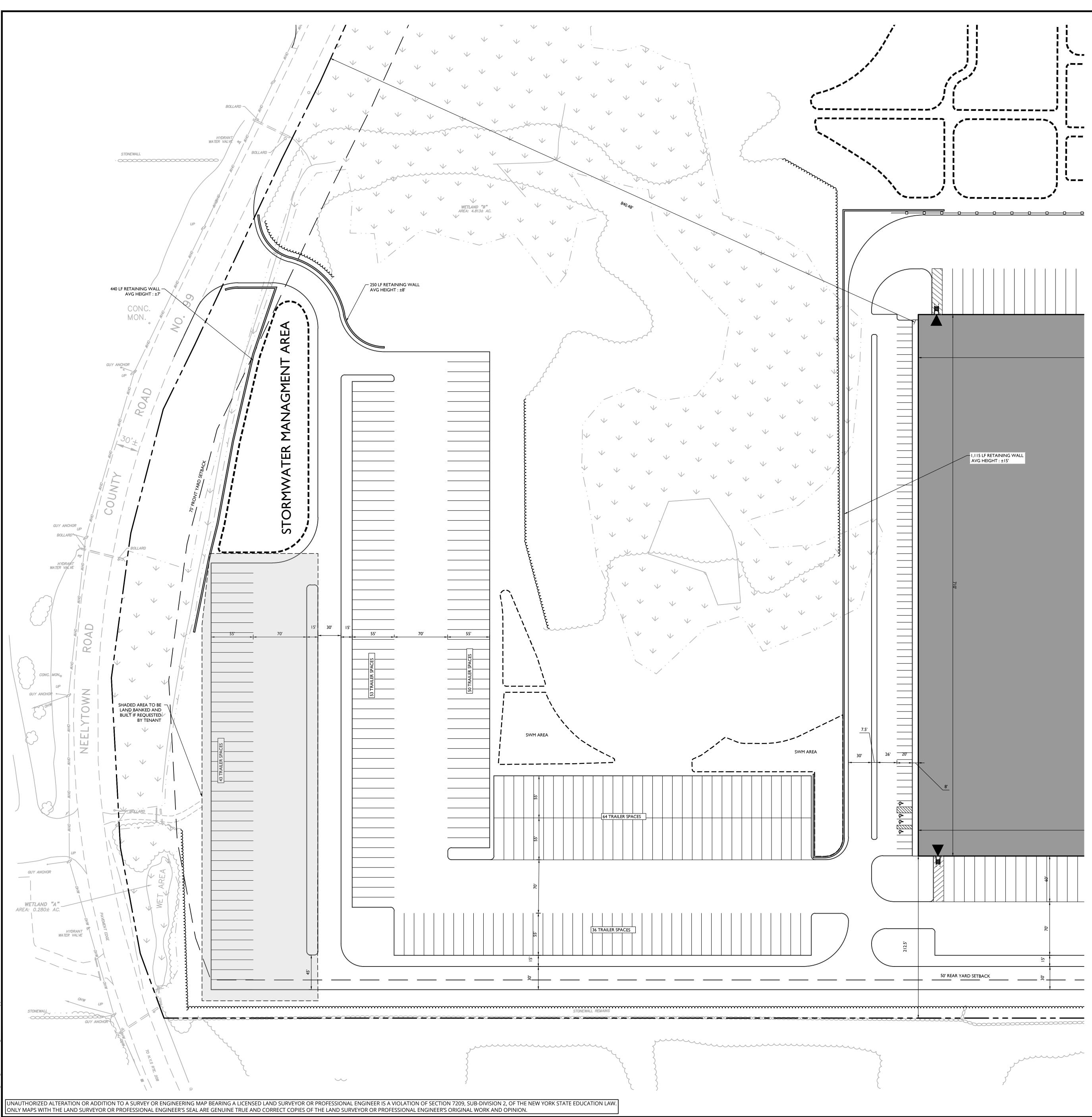


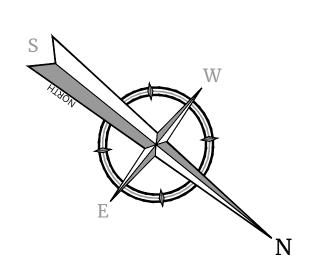
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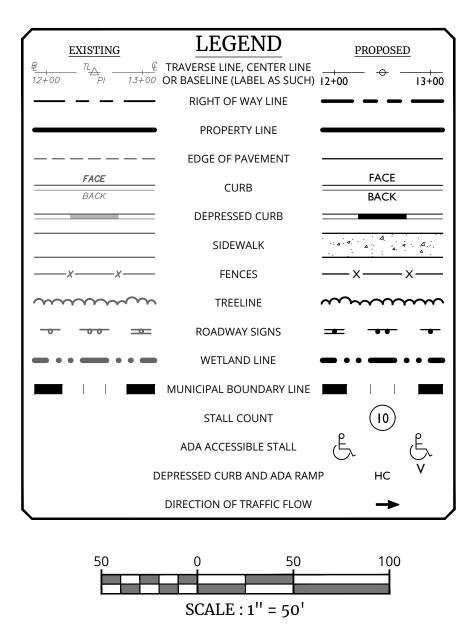


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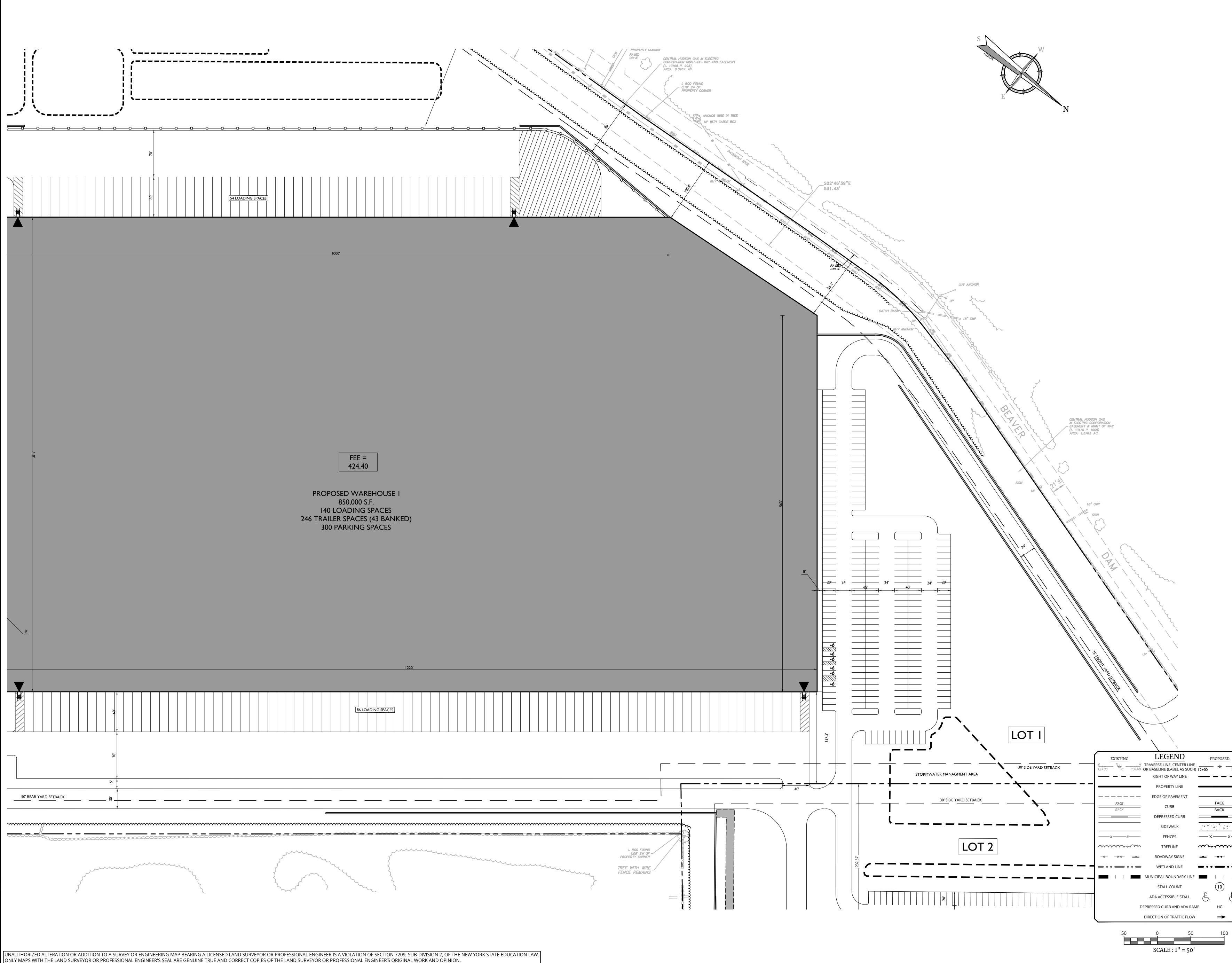
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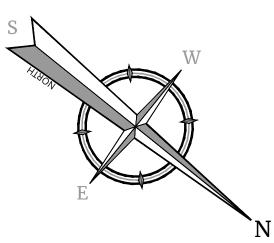






