



CDA INSPECTION SERVICES

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RESIDENTIAL REPORT

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NOVEMBER 2, 2024



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SUMMARY

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1: INSPECTION DETAILS

Information

General: Building Style

Single-Family

General: In Attendance

Home Owner, Listing Agent

General: Occupancy

Furnished, Occupied

**General: Temperature
(approximate)**

60 Fahrenheit (F)

General: Weather Conditions

Clear

General: General Information

Congratulations on purchasing your new home and thank you for choosing **CDA Inspection Services, LLC** to perform your home inspection.

Purchasing a home can be a stressful process. A home inspection is supposed to give you peace of mind, but can sometimes have the opposite effect. You will be asked to absorb a lot of information in a short period of time. This often includes a written report, photographs, and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do? Relax, don't stress.

Most of your inspection will be maintenance items, major items, safety concerns, system or component life expectancy and minor imperfections. Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect. Keep things in perspective. Don't kill your deal over minor deficiencies. It is inappropriate to demand that a seller address deferred maintenance, conditions already listed on the seller's disclosure, or minor items.

Please carefully read the entire Inspection Report, including the summary located at the end of the report. This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.

The report(s) will not be released until the Pre-Inspection Agreement is signed and all fees are paid to CDA Inspection Services, LLC.

INTRODUCTION, SCOPE, DEFINITIONS, & COMPLIANCE STATEMENT:

The following numbered and attached pages are your home inspection report. The report includes pictures, information, and recommendations. This inspection was performed in accordance with our Pre-Inspection Agreement and the current Standards of Practice and Code of Ethics of the Inter-National Association of Certified Home Inspectors. The Standards contain certain and very important limitations, exceptions, and exclusions to the inspection. A copy of the Standards is included in your report.

SCOPE:

This inspection complies and reflects with the provision of Act 114, Section 75, known as the PA Home Inspection Law. A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of the visible, readily accessible and apparent condition of the structure and its components at the time of inspection with a focus on safety and function, not current building or municipality codes. The results of this inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection. Any negotiated evaluations or repairs should be completed prior to closing, we recommend a final walk-through immediately before closing to check the condition of the property.

No warranty, guarantee, or insurance by CDA Inspection Services, LLC is expressed or implied. This report does not include inspection for wood destroying insects, mold, lead or asbestos. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No invasive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated.

We are not licensed structural engineers or other professionals whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts. You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers, or roofers.

This home inspection is not a compliance inspection or certification of any kind. It is an inspection of the condition of the home **at the time of the inspection**. This inspection does not cover items or conditions that may only be discovered by invasive methods. No removal of materials or dismantling of systems shall be performed during this inspection. This is not a technically exhaustive inspection. Items not found in this report are considered beyond the scope of the inspection and should not be considered inspected at this time. A verbal consultation or property education with the inspector, preferably at the time of the inspection is considered a mandatory part of this inspection. If you choose not to consult or be present at the time of the inspection with the inspector, CDA Inspection Services, LLC cannot be held liable for your understanding or misunderstanding of this reports contents. We have not verified that any required permits were obtained for the construction, remodeling or system upgrades of this building. You should verify that all necessary permits were obtained and inspections performed by contacting the local municipal authority.

NOTICE TO THIRD PARTIES OR OTHER PURCHASERS:

Receipt of this report by any purchasers of this property other than the party(ies) identified on the cover page of this report is not authorized by the inspector. The inspector strongly advised against any reliance on this report. We

recommend that you retain a qualified home inspector to provide you with your own inspection and report on this property. Liability under this report is limited to the party identified on the cover page of this report.

COMMENT CATEGORY DEFINITIONS

Maintenance | Service | Repair:

Maintenance items, suggested upgrades and do-it-yourself maintenance/repairs will fall into this category. These items are generally considered lower cost repairs and items that should be addressed. If not addressed, these items may ultimately lead to Major Concerns if left neglected for extended periods of time.

Major Concerns:

These items are specific issues with a system or component of a residential property that is not functional or may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people or property. These items are often imminent or may be very difficult or expensive to remedy and/or may lead to even more expensive repairs in the future if not addressed. All defects should be repaired.

Safety Concern:

This category is composed of immediate safety concerns or defects that could cause personal injury. This also includes systems or components that pose an unreasonable risk to people or property. Many safety defects mentioned should be considered as upgrades to the property to improve safety. The fact that a safety component is missing does not necessarily insinuate a defect is present. We recommend that you read the entire Inspection report, including the InterNACHI SOP and the limitations tabs to fully assess the findings of the inspection. Please call us for any clarifications or further questions.

PENNSYLVANIA HOME INSPECTOR COMPLIANCE STATEMENT:

I represent that I am a full member in good standing of the National Association of Certified Home Inspectors (InterNACHI), www.nachi.org. Member #18032609. Certified Professional Inspector (CPI). We will conduct a home inspection of the previously mentioned property in accordance with the (InterNACHI) Code of Ethics and Standards of Practice and the Home Inspection Agreement. We are in compliance with the Pennsylvania Home Inspection Law. We carry all the state-required insurance.

Report Updating:

We reserve the right to update the home inspection report for up 72 hours after the report has been sent.

2: ORIENTATION DETAILS

Information

General: General Information

Included Photos:

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos. Inversely the included photos may not show all problem areas or conditions. A representative example of photos may be used.

Location References:

For the purpose of this report all directions are given as if you are standing facing the front of the house. Items listed as Multiple Locations may not directly reference all effected locations. Examples may be given that should not be construed as the only affected areas. Further evaluation will need to take place to determine every effected location.

3: ROOF

Information

General: Inspection Method

Drone View

General: Material

Asphalt

General: General Condition

Serviceable

Pitched Roof Asphalt Shingles:

Approximate Roof Age

<8

Roof Drainage Systems: Gutter

Material

Aluminum

Roof Drainage Systems: Gutter

Guards

None

Flashings: Material

Metal

General: General Information

We evaluated the roof in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the visible and accessible roof covering, drainage systems, flashings, skylights, chimneys and roof penetrations. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Our inspection is not considered a certification of the roof for insurability. Consider reaching out to your insurance provider prior to closing for insurability verification.



Roof Drainage Systems: Underground Drains

There are underground drains on the property. This type of drainage requires regular maintenance due to clogging or backup of water to the lower structure. It may be difficult to determine the discharge location. You should monitor or install the downspout above grade a safe distance away from the foundation.