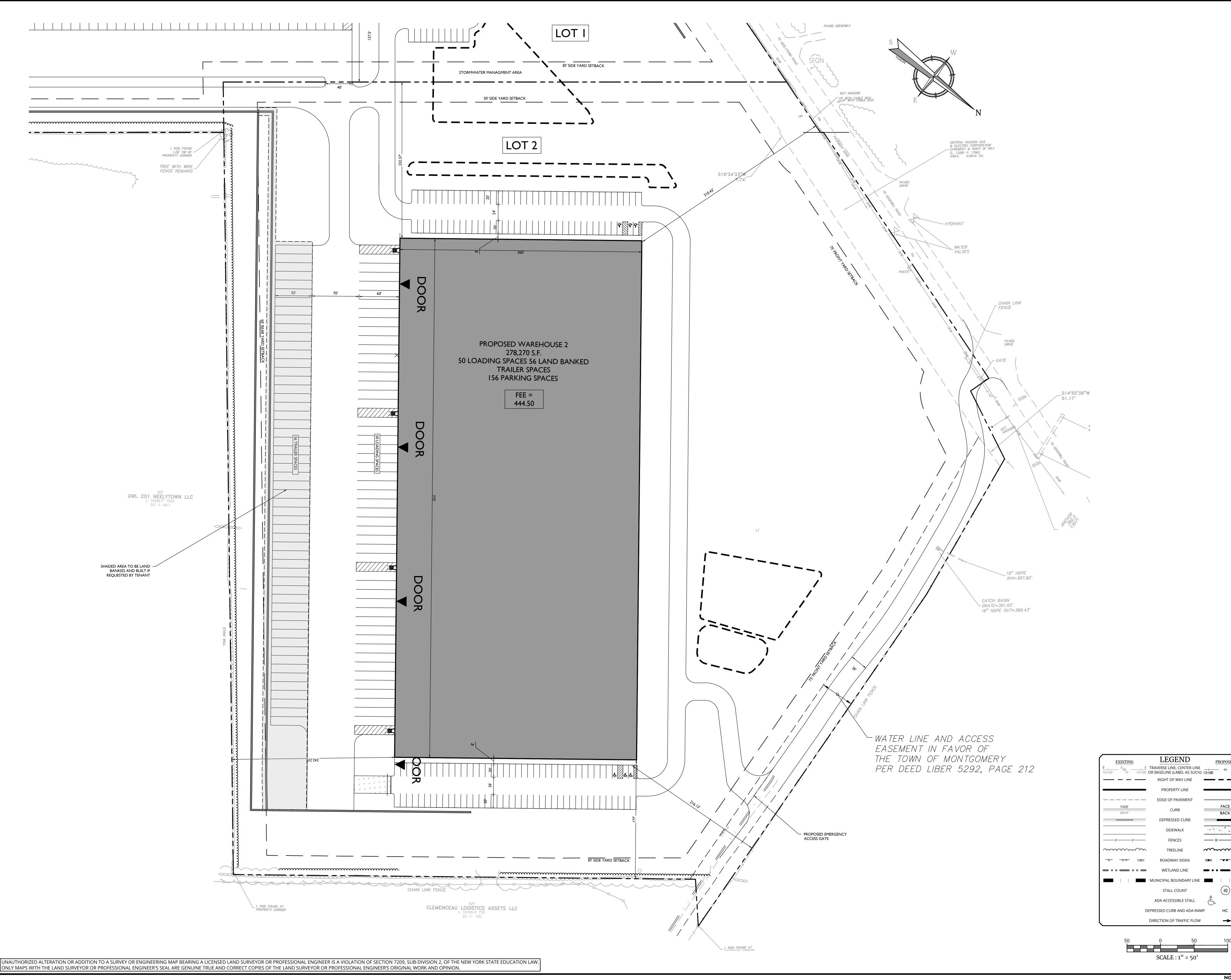
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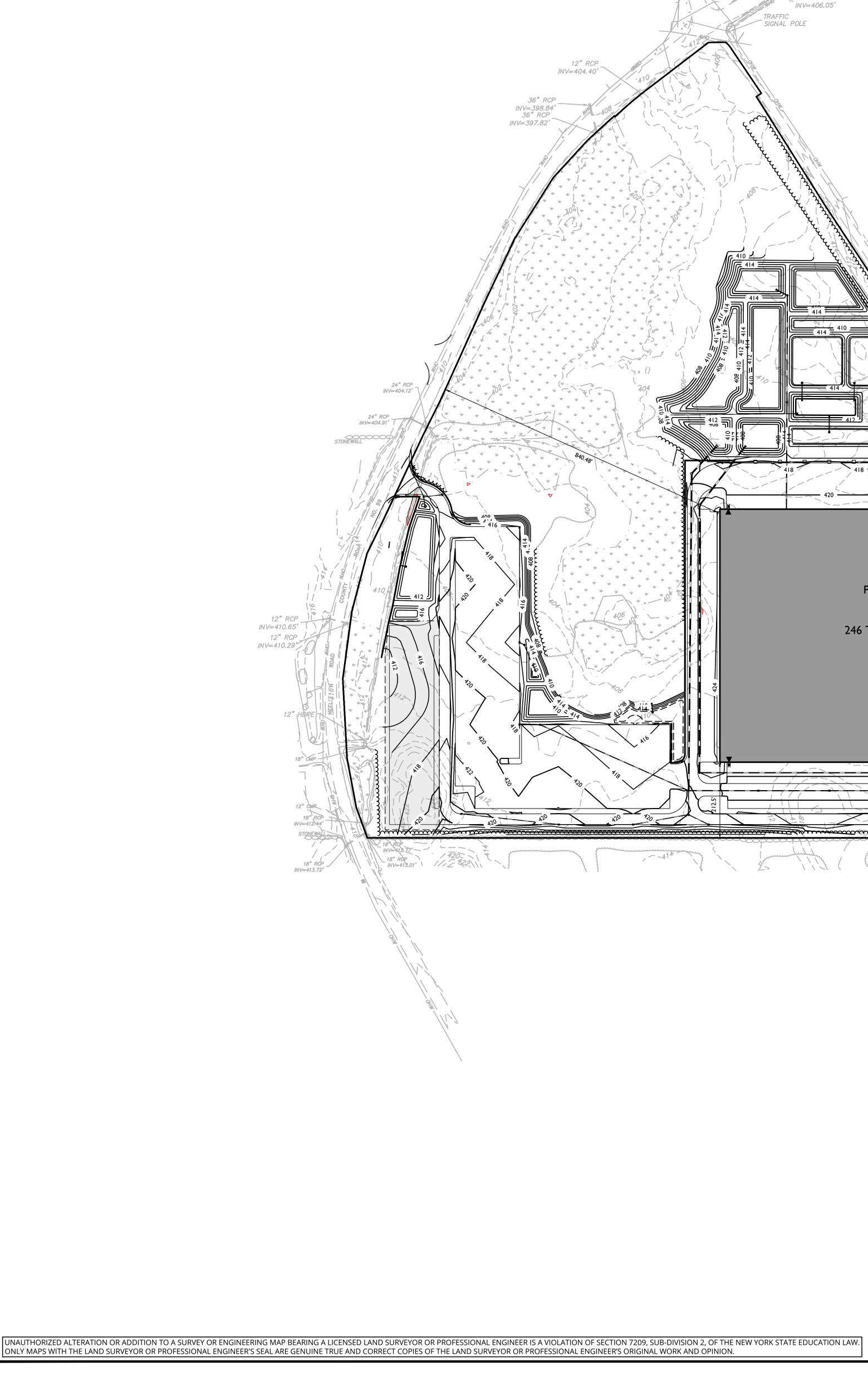