Deficiencies

3.2.1 Pitched Roof Asphalt Shingles

LOOSE SHINGLE(S)

FRONT RIGHT

One or more shingles are loose. This is a very easy repair by a qualified roofing professional.

Recommendation

Contact a qualified professional.



3.3.1 Roof Drainage Systems

DOWNSPOUTS DO NOT FULLY EMPTY INTO BELOW GRADE DRAINAGE

FRONT LEFT

The downspouts do not fully empty into the below grade drainage. This may allow water to penetrate the lower structure. All downspouts should fully empty into below grade drainage.

Recommendation

Contact a qualified professional.



4: EXTERIOR

Information

Walkways, Stoops, Steps, Patios & Driveways: Driveway

Material(s)

Asphalt

Soffit & Facia: Soffit Material

Vinyl

Trim: Trim

Composite

Decks, Balconies, Porches & Steps: Attachment Type(s)

Stoop

Walkways, Stoops, Steps, Patios & Driveways: Walkway

Material(s)

Concrete

Soffit & Facia: Fascia Material

Metal

Exterior Doors: Exterior Entry Door(s)

Metal, Overhead Garage Doors, Sliding Glass

Decks, Balconies, Porches & Steps: Material(s)

Concrete, Wood

Walkways, Stoops, Steps, Patios & Driveways: Step Material

Wood

Siding: Siding Material

Brick Veneer, Hardie Board

Windows: Materials

Vinyl

General: General Information

We evaluated the exterior in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the visible and accessible claddings, flashings, doors, drainage, and surrounding grounds which may have an adverse affect on the building. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.



Limitations

Vegetation, Grading & Drainage

MULCH OR STONE AROUND THE PERIMETER

There is mulch or stone around the perimeter at some areas. Due to this type of cover we were unable to view for proper grade height at the time of this inspection.

Deficiencies

4.4.1 Siding

DAMAGED/HOLES SIDING

BACK RIGHT, GARAGE

The siding is damaged or has holes at a few small areas. This could allow moisture to penetrate causing further damage to the building materials. The siding material should be repaired or replaced.



Maintenance / Service

Recommendation

Contact a qualified professional.



4.4.2 Siding

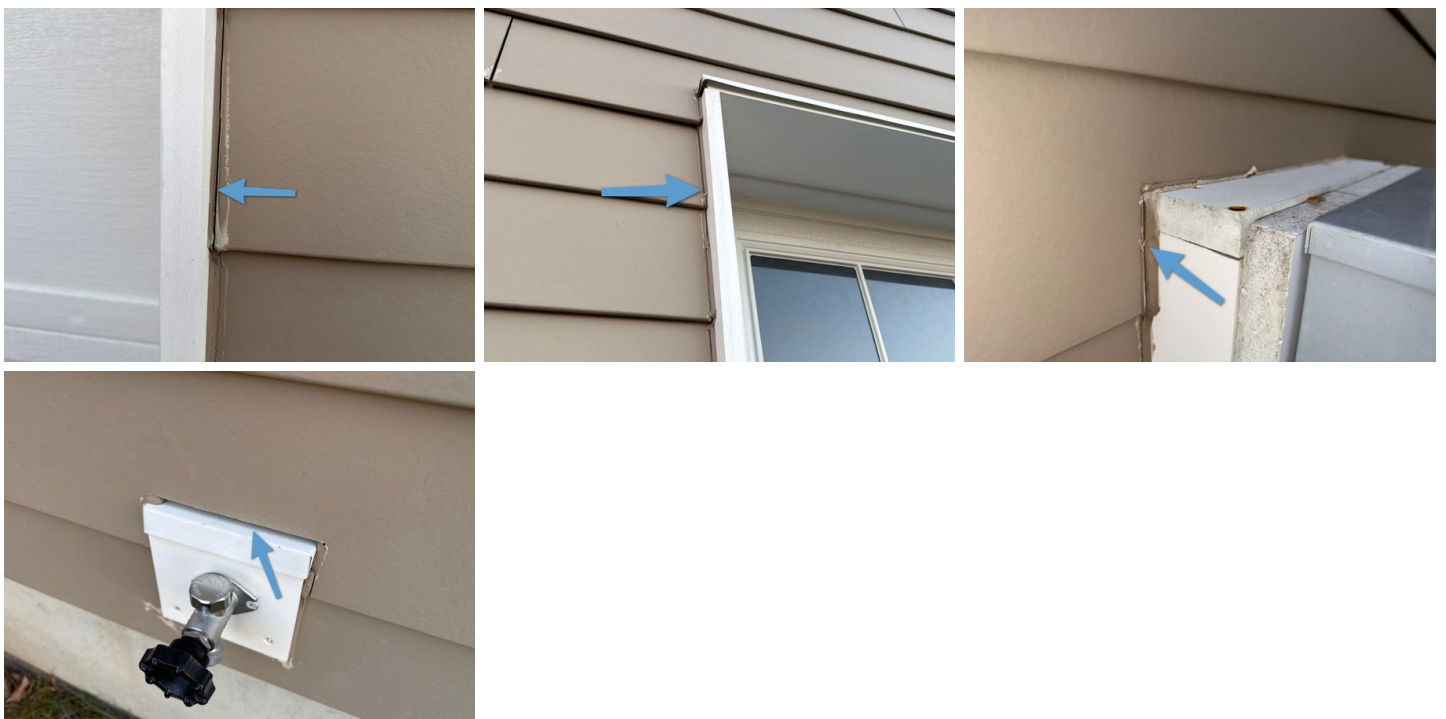
CAULKING MISSING OR DETERIORATING

 Maintenance / Service

The caulking is missing or deteriorated at siding intersection areas. Caulking is an important part of the weather resistant envelope. You should have these areas cleaned and re-caulked with the appropriate material.

Recommendation

Contact a qualified professional.



4.4.3 Siding



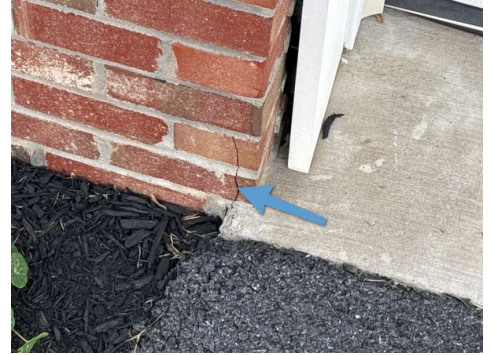
Maintenance / Service

DAMAGED SIDING AND/OR BRICK

There are areas of the siding and/or brick which is damaged. It is unknown as to why this is present. Recommend to have a qualified contractor further evaluate and follow their recommendations.

Recommendation

Contact a qualified professional.



4.4.4 Siding



Maintenance / Service

GAP AT SIDING/TRIM INTERSECTION

RIGHT OF GARAGE DOOR

There is a gap between the siding and trim. The building wrap is visible, indicating that there is a proper moisture barrier in place. However, the gap is too large to seal with caulk.

Recommendation

Contact a qualified professional.



4.5.1 Trim



Maintenance / Service

DETERIORATED PAINT

RIGHT SIDE

The paint is deteriorated at various areas of trim. The trim should be re-painted to protect the wood from the exterior extremities.

Recommendation

Contact a qualified professional.



4.5.2 Trim



Maintenance / Service

LOOSE TRIM

GARAGE

The trim is loose. This should be repaired or replaced.

Recommendation

Contact a qualified professional.



5: STRUCTURE

Information

General: Inspection Method Basement Entered, Attic Entered	Foundation: Foundation Type Basement	Foundation: Material(s) Concrete
Floor Structure: Material Wood I-Joists	Floor Structure: Beam Material Inaccessible	Floor Structure: Column Material Not Visible
Floor Structure: Basement/Crawlspace Floor Concrete	Wall Structure: Material Conventional Wood	Ceiling Structure: Material Dimensional Framing Lumber
Roof Structure: Material Onsite Manufactured Truss		

General: General Information

We have evaluated the structural system of the building in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes the inspection of the visible and accessible foundation, floor, wall, ceiling and roof structure of the building.

Limitations

Floor Structure

LIMITED ACCESS CEILING(S) FINISHED

There was limited access to this area. Therefore we were unable to inspect for hidden damage or unsafe conditions.

Wall Structure

LIMITED ACCESS

The ability to inspect this area was limited due to limited access or unsafe conditions. Lack of access restricted the ability to inspect for hidden damage or unsafe conditions at the time of this inspection.

Ceiling Structure

LIMITED ACCESS

There was limited access to this area. Therefore we were unable to inspect for hidden damage or unsafe conditions.

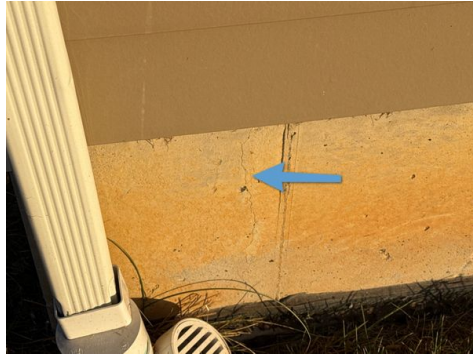
Deficiencies

5.2.1 Foundation



FOUNDATION CRACKS

There are typical crack(s) present at some areas of the foundation wall. This is common as concrete ages and shrinks where surface cracks are normal at approximately 1/16". You should monitor for any additional change or moisture at these areas. If leakage should occur these can be sealed by a qualified contractor.



6: BASEMENT & CRAWLSPACE

Information

General: Inspection Method
Entered and Inspected

Sump Pump(s): Sump Location
Basement

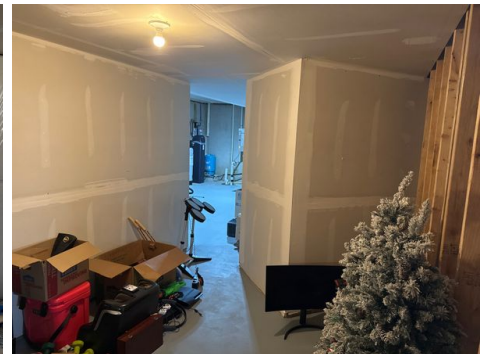
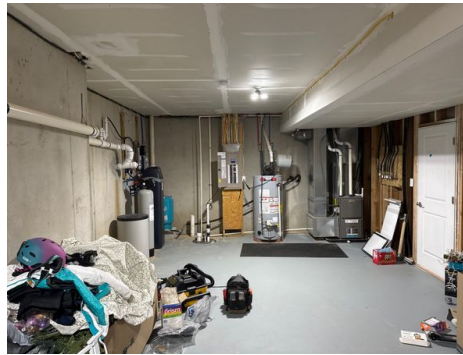
Ventilation: Ventilation Type
Basement
Operable Windows



Insulation: Insulated Area(s)
Ceiling

General: General Information

All basements or crawlspace areas are susceptible to moisture infiltration at some time or under certain circumstances. Most basement or crawlspace water problems are the result of poor water control measures at the exterior of the building. Please refer to the exterior portion of this report for more information. You should consider operating a dehumidifier.



Below Grade Drainage: Perimeter Drain

There appears to be a perimeter drain system present. These systems are designed to remove water from the below grade space of the basement or crawlspace and discharge to the exterior of the property.

Sump Pump(s): Sump Pump(s) Present/Operational

There was a sump pump(s) present. Sump pumps are designed to discharge basement or crawlspace water to the exterior side of the dwelling. The sump pump(s) was tested and appeared to be functional at the time of this inspection.

Egress: Egress Type

Sliding Glass Door

Emergency egress is provided to the exterior by a walkout door, bulkhead (bilco) door, or egress window(s). You should contact the local city or municipal authority for all egress requirements.

If no egress is present this area should not be used as a bedroom or an apartment. If you intend on doing either one. I do recommend contacting the local city or municipal authority for all egress requirements.

Egress: Egress

Emergency egress is provided to the exterior by a walkout door, bulkhead (bilco) door, or egress window(s). You should contact the local city or municipal authority for all egress requirements.

Moisture: Dewatering System Present

There is a dewatering system present. Professionally installed systems typically have warranties. You should contact the owner for any existing guarantee or warranty information.

Radon: General Information

No Radon System Present

Radon Mitigation General Information Description:

Radon is a naturally occurring radioactive soil gas. This invisible, odorless and tasteless gas is able to travel through the soil and enter buildings. Exposure to radon gas is the leading cause of lung cancer in non-smokers and increases the risk of lung cancer in smokers. You should have your home's indoor air tested at least every two years to determine the amount of radon gas present. If the radon concentration is 4.0 pCi/L or greater, you should have a radon mitigation system installed to reduce the level below 4.0 pCi/L. Go to www.dep.state.pa.us/brp/Radon_Division/Radon_Homepage.htm. You should request a copy of any radon tests performed on this house and retest the house if it has not been tested within the past two years.