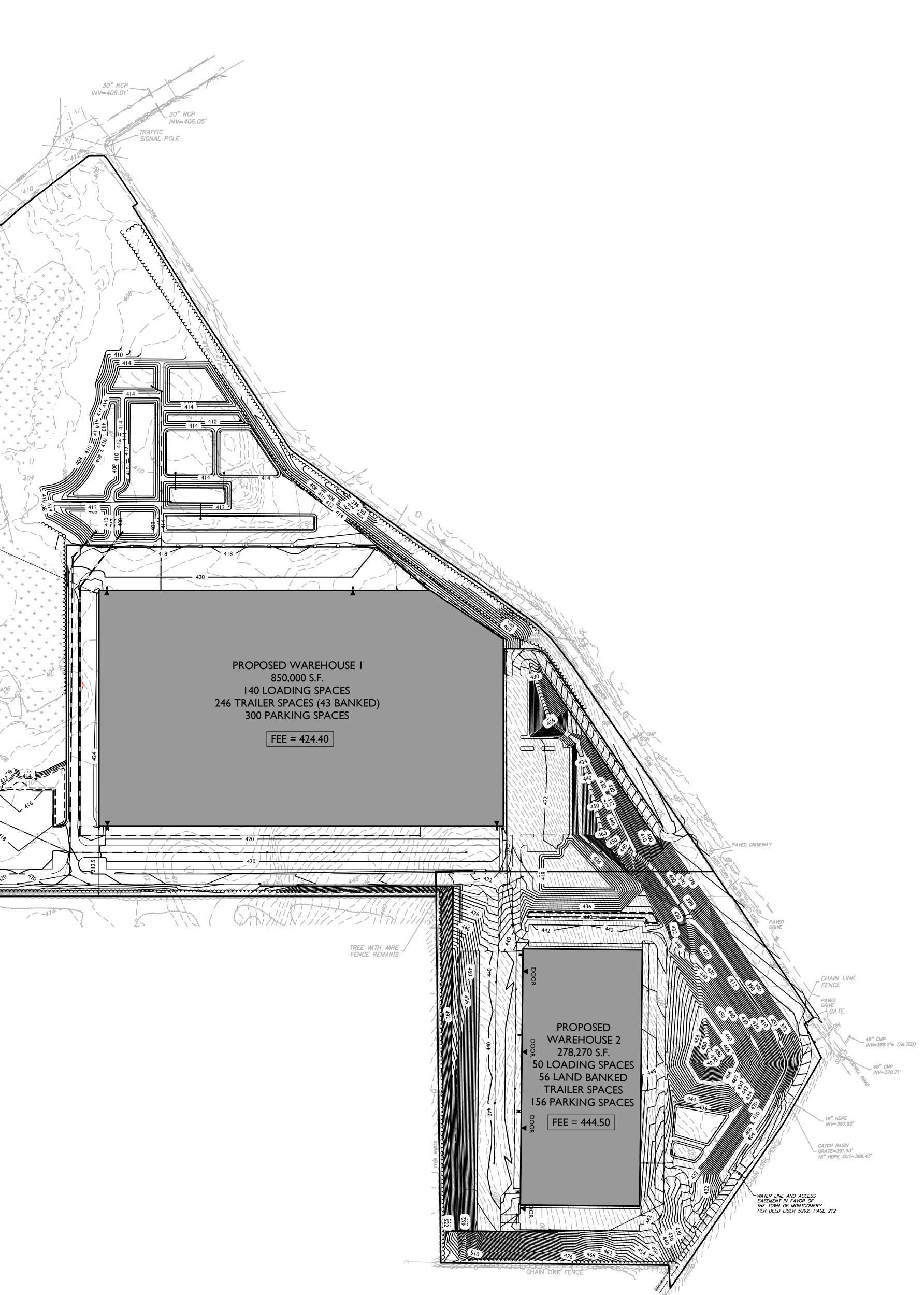
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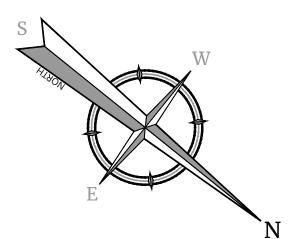
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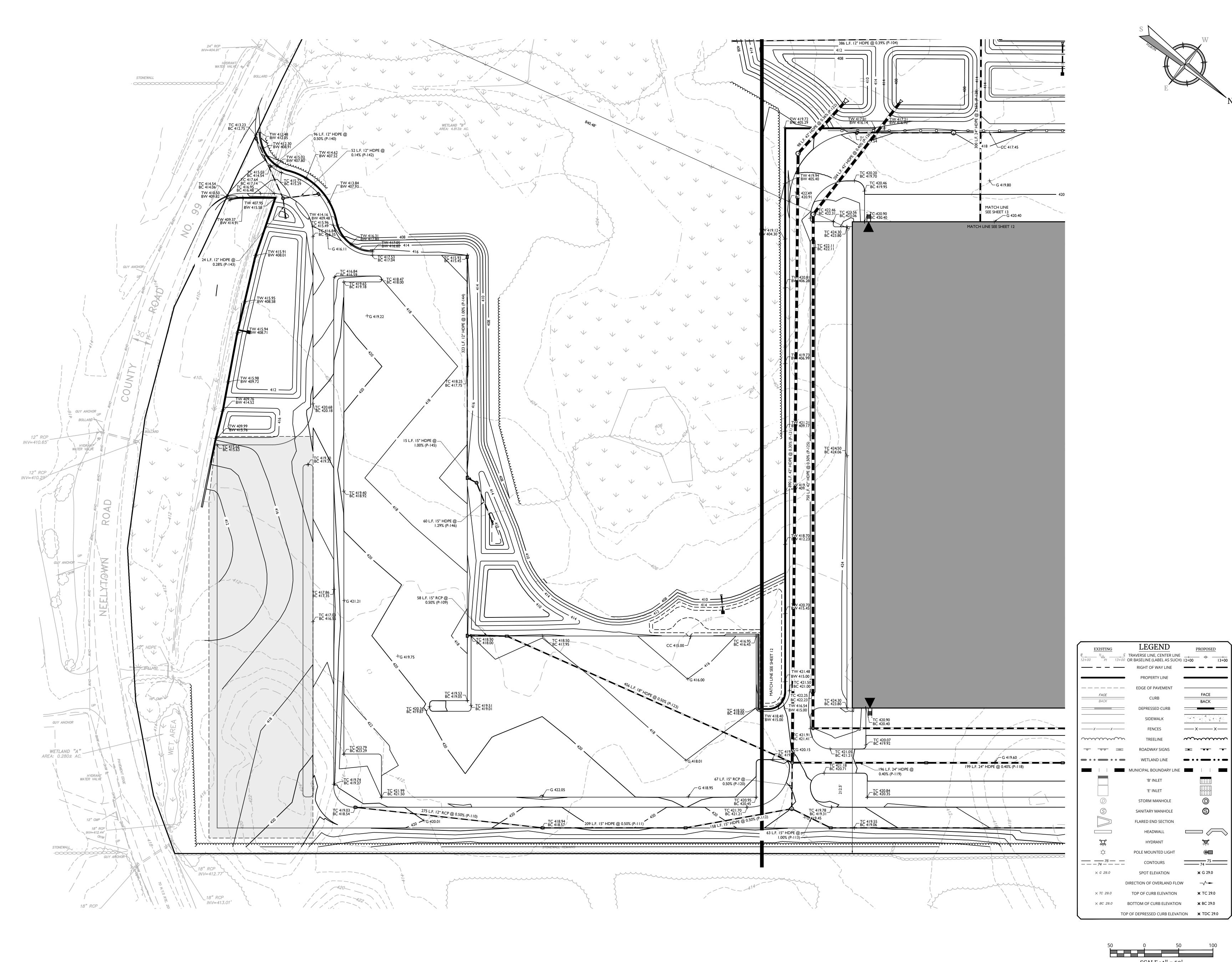


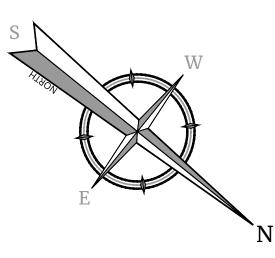


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× TC 29.0	TOP OF CURB ELEVATION	<b>X</b> TC 29.0
× BC 29.0	BOTTOM OF CURB ELEVATION	<b>×</b> BC 29.0
L T	OP OF DEPRESSED CURB ELEVATIO	ON <b>X</b> TDC 29.0