Limitations

General

ACCESS RESTRICTIONS

Stored items, Finished Walls & Ceilings

Radon

RADON TEST NOT PERFORMED

You elected not to have a radon test performed at the time of the inspection. We highly recommend radon testing with every inspection if a test has not been performed in the past 2 years. Even when a radon mitigation system is present, the EPA recommends retesting every 2 years to assure the system is still functioning properly. Approximately 40 percent of Pennsylvania homes have radon levels above Environmental Protection Agency's action guideline. Testing your home is the only effective way to find out if you have a radon problem.

Deficiencies

6.3.1 Sump Pump(s)

 Maintenance / Service

SUMP PUMP DISCHARGE TOO CLOSE TO FOUNDATION

The sump pump empties too close to the foundation. This may allow water to re-enter the pit or basement areas. The line should be extended to keep water away from the foundation.

Recommendation

Contact a qualified professional.



6.8.1 Radon

 Safety Defects

INCOMPLETE WORK

There is a 4" pvc pipe that is not capped or the work is incomplete. It appears that the intent was to use this for a passive radon pipe. This should be capped so that radon cannot enter the home.

Recommendation

Contact a qualified professional.



7: ELECTRICAL

Information

Service Entrance Conductors:
Service Entrance
Underground



**Main & Subpanels & Main
Overcurrent Device: Main
Disconnect Location**
Inside the Main Panel



**Branch Wiring Circuits: Wiring
Method**
Non Metallic

**Lighting Fixtures, Switches &
Receptacles: Receptacle Type**
3-prong

**GFCI/AFCI: Arc Fault Circuit
Interrupters**
Present

Service Entrance Conductors:
Electrical Service Conductors
Aluminum

**Main & Subpanels & Main
Overcurrent Device: Panel Type**
Circuit Breaker

**Branch Wiring Circuits: Branch
Wire Type**
Copper

GFCI/AFCI: GFCI Location
Exterior, Basement, Bathrooms,
Garage, Laundry, Kitchen(s)

**Smoke Detectors: Smoke Alarm
Location**
Every Level, Every bedroom

**Grounding & Bonding: Service
Grounding Location**
Present but termination not
visible

**Main & Subpanels & Main
Overcurrent Device: Panel
Capacity**
200 AMP

**Branch Wiring Circuits: Branch
Wire/Major Appliances**
Copper

GFCI/AFCI: GFCI Outlets
Operational
Operational

The GFCI outlets were tested and functional at the time of this inspection.

General: General Information

We evaluated the electrical system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes identifying the type and capacity of the service and evaluating panels, grounding, overload protection, wiring, and a representative number of switches, receptacles and light fixtures. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Main & Subpanels & Main Overcurrent Device: Main Panel Location(s)

Basement



Lighting Fixtures, Switches & Receptacles: General Information

Wiring devices, such as lighting fixtures, switches and receptacles, provide access to electrical power throughout the building. To be safe, they must be installed properly and replaced when worn. Ground fault and arc fault protection should be provided in all locations required by current codes. Smoke detectors should be provided on every level of the building including the basement, and in each sleeping area. Smoke detectors should be replaced about every 10 years. Carbon monoxide detectors should be provided on every level of the building including the basement and should be replaced about every 6 years. Exterior metal components should be grounded to the earth. A representative number of installed lighting fixtures, switches and receptacles were inspected, in accordance with InterNACHI standards. If problems were noted, you should have a qualified electrician check all similar devices, since similar problems may exist in other devices.

Lighting Fixtures, Switches & Receptacles: Ceiling Fan(s)

Present and Functional



Lighting Fixtures, Switches & Receptacles: Hi Hat Recessed Light Fixtures

"Hi Hat" recessed light fixtures are used in this building. Reflector-type lamps should be used in recessed fixtures to reduce heat buildup. Never use lamps of greater wattage than permitted by the manufacturer.

GFCI/AFCI: General Information

Ground Fault Circuit Interrupters are safety devices designed to help prevent injury to people caused by electric shock. They are currently required to be used in locations such as kitchens, wet bars, bathrooms, unfinished basements, crawl spaces, garages, accessory buildings, and outdoors. Older buildings, built before these requirements took effect, may not have this protection in all of these locations. It is relatively inexpensive to add this protection. Critical equipment such as refrigerators, freezers, security systems, garage door openers, sump pumps, sewage ejector pumps and alarms, should not be powered by GFCI's because the equipment will not operate if the GFCI trips.

An arc-fault circuit interrupter (AFCI) also known as an arc-fault detection device (AFDD) is a circuit breaker that breaks the circuit when it detects an electric arc in the circuit it protects to prevent electrical fires. AFCI's are currently required at outlets on branch circuits for bedrooms, closets, dens, dining rooms, family rooms, hallways, kitchens, laundry areas, libraries, living rooms, parlors, recreation rooms, and sun rooms.

Smoke Detectors: Smoke Alarm Upgrade

RECOMMENDED SAFETY UPGRADE: Recommended that ALL ionization alarms regardless of age be replaced with Photoelectric smoke alarms. Extensive research clearly shows that photoelectric smoke alarms are far more reliable in most real world fire scenarios. Nearly 95% of the smoke alarms installed in US residences are IONIZATION alarms. Ionization alarms are approved smoke alarms and DO comply with the legal requirements for transfer in MOST jurisdictions. However, research shows that ionization alarms RESPOND TOO SLOWLY to the smoldering/ smoke fires responsible for most residential fire deaths. Ionization alarms are also notorious for nuisance tripping from cooking, shower steam, etc. Ionization alarms will fail to adequately warn occupants about 55% of the time. With photoelectric alarms the occupants will receive sufficient warning about 96% of the time. Ionization technology alarms pose a significant life safety risk. Combination alarms are not recommended.

Carbon Monoxide Detectors: Carbon Monoxide Present

Carbon monoxide detectors are present in the immediate vicinity of the bedrooms. Be sure to test all locations periodically



Security Systems: General Information

Security systems are beyond the scope of this inspection. You should contact the seller or the security company for further information.

Limitations

Grounding & Bonding

GAS BONDING NOT VISIBLE

The gas pipe bonding or ground wire was not visible at the time of this inspection. You should have a qualified electrician further evaluate and install a bonding or ground wire.

Deficiencies

7.6.1 Lighting Fixtures, Switches & Receptacles

**LOOSE RECEPTACLES AND OR JUNCTION BOX**

1ST FLOOR FRONT LEFT ROOM, PRIMARY BEDROOM BACK LEFT

There are loose outlets and or junction boxes present. This could cause a short circuit. These outlets should be repaired or replaced.

Recommendation

Contact a qualified professional.



8: PLUMBING & FUEL STORAGE/DISTRIBUTION SYSTEMS

Information

Main Water Shut-off Device:
Location
 Basement



Main Water Shut-off Device:
Check Valve/ Pressure Regulator
 Check Valve



Water Supply, Distribution Systems & Fixtures: Distribution Material
 Pex

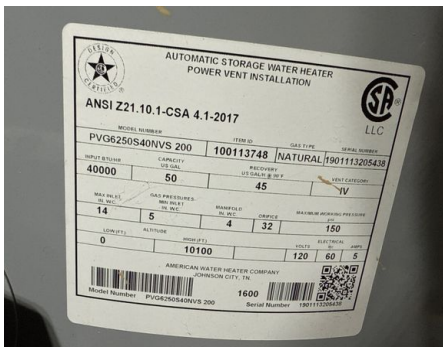
Water Supply, Distribution Systems & Fixtures: Water Supply Material
 Plastic

Drain, Waste, & Vent Systems:
 Material
 PVC

Hot Water Systems: Location
 Basement



Hot Water Systems: Age
 5



Hot Water Systems: Power Source/Type
 Gas

Hot Water Systems: Capacity
 50 gallons

Fuel Storage & Distribution**Systems: Main Gas Shut-off****Location**

At Meter

**Flues/Vents: External Sidewall****Vents**

PVC

General: General Information

We evaluated the plumbing system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes the supply, drain, waste and vent piping systems, the water heating equipment with any associated vent systems, and below grade drainage systems. Shut off, relief and pressure regulating valves were located but not operated. I did not operate these valves during this inspection because there is a chance that the valve, when turned on after a long period of not being operated, will not shut off completely. You should have these valves tested or evaluated by a plumber initially so that a repair professional will be available if there are problems. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

General: Water Source

Well

The supply system is responsible for providing fresh, potable water to the building in the quantities required for drinking, washing and cooking. We evaluated this system by operating every faucet and observing its flow while one or more other faucets are operated simultaneously. This is known as "functional flow" and is a subjective evaluation. You should know that leaks will inevitably occur; usually relative in severity to the age of the system. The water supply to the building is either public or private. It is beyond the scope of this inspection to verify the source of water to the property. We did not evaluate the supply system beyond the foundation wall during this inspection.



Main Water Shut-off Device: Pressure Tank (Functional)

There is a pressure tank present. The tank was tested and appears serviceable.



Water Supply, Distribution Systems & Fixtures: UV Light

There is a UV light filter installed at the main water supply area. These type of systems require periodic maintenance. You should follow the manufactures guidelines for service and maintenance.



Water Supply, Distribution Systems & Fixtures: Water Treatment Equipment Installed

There is a treatment system installed. These are beyond the scope of this inspection. You should contact the owner for further information or a service company they may use.



Drain, Waste, & Vent Systems: Functional Exterior Whole House Grinder Pump

Present, Functional

There is a whole house sewage grinder pump system present. These are designed to lift sewage to the public sewer line at the street side. These are beyond the scope of this inspection. The pump and alarm should be serviced periodically.

At the time of inspection the sewage ejector pump appeared to be operational at the time of the inspection.



Sinks/Tubs/Showers/Toilets: General Information

We evaluated the bathroom areas in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the plumbing fixtures, countertops and a representative number of installed cabinets. I do not inspect clothes washers, clothes dryers, refrigerators, or any portable appliances. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Sinks/Tubs/Showers/Toilets: Serviceable

The interior plumbing components were operated and found to be in serviceable condition at the time of this inspection unless noted below.

Hot Water Systems: Manufacturer

American

We recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 125 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

Hot Water Systems: Functional

The water heating system was tested at various areas. The hot water heating system was functional at the time of this inspection.



Hot Water Systems: TPR Drain Valve

Present

TPR Valves and Discharge Piping. Temperature/pressure-relief or TPR valves are safety devices installed on water heating appliances, such as boilers and domestic water supply heaters. ... The valve should be connected to a discharge pipe (also called a drain line) that runs down the length of the water heater tank.



Hose Bibs: Type

Frost Free, Functional

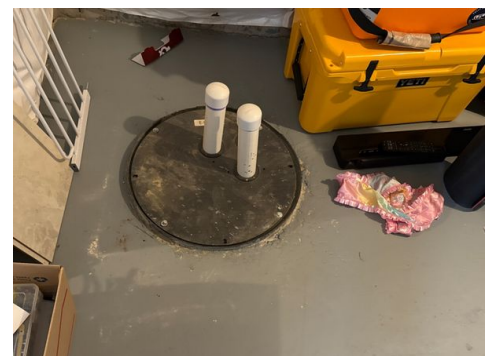


Limitations

Drain, Waste, & Vent Systems

LIFT PUMP PRESENT/DISCONNECTED

There is a lift pump present however it is disconnected. The lift pump could not be tested due to these circumstances.



Deficiencies

8.5.1 Sinks/Tubs/showers/Toilets

LOOSE FAUCET

2ND FLOOR MIDDLE BATHROOM

The faucet is loose and may begin to leak. This should be repaired by a qualified plumber.

Recommendation

Contact a qualified professional.





8.5.2 Sinks/Tubs/showers/Toilets

POPUP TUB DRAIN NOT WORKING/MISSING

2ND FLOOR MIDDLE BATHROOM

The tub drain popup is not working or is missing. This should be repaired or replaced.

Recommendation

Contact a qualified professional.



Maintenance / Service



8.6.1 Hot Water Systems

MISSING EXPANSION TANK STRAPS

The support straps are missing at the tank. Support straps should be considered as they support the water weight of the tank. The tanks can weigh 15 to 30 pounds depending on the size.

Recommendation

Contact a qualified professional.