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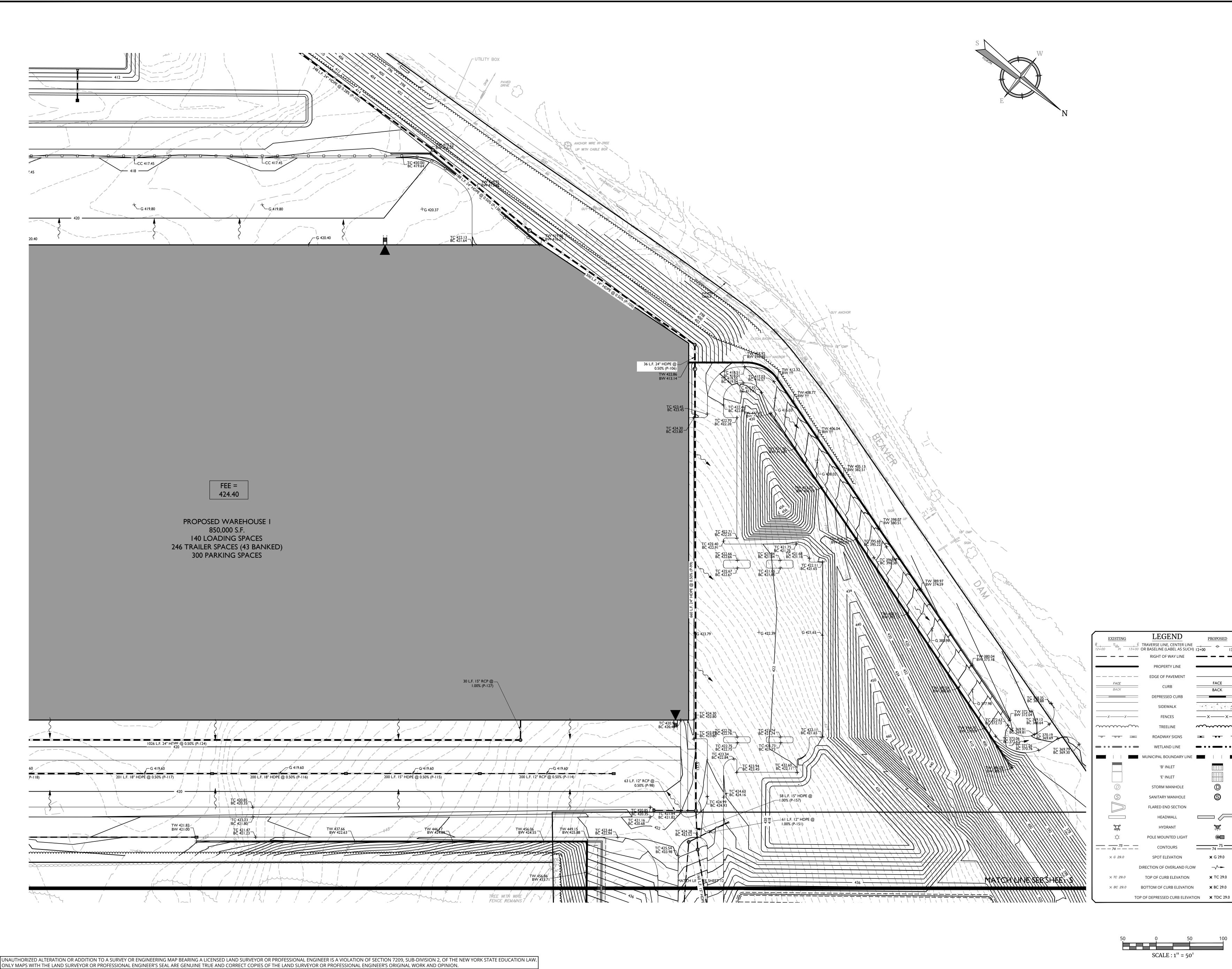
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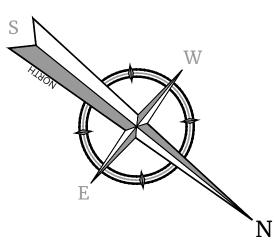




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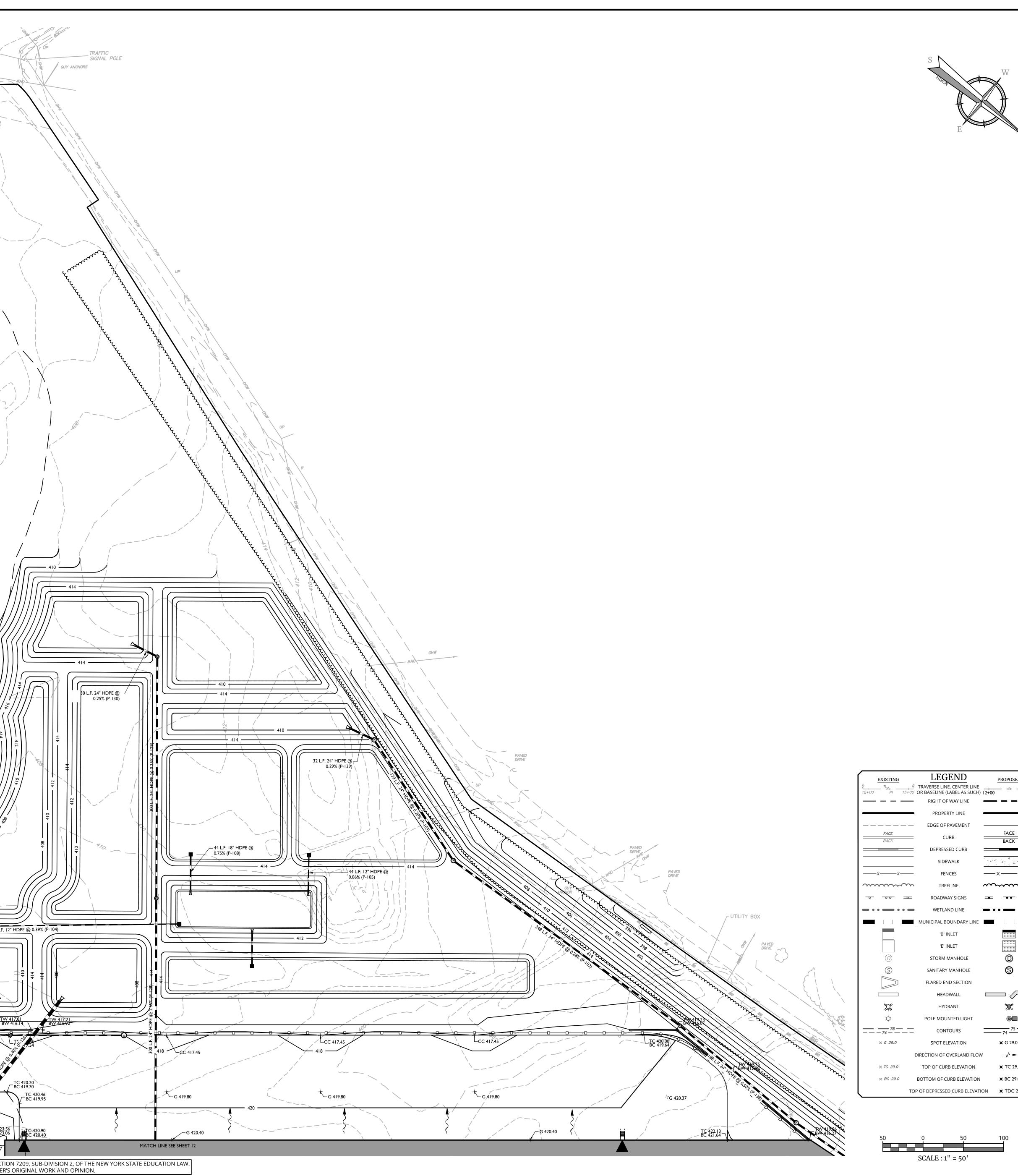
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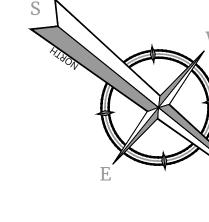
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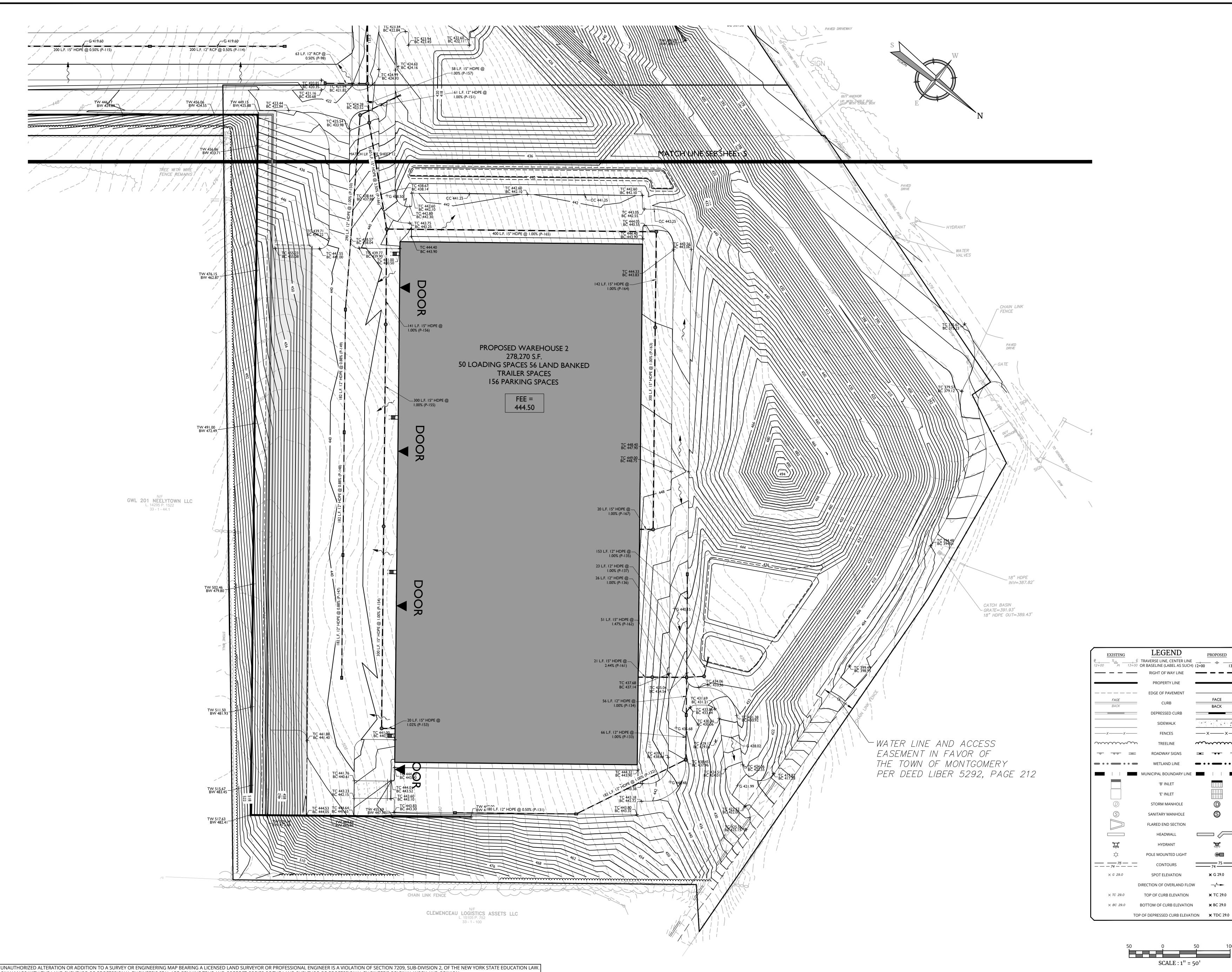
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12" RCP INV=404.40' BOLLARD 36" RCP INV=398.84' ~ 36" RCP INV=397.82' GUY ANCHORS HYDRANT WATER VALVE R VALVE WETLAND "A" AREA: 8.908± AC. 386 L.F. 12" HDPE @ 0.39% (P-104) ╺╼┽╋┾ ______ 412 ______ - 408 -^{840.48</sub>,}  $\mathbf{V}$ W 419.94 W 405.40 MATCH LINE SEE SHEET 9  $\checkmark$ TC 423. BC 423 UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.