Maintenance / Service



9: HEATING/COOLING 2ND FLOOR

Information

Furnace Equipment: Brand
Lennox

Furnace Equipment: Location
Attic

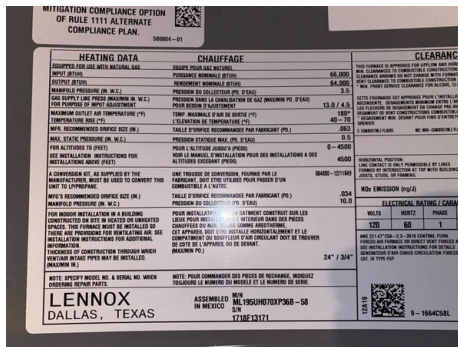
Furnace Equipment: Fuel Source
Gas



Furnace Equipment: Heat Type
Gas Furnace

Furnace Equipment: Furnace Approximate Age
5 Years

Furnace Equipment: BTU/Output Approximate Rating
64000



Furnace Equipment: Emergency Switch
Located In Laundry Room

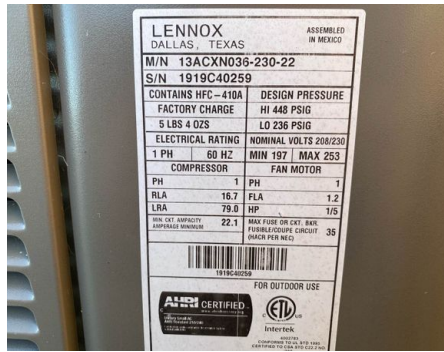
Normal Operating Controls: Thermostat Functional
Functional

Exterior A/C Unit: Brand
Lennox



Exterior A/C Unit: Age

5



Exterior A/C Unit: Cooling Tonnage Interior A/C Unit/Handler: Age

3

6



Interior A/C Unit/Handler:

Location

Attic



Interior A/C Unit/Handler:

Condensate Drainage

Type/Location

Exterior



Distribution System : Type

Central

Distribution System :

Duct/Materials

Flexible, Metal, Insulated

Air Filter(s): Type

Standard



Air Filter(s): Location

At Interior Unit



Vents/Flues: Vent Type

PVC

General: General Information

We evaluated the heating & cooling system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes identifying the heating and cooling methods and energy sources, and inspecting the installed heating and cooling equipment and vent system. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

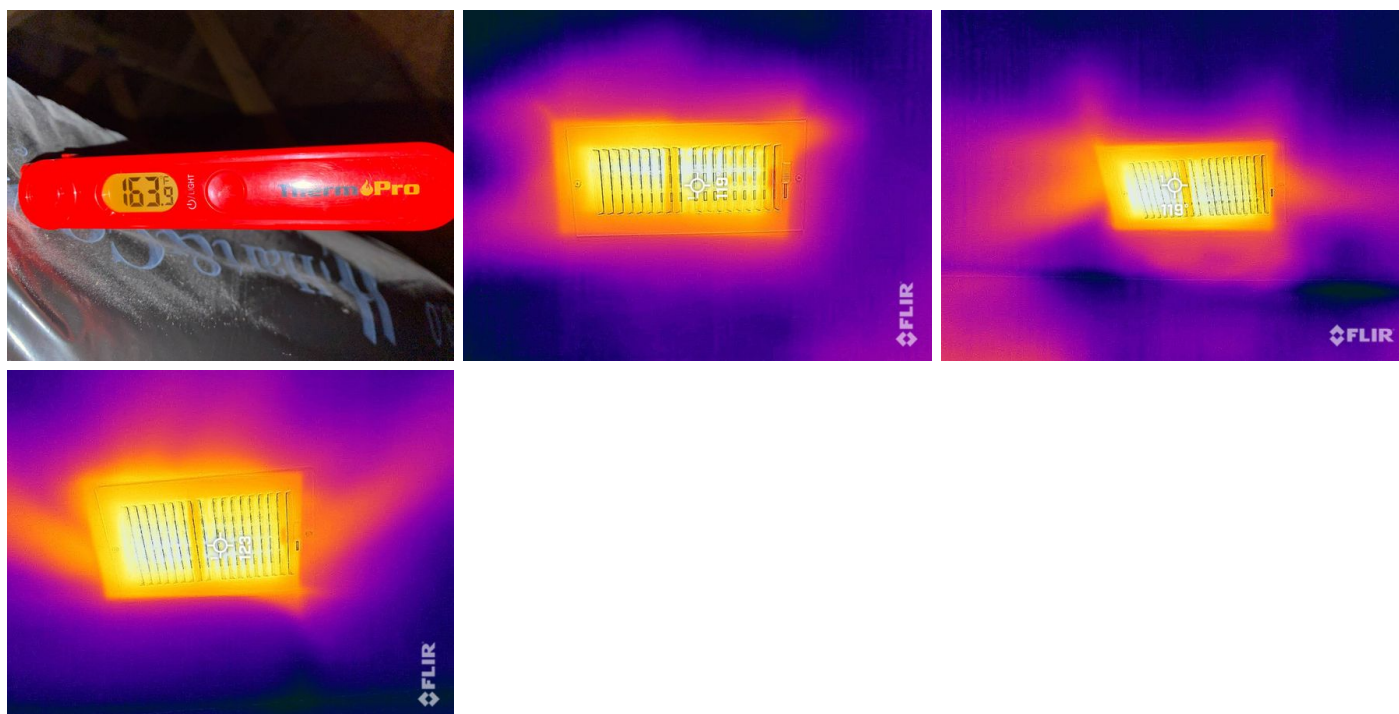
Accessory items such as humidifiers, dehumidifiers, electronic air filters and solar heating systems are beyond the scope of this inspection.

Heat Pumps & Air conditioners have an average of 12-15 years of service life. Systems should be professionally serviced every 2 to 3 years. Air conditioner filters should be cleaned or replaced monthly to maintain efficiency. Service contracts are available from heating contractors or utility companies. **Note:** Please refer to this you tube site for heat Pump Information. <https://youtu.be/QykwWs3L1W8>

Typical service life of a furnace gas or fuel fired system can be expected to last between 15 and 20 years. This average varies, of course, based on the quality of the unit, how it's used and whether it has been properly maintained. The system should be periodically serviced according to the manufactures instructions by a qualified certified HVAC contractor.

Furnace Equipment: Functional or Non-Functional

The system was tested and appeared to be functional at the time of this inspection



Interior A/C Unit/Handler: Functional Temperature Split

Below 65 degrees Not Tested

The cooling system was operated and found to be functional. The above listed temperature value representing the temperature split across the cooling coil, which is the difference between the supply air temperature and return air temperature. This is typical of a system operating properly. Periodic maintenance including servicing by a professional is recommended to ensure optimal performance.

Vents/Flues: Exterior PVC Vent

There is an exterior PVC vent present. PVC is typically used with high efficiency gas fired heating systems. All areas appeared serviceable at the time of this inspection.

Limitations

General

LOW TEMPERATURE

The air conditioning system and components were not tested due to low outdoor temperature. Operating the system below 65 degrees can damage the unit. When climate conditions exist between above 70 degrees, you should have the system serviced.