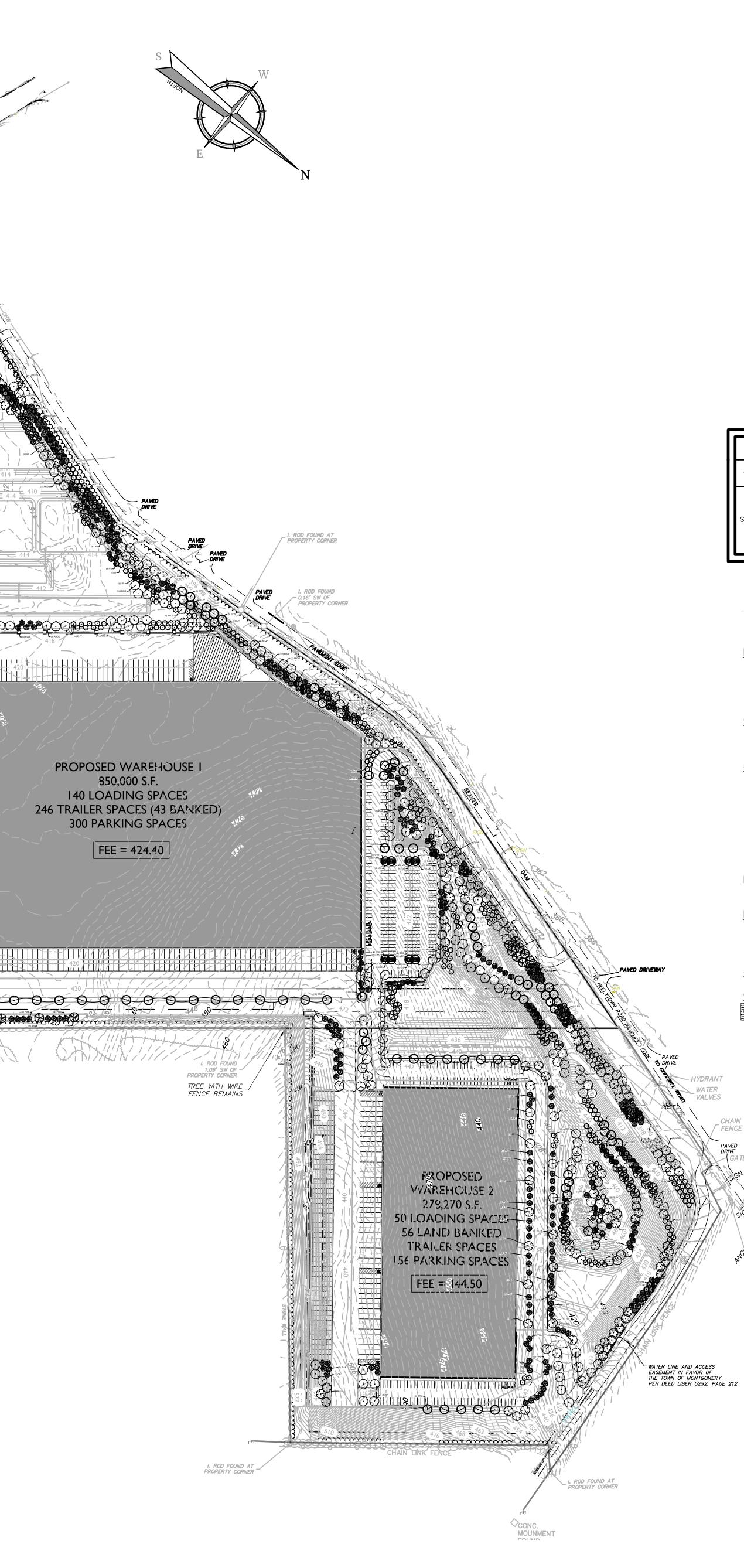
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- I. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATE AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE E
- 2. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREE
- 3. LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL
- 4. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD PC A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS W ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- 5. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE. 6. MINIMUM OF 30" OF PLANTING SOIL IN ALL PLANTING AREAS TO HELP ENSURE SUCCESSFUL ESTABLISHMENT OF NEW F
- TOWN OF MONTGOMERY LANDSCAPE NOTES
- PER §235-16.5.C(3)(d)[4]
- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUI 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR IN
- 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STAN SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- 4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSU
- 5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING V AND SPECIES OF THE AREA.
- 6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE C
- 7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQ RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.
- 8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KI PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCOF
- PER §235-16.5.C(3)(d)[5]
- I. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND F MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALU PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY C LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

# WETLAND MITIGATION PLANTING

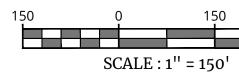
	SYM.	BOTANICAL NAME	COMMON NAME	COND.	SIZE	SPACING	QTY
TREES	RM	ACER RUBRUM	RED MAPLE	#5 Container	3'-4' HT	10'-0" O.C.	28
	SB	LINDERA BENZOIN	SPICEBUSH	BrTr	2'-3' HT	5'-0" O.C.	58
SHRUBS	PW	SALIX DISCOLOR	PUSSY WILLOW	BrTr	2'-3' HT	5'-0" O.C.	70
311(003	WB	ILEX VERTICILLATA	WINTERBERRY	BrTr	2'-3' HT	5'-0" O.C.	52
	HB	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	BrTr	3'-4' HT	5'-0" O.C.	36