Exterior A/C Unit

LOW TEMPERATURE

The air conditioning system and components were not tested due to low outdoor temperature. Operating the system below 65 degrees can damage the unit.

Deficiencies

9.4.1 Exterior A/C Unit



Maintenance / Service

NOT LEVEL

The exterior unit is not level. This can damage the compressor. The unit should be leveled by a qualified HVAC contractor.

Recommendation

Contact a qualified professional.



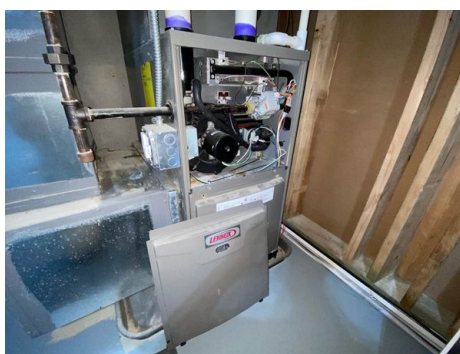
10: HEATING/COOLING 1ST FLOOR

Information

Furnace Equipment: Brand
Lennox

Furnace Equipment: Location
Basement

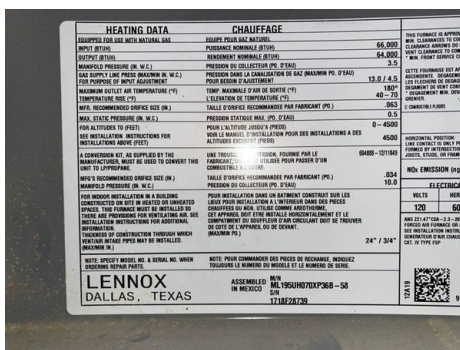
Furnace Equipment: Fuel Source
Gas



Furnace Equipment: Heat Type
Gas Furnace

Furnace Equipment: Furnace Approximate Age
6

Furnace Equipment: BTU/Output Approximate Rating
64000



Furnace Equipment: Emergency Switch
Located Outside of utility Room

Normal Operating Controls: Thermostat Functional
Functional

Exterior A/C Unit: Brand
Lennox



Exterior A/C Unit: Age

5



Exterior A/C Unit: Cooling Tonnage Interior A/C Unit/Handler: Age

3

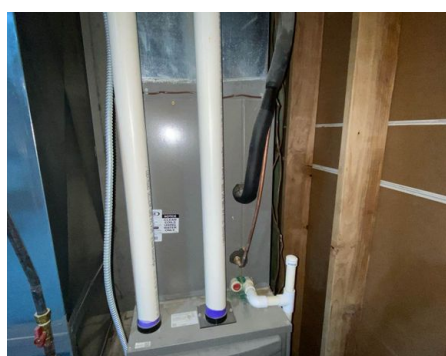
6



Interior A/C Unit/Handler:

Location

Basement



Interior A/C Unit/Handler:

Condensate Drainage

Type/Location

Sump Pit



Distribution System : Type

Central

Distribution System :

Duct/Materials

Metal, Non-Insulated

Air Filter(s): Type

Standard

Air Filter(s): Location

At Interior Unit



Vents/Flues: Vent Type

PVC



General: General Information

We evaluated the heating & cooling system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes identifying the heating and cooling methods and energy sources, and inspecting the installed heating and cooling equipment and vent system. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

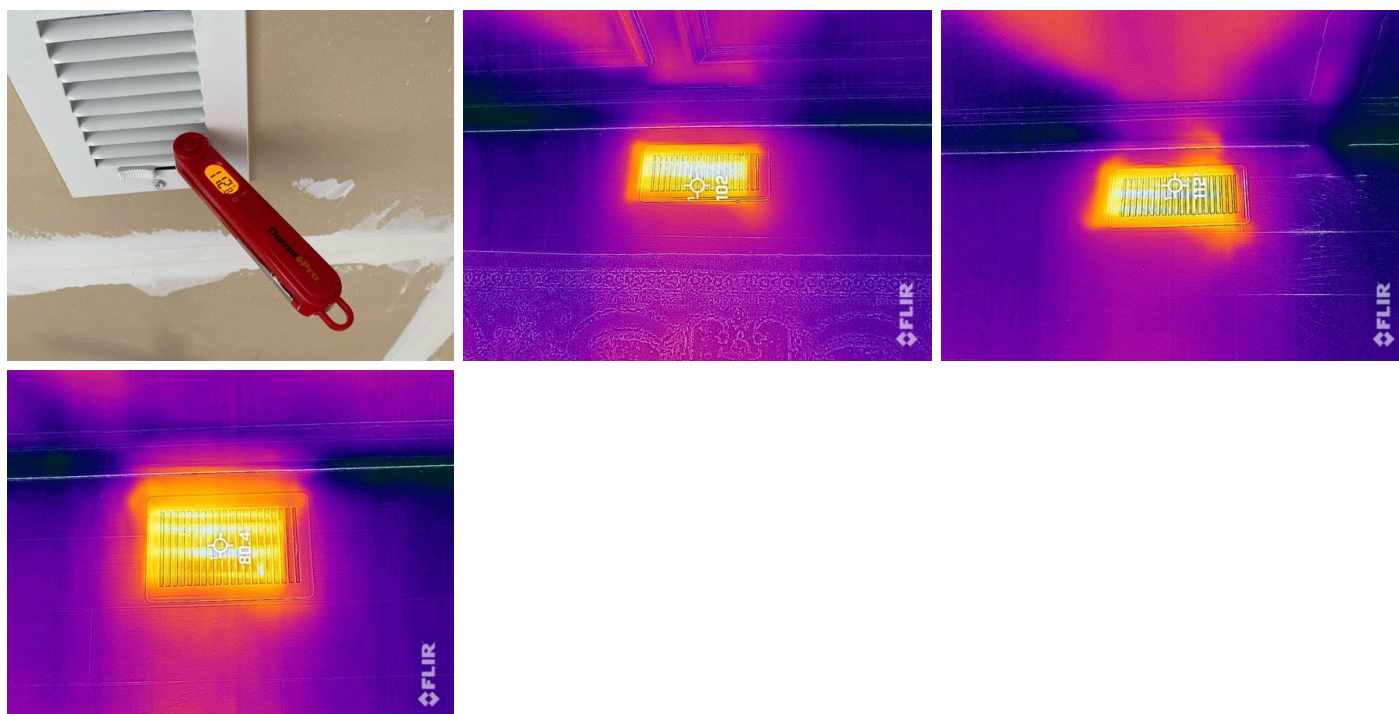
Accessory items such as humidifiers, dehumidifiers, electronic air filters and solar heating systems are beyond the scope of this inspection.