## PLANT SCHEDULE (APPLIES TO ENTIRE PROJECT SITE, SHEETS 21-24)

	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONDITION	SIZE	HEIG
EVERGRE	EN TREE	S				
	JV	259	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B		8` - 10
	PIAB	230	PICEA ABIES / NORWAY SPRUCE	B & B		8` - 10
	PGL	119	PICEA GLAUCA / WHITE SPRUCE	B & B		8` - 10
	PS	292	PINUS STROBUS / WHITE PINE	B & B		8` - 10
ORNAMEN	ITAL TRE	ES				
	BN	33	BETULA NIGRA / MULTI-STEM RIVER BIRCH	B & B	MULTISTEM	12` - 1
	CCFP	25	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	B & B	MULTISTEM	8` - 10
SHADE TF	REES					
	AROG	94	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	B & B	2 1/2" - 3" CAL.	12` - 1
	GTIS	112	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	B & B	2 1/2" - 3" CAL.	12` - 1
	LT	74	LIRIODENDRON TULIPIFERA / TULIP POPLAR	B & B	2 1/2" - 3" CAL.	12` - 1
	NS	46	NYSSA SYLVATICA / TUPELO	B & B	2 1/2" - 3" CAL.	12` - 1
	PLO	52	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	B & B	2 1/2 - 3" CAL.	12` - 1
	QP	140	QUERCUS PALUSTRIS / PIN OAK	B & B	2 1/2 - 3" CAL.	12` - 1
	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT.	SIZE	CON
DECIDUO	JS SHRU	BS				
	CS	10	CORNUS SERICEA / RED OSIER DOGWOOD	B & B		24" - 3
EVERGRE	EN SHRU	JBS				
	IG	22	ILEX GLABRA / INKBERRY HOLLY	#5 CAN		24" - 3
	IGS	24	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY	#5 CAN		24" - 3
	JCSG	28	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	B & B	24-30" SPREAD	
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPAC
GROUND	COVERS					
dadaa	VM	160	VINCA MINOR / COMMON PERIWINKLE	2 YR. PLANT	2 1/4" PEAT POTS	



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of the use. Quired to be main	NTAINED FOR THE LIFE	of the use and shall be	REPLACED AND/OR						T	Ī			
d not more thai Kind Replacemen' Drdingly.	N SIX MONTHS AND T T IS DEEMED TO BE IMP	HIS REQUIREMENT SHALL B RACTICABLE, THE USER SH/	E A CONDITION OF ALL RETURN TO THE										
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COND.	SIZE	SPACING	QTY										
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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



### I. SEE SHEET 20 FOR PLANT SCHEDULE.

- 2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINE
- 3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES
- 4. LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSIO
- 5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LII A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- 6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

# TOWN OF MONTGOMERY LANDSCAPE NOTES

### PER §235-16.5.C(3)(d)[4]

- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINE
- 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY. 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- 4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COM
- 5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BL AND SPECIES OF THE AREA.
- 6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE L
- 7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED T RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS.

- DENSE LANDSCAPE BUFFERING

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8. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT M ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REP PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCORDINGLY

### PER §235-16.5.C(3)(d)[5]

I. THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING T PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAIN LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.

	COMPLIANCE TABLE FOR LANDSCA (APPLIES TO ENTIRE PROJECT SITE, SHEET		
SECTION	REQUIREMENT	PROVIDED	COMPL
§235-16.5.C(3)(d) REQUIRED SITE PLAN PROCEDURE AND STANDARDS	NATIVE PLANT SPECIES ARE PREFERRED AND SHALL BE REQUIRED EXCEPT WHERE SPECIFIC WAIVER IS GRANTED BY THE PLANNING BOARD FOR SITE-SPECIFIC HABITAT OR OTHER REASONS.	NATIVE PLANTS SPECIES ARE PROPOSED	YES
§235-16.5.C(3)(d)[1] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	AT LEAST ONE TREE FOR EVERY 50 FEET OF SITE PERIMETER AND ONE SHRUB OR LOW PLANTING SPECIES FOR EVERY 20 FEET OF SITE PERIMETER SHALL BE PROVIDED. THE PLANNING BOARD MAY WAIVE ALL OR PART OF THE PERIMETER LANDSCAPING REQUIREMENT WHERE IT DEEMS THAT THE	NORTH/NORTHWEST PROPERTY LINES (LOTS 2 & 3): 4,401 LF 88 REQUIRED TREES, 220 REQUIRED SHRUBS 497 PROPOSED TREES	YES*
STANDARDS	EXISTING SITE CONDITIONS AND/OR RETAINED SITE VEGETATION OBVIATES THE NEED FOR NEW PERIMETER LANDSCAPING.	ITTE, SHEETS 21-24)         PROVIDED       COMPLI         IC WAIVER IS       NATIVE PLANTS SPECIES ARE PROPOSED       YES         ANTING RD MAY THAT THE FOR NEW       NORTH/NORTHWEST PROPERTY LINES (LOTS 2 & 3): 4.401 LF 88 REQUIRED TREES, 220 REQUIRED SHRUBS       YES*         SOUTHWEST/SOUTHEAST PROPERTY LINE (LOTS 1 & 3): 2.624 LF 53 REQUIRED TREES, 132 REQUIRED SHRUBS       YES*         SOUTHWEST/SOUTHEAST PROPERTY LINE (LOTS 1 & 3): 2.624 LF 53 REQUIRED TREES, 132 REQUIRED SHRUBS       YES*         NORTHEAST PROPERTY LINE (LOTS 1 & 3): 2.624 LF 53 REQUIRED TREES, 132 REQUIRED SHRUBS       YES*         SOUTHWEST/SOUTHEAST PROPERTY LINES (LOTS 1 & 2): 3.870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS       YES*         NORTHEAST PROPERTY LINES (LOTS 1 & 2): 3.870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS       YES*         SOUTHWEST PROPERTY LINES (LOTS 1 & 2): 3.870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS       YES*         TOTAL PARKING AREA: 670,557 SF 78 REQUIRED BUILDING LANDSCAPIC ST       YES         ITTAL LANDSCAPE PARKING AREA: 161,796 SF 189,973 SF / 642,290 SF = 24.12%       NO (M REQUIRED BUILDING LANDSCAPING: 21,400 SF PROPOSED BUILDING LANDSCAPING: 17,982 SF       NO (M REQUIRED BUILDING LANDSCAPING: 21,400 SF REQUIRED BUILDING LANDSCAPING: 48,404 SF       NO (M REQUIRED BUILDING LANDSCAPING: 48,4040 SF       YES       YES	
		78 REQUIRED TREES, 194 REQUIRED SHRUBS	YES*
§235-16.5.C(3)(d)[2] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	PARKING AREAS SHALL BE LANDSCAPED, AND IN ADDITION TO THE PERIMETER LANDSCAPE REQUIREMENTS AT LEAST 10% OF THE INSIDE AREA OF PARKING LOTS WITH MORE THAN 50 SPACES SHALL BE LANDSCAPED WITH TREES, LAWN AND LOW PLANTING SPECIES. PARKING LOT LANDSCAPING SHALL BE DISTRIBUTED WITHIN THE PARKING LOT SO AS TO AVOID LARGE UNBROKEN AREAS OF PAVEMENT.	TOTAL LANDSCAPE PARKING AREA: 161,796 SF	YES
§235-16.5.C(3)(d)[3] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ADDITIONAL LANDSCAPING SHALL BE PROVIDED ADJACENT TO THE STRUCTURE, FOR SITE PLANS INVOLVING STRUCTURAL USES, WITH AT LEAST 10% OF THE GROUND FLOOR AREA OF THE BUILDING BEING ESTABLISHED IN TREES AND SHRUBS. FOR ANY BUILDING FOOTPRINT IN EXCESS OF 50,000 SQUARE FEET, THE PLANNING BOARD SHALL ADJUST THE LOCATION OF LANDSCAPING NEEDED ON THE SITE.	REQUIRED BUILDING LANDSCAPING: 21,400 SF PROPOSED BUILDING LANDSCAPING: 17,982 SF GROSS FLOOR AREA OF WAREHOUSE ON LOT 2: 664,200 SF	, ,
		PROPOSED BUILDING LANDSCAPING: 48,040 SF	
		REQUIRED BUILDING LANDSCAPING: 25,007 SF	YES
§235-16.5.C(3)(d)[4] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.	ALL TREES ARE 2-1/2" CALIPER MINIMUM	YES
§235-16.5.C(3)(d)[5] REQUIRED SITE PLAN PROCEDURE AND STANDARDS	ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. INSTEAD, LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.	SOUTHWEST AND WESTERN SIDES OF THE PROPOERTY FOR	YES

§235-16.5.C(3)(d)[6] REQUIRED SITE PLAN PROCEDURE AND PROCEDURE AND STANDARDS * EXISTING SITE CONDITIONS INCLUDE A LOT OF EXISTING VEGETATION THAT WILL REMAIN AFTER CONSTRUCTION, REDUCIN

- PROPOSED 12' HIGH SOLID SOUND/VISUAL WALL

THE AMOUNT OF PROPOSED TREES WILL PROVIDE A BUFFER TO NEIGHBORING PROPERTIES, ADDITIONAL SHRUBS ARE NOT NE V) = WAIVER REQUIRED

S SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLA EER. ES OCCUR. ON & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL	<b>Colliers</b> Engineering & Design									
A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED	30" ABOVE THE	Copyright © 2024. Colliers and all the information cont whom the services were cor be copied, reused, disclose	tained herein is authorized ntracted or to whom it is cei	ghts Reserved. This drawing for use only by the party for tified. This drawing may not pon for any other purpose						
ES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION DS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AN MPLETION OF THE LANDSCAPING ON-SITE. LEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGEN	ND PROTECTION	Doing Busines	PROTECT ALL STATES REQUI EXCAVATORS, DESIG PREPARING TO D	YOURSELF RE NOTIFICATION OF INERS, OR ANY PERSON ISTURB THE EARTH'S HERE IN ANY STATE						
USE. TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REI MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A EPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL LY.	CONDITION OF		CIFIC DIRECT PH							
TE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING I G THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MA AINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUC	TERIAL SHALL BE									
PE REQUIREMENT										
PROVIDED         NATIVE PLANTS SPECIES ARE PROPOSED         NORTH/NORTHWEST PROPERTY LINES (LOTS 2 & 3): 4,401 LF         88 REQUIRED TREES, 220 REQUIRED SHRUBS         IND CONCEPT FROM	YES YES*	DESCRIPTION								
497 PROPOSED TREES SOUTHWEST/SOUTHEAST PROPERTY LINE (LOTS I & 3): 2,624 LF 53 REQUIRED TREES, 132 REQUIRED SHRUBS 66 PROPOSED TREES, 76 PROPOSED SHRUBS NORTHEAST PROPERTY LINES (LOTS I & 2): 3,870 LF 78 REQUIRED TREES, 194 REQUIRED SHRUBS 97 PROPOSED TREES	YES** YES**	DATE DRAWN BY DES								
TOTAL PARKING AREA: 670,557 SF TOTAL LANDSCAPE PARKING AREA: 161,796 SF 189,973 SF / 642,290 SF = 24.12% GROSS FLOOR AREA OF WAREHOUSE ON LOT 1: 214,000 SF REQUIRED BUILDING LANDSCAPING: 21,400 SF	YES NO (W)	REV DA								
GROSS FLOOR AREA OF WAREHOUSE ON LOT 2: 664,200 SF REQUIRED BUILDING LANDSCAPING: 66,420 SF PROPOSED BUILDING LANDSCAPING: 66,420 SF PROPOSED BUILDING LANDSCAPING: 48,040 SF GROSS FLOOR AREA OF WAREHOUSE ON LOT 3: 250,070 SF REQUIRED BUILDING LANDSCAPING: 25,007 SF PROPOSED BUILDING LANDSCAPING: 47,703 SF ALL TREES ARE 2-1/2" CALIPER MINIMUM	NO (W) YES YES									
ADDITIONAL PLANTINGS HAVE BEEN INSTALLED AT THE SOUTHWEST AND WESTERN SIDES OF THE PROPOERTY FOR SCREENING PURPOSES ALL PROPOSED PLANTINGS WILL BE MAINTAINED TO ENSURE THEIR MATURE HEIGHT DOES NOT CONFLICT WITH OVERHEAD WIRING	YES									
IG THE AMOUNT OR NEED FOR NEW VEGETATION. EEDED IN ORDER TO MAINTAIN THE BUFFER		TE DRAWN BY DESCRIPTION		<u> </u>						
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SEE SOIL EROSION & SEDIMENT CONTROL PLA FOR GENERAL SEEDING NOTES	AN	ORA	<u> </u>	NTY K						
SEE CONSTRUCTION DETAILS FOR GENERAL PLANTING NOT AND LANDSCAPE DETAILS	ES	Colliers Engineering & Design	Su Woodcliff Phone: Colliers en Architecture, J Surveying CT, P.C. Consulting engin	e Boulevard uite 101 Lake, NJ 07677 845.352.0411 GINEERING & DESIGN, MOSCAPE ARCHITECTURE, DOING BUSINESS AS MASER LEERING & LAND SURVEYING USA						
THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ON	LY.	AS SHOWN 6/ PROJECT NUMBER: 21000327A SHEET TITLE:	21/24 JG DRAWING NAME: C-LAND	JBC						
50 0 50 SCALE : 1'' = 50'	100	LANDSCA SHEET NUMBER: 21	APE PLAN	- SOUTH 42						



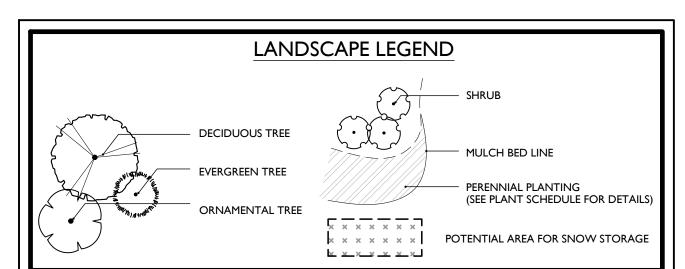
I. SEE SHEET 20 FOR PLANT SCHEDULE.

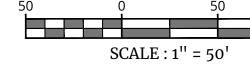
- 2. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOV AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S LANDSCAPE ENGINEER.
- 3. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- 4. LAWN AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- 5. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, UTILITY POLES, OVERHEAD POWER LINES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BR A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" AE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.
- 6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

# TOWN OF MONTGOMERY LANDSCAPE NOTES

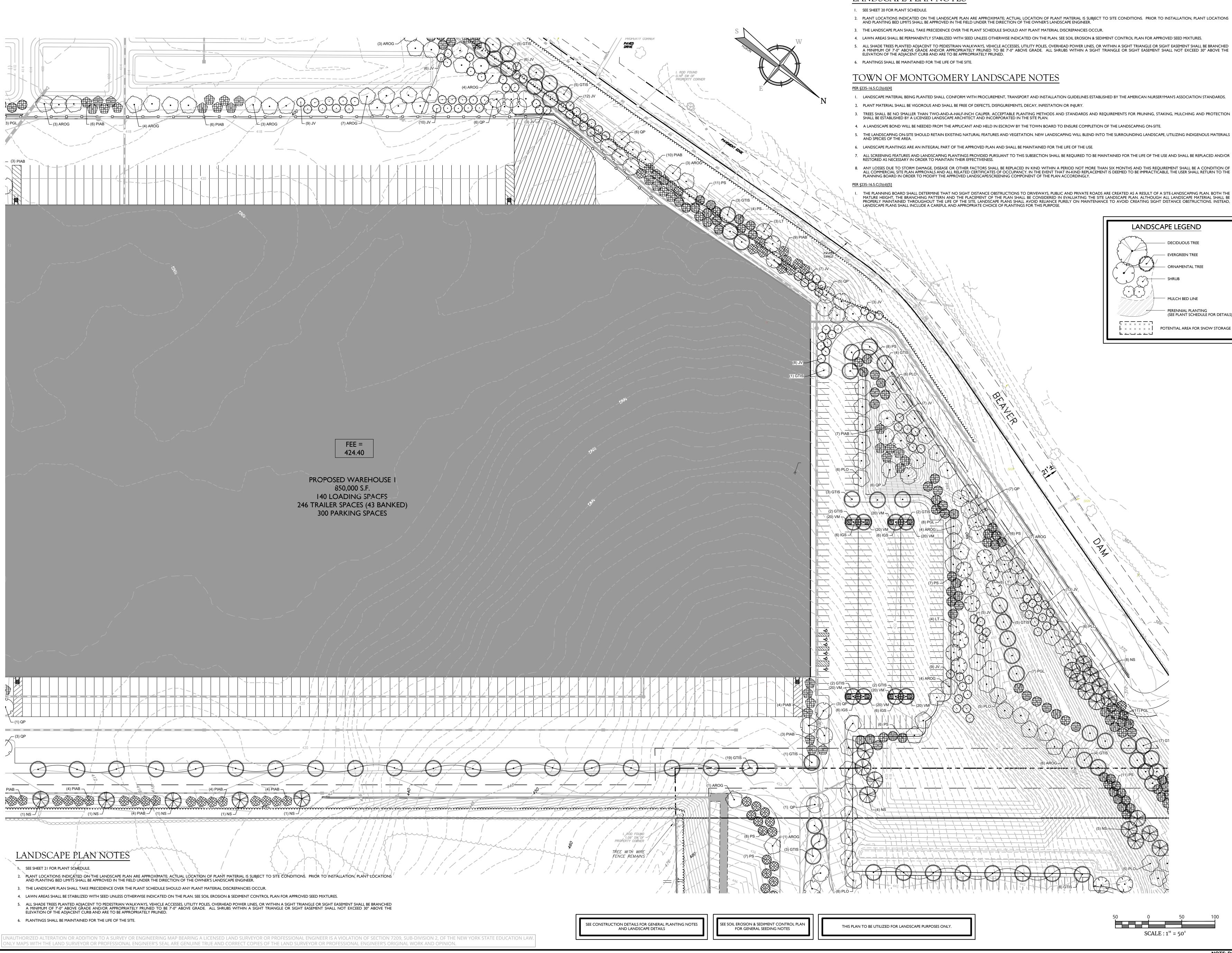
PER §235-16.5.C(3)(d)[4]

- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STAN 2. PLANT MATERIAL SHALL BE VIGOROUS AND SHALL BE FREE OF DEFECTS, DISFIGUREMENTS, DECAY, INFESTATION OR INJURY.
- 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PRO SHALL BE ESTABLISHED BY A LICENSED LANDSCAPE ARCHITECT AND INCORPORATED IN THE SITE PLAN.
- 4. A LANDSCAPE BOND WILL BE NEEDED FROM THE APPLICANT AND HELD IN ESCROW BY THE TOWN BOARD TO ENSURE COMPLETION OF THE LANDSCAPING ON-SITE.
- 5. THE LANDSCAPING ON-SITE SHOULD RETAIN EXISTING NATURAL FEATURES AND VEGETATION. NEW LANDSCAPING WILL BLEND INTO THE SURROUNDING LANDSCAPE, UTILIZING INDIGENOUS M AND SPECIES OF THE AREA. 6. LANDSCAPE PLANTINGS ARE AN INTEGRAL PART OF THE APPROVED PLAN AND SHALL BE MAINTAINED FOR THE LIFE OF THE USE.
- 7. ALL SCREENING FEATURES AND LANDSCAPING PLANTINGS PROVIDED PURSUANT TO THIS SUBSECTION SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED
- RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A COND ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETUR PLANNING BOARD IN ORDER TO MODIFY THE APPROVED LANDSCAPE/SCREENING COMPONENT OF THE PLAN ACCORDINGLY.
- PER §235-16.5.C(3)(d)[5]
- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. B MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS. LANDSCAPE PLANS SHALL INCLUDE A CAREFUL AND APPROPRIATE CHOICE OF PLANTINGS FOR THIS PURPOSE.





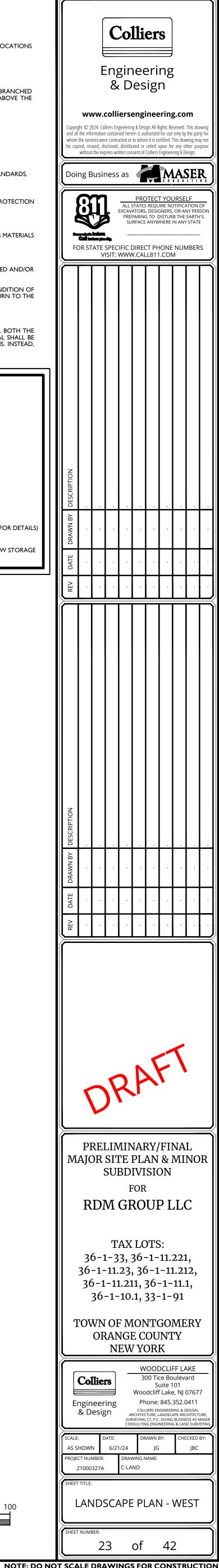
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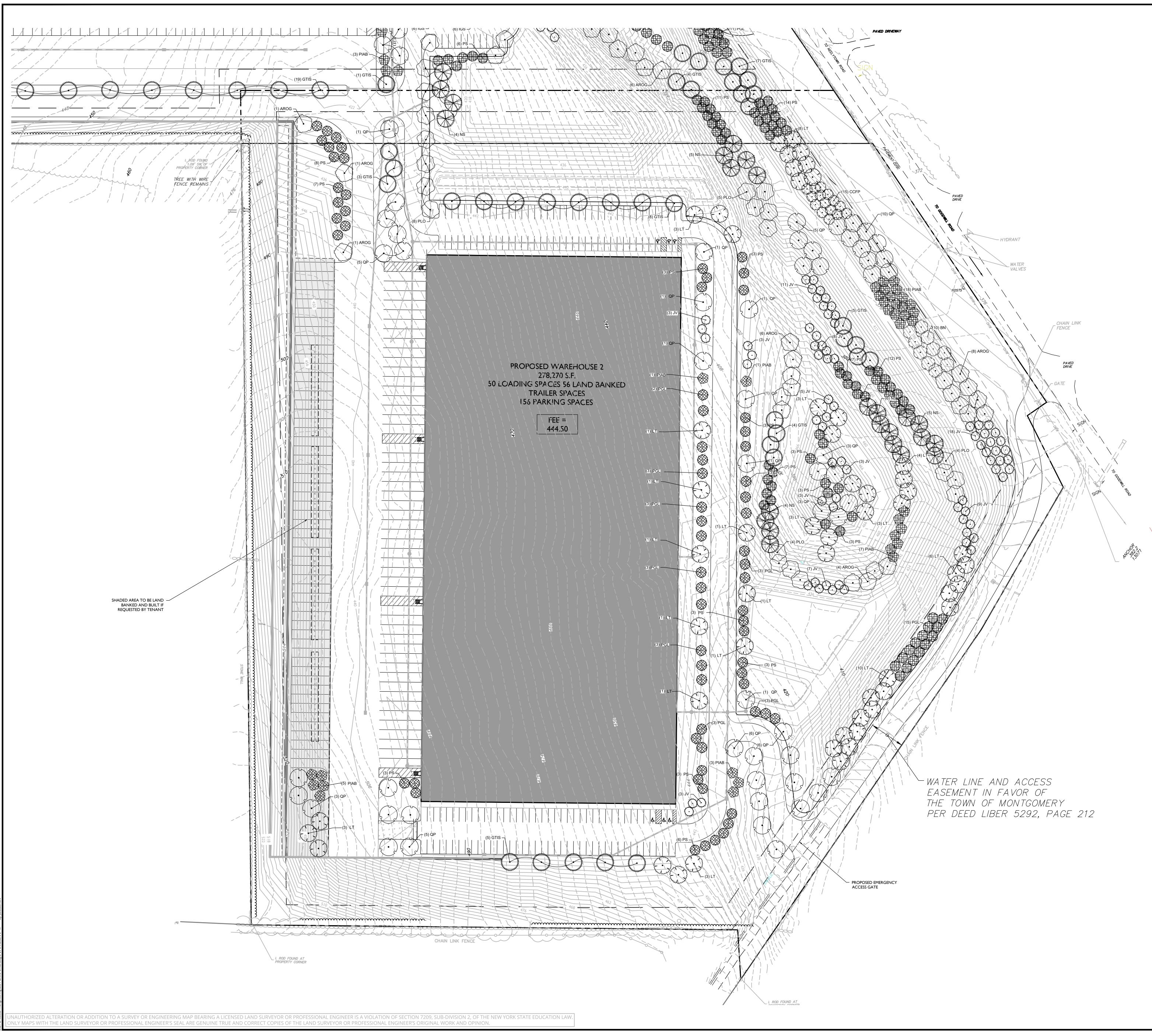
- A MINIMUM OF 7'-0" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

- I. LANDSCAPE MATERIAL BEING PLANTED SHALL CONFORM WITH PROCUREMENT, TRANSPORT AND INSTALLATION GUIDELINES ESTABLISHED BY THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- 3. TREES SHALL BE NO SMALLER THAN TWO-AND-A-HALF-INCH CALIPER. ACCEPTABLE PLANTING METHODS AND STANDARDS AND REQUIREMENTS FOR PRUNING, STAKING, MULCHING AND PROTECTION

- ANY LOSSES DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE A CONDITION OF ALL COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY. IN THE EVENT THAT IN-KIND REPLACEMENT IS DEEMED TO BE IMPRACTICABLE, THE USER SHALL RETURN TO THE
- THE PLANNING BOARD SHALL DETERMINE THAT NO SIGHT DISTANCE OBSTRUCTIONS TO DRIVEWAYS, PUBLIC AND PRIVATE ROADS ARE CREATED AS A RESULT OF A SITE-LANDSCAPING PLAN. BOTH THE MATURE HEIGHT, THE BRANCHING PATTERN AND THE PLACEMENT OF THE PLAN SHALL BE CONSIDERED IN EVALUATING THE SITE LANDSCAPE PLAN. ALTHOUGH ALL LANDSCAPE MATERIAL SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF THE SITE, LANDSCAPE PLANS SHALL AVOID RELIANCE PURELY ON MAINTENANCE TO AVOID CREATING SIGHT DISTANCE OBSTRUCTIONS, INSTEAD,



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



- 6. PLANTINGS SHALL BE MAINTAINED FOR THE LIFE OF THE SITE.

# LANDSCAPE NOTES

- PER §235-16.5.C(3)(d)[4]

- LANDSCAPING ON-SITE.

# PER §235-16.5.C(3)(d)[5]