Heat Pumps & Air conditioners have an average of 12-15 years of service life. Systems should be professionally serviced every 2 to 3 years. Air conditioner filters should be cleaned or replaced monthly to maintain efficiency. Service contracts are available from heating contractors or utility companies. **Note:** Please refer to this you tube site for heat Pump Information. <https://youtu.be/QykwWs3L1W8>

Typical service life of a furnace gas or fuel fired system can be expected to last between 15 and 20 years. This average varies, of course, based on the quality of the unit, how it's used and whether it has been properly maintained. The system should be periodically serviced according to the manufactures instructions by a qualified certified HVAC contractor.

Furnace Equipment: Functional or Non-Functional

The system was tested and appeared to be functional at the time of this inspection



Interior A/C Unit/Handler: Functional Temperature Split

Below 65 degrees Not Tested

The cooling system was operated and found to be functional. The above listed temperature value representing the temperature split across the cooling coil, which is the difference between the supply air temperature and return air temperature. This is typical of a system operating properly. Periodic maintenance including servicing by a professional is recommended to ensure optimal performance.

Vents/Flues: Exterior PVC Vent

There is an exterior PVC vent present. PVC is typically used with high efficiency gas fired heating systems. All areas appeared serviceable at the time of this inspection.

Limitations

General

LOW TEMPERATURE

The air conditioning system and components were not tested due to low outdoor temperature. Operating the system below 65 degrees can damage the unit. When climate conditions exist between above 70 degrees, you should have the system serviced.

Deficiencies

10.2.1 Furnace Equipment



CORROSION/RUST

Furnace was corroded or rusted in one or more areas. This could be the result of standing water, leakage from air conditioning condensate, humidifiers, overhead plumbing leaks or improper venting/condensation of exhaust products. This should be further evaluated.



11: BUILT-IN APPLIANCES, KITCHEN & LAUNDRY

Information

Range/Oven/Wall Oven/Cooktop: Kitchen Exhaust: Exhaust Hood
Cook Top Energy Source
Gas, Functional
Type
Functional



Laundry: Washer & Dryer
Electric Clothes Washer & Dryer



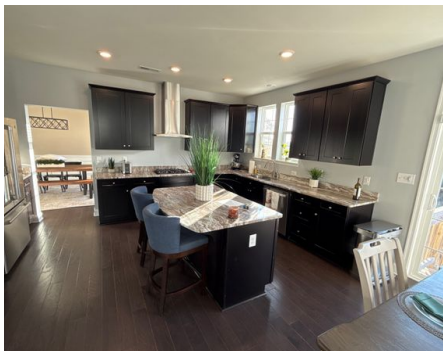
Laundry: Utility Sink
Functional

Laundry: Dryer Vent
Exterior Metal



General: General Information

Visible counters with a representative number of cabinets were inspected. Unless otherwise noted, built in kitchen appliances were operated. However timers and thermostats were not tested, the dishwasher, if present, was not tested for cleaning or drying effectiveness and the oven self-cleaning cycle, if present, was not operated. Refrigerators, portable dishwashers, and portable microwave ovens were not inspected.



Range/Oven/Wall Oven/Cooktop: Wall Oven Energy Source

Electric, Functional

**Dishwasher: Functional**

The dishwasher was tested in a short cycle and was functional at the time of this inspection.

**Garbage Disposal: Functional**

The disposal was tested and appeared to be functional at the time of this inspection.

**Built-in Microwave: Functional**

The microwave was tested and appeared to be in serviceable condition at the time of this inspection.

**Limitations**

Laundry

WASHER HOOKUPS NOT TESTED

The testing of the washer hookups are beyond the scope of the inspection. We recommend testing the hookups before closing to ensure they are working properly.

12: INTERIOR, DOORS, WINDOWS, STAIRWAYS

Information

Walls: Wall Material

Drywall

Ceilings: Ceiling Material

Drywall

Floors: Floor Coverings

Tile, Carpet, Hardwood

Windows: Window Type

Vinyl, Double Pane

Firewall Separation: Fire

Separation Materials Garage

Drywall Walls & Ceiling, Metal

Door

General: General Information

We evaluated the interior in accordance with the standards of the International Association of Certified Inspectors (InterNACHI) which includes the walls, ceilings, floors, steps, stairways, railings, and a representative number of windows and interior doors. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Steps, Stairways & Railings: Serviceable

All areas appeared to be in serviceable condition at the time of this inspection.

Doors: Serviceable

The interior doors appeared to be in serviceable condition at the time of this inspection.

Windows: Serviceable

Various windows were operated and found to be in serviceable condition at the time of this inspection.

Firewall Separation: Fire Separation Area(s)

Garage

Walls, doors, ceilings, and hatches between garages and living spaces should form a continuous fire resistant barrier. Party walls separating units in multiple occupancy buildings and adjoined dwellings also should be fire resistant. These walls are commonly referred to as firewalls.

Limitations

Floors

STORED ITEMS

Access to some areas was restricted due to stored items making it difficult, unsafe or impossible to inspect. Lack of full access limited our ability to inspect for hidden damages.

Firewall Separation

STORED ITEMS

Firewall separation was restricted by stored items. We were unable to inspect the wall(s) at the time of this inspection.

Deficiencies

12.7.1 Windows



MISSING/LOOSE OR DAMAGED HARDWARE

GARAGE, DINNING ROOM

One or more of the windows are missing, loose or have damaged hardware. Recommend further evaluation for repair or replacement.

Recommendation

Contact a qualified professional.



13: ATTACHED GARAGE

Information

General: Access

Entered & Inspected

Floor: Floor Material

Concrete

Garage Door: Material

Insulated Metal

Garage Door Opener: Auto**Reverse Functional**

Electronic Eyes, Reverse with a
(2x4)

General: General Information

The garage door is often the largest and heaviest moving component in the building. The garage door, lock, and springs must be adjusted properly by a qualified garage door technician for safe operation. Garage doors without automatic openers are tested by opening, closing and locking the doors. If garage door openers are present, I test the internal entrapment protection system by placing a 2 x 4 on the floor and closing the door onto the block. If the opener has an external entrapment protection system (automatic reverse devices) such as electric eyes, are tested by breaking the light beam while the door is closing. Openers which fail to reverse during either of these tests are identified as unsafe. To avoid injury, you should have a qualified garage door technician repair or replace any defective components promptly, rather than attempting to do it yourself.

**Ceiling: General Information**

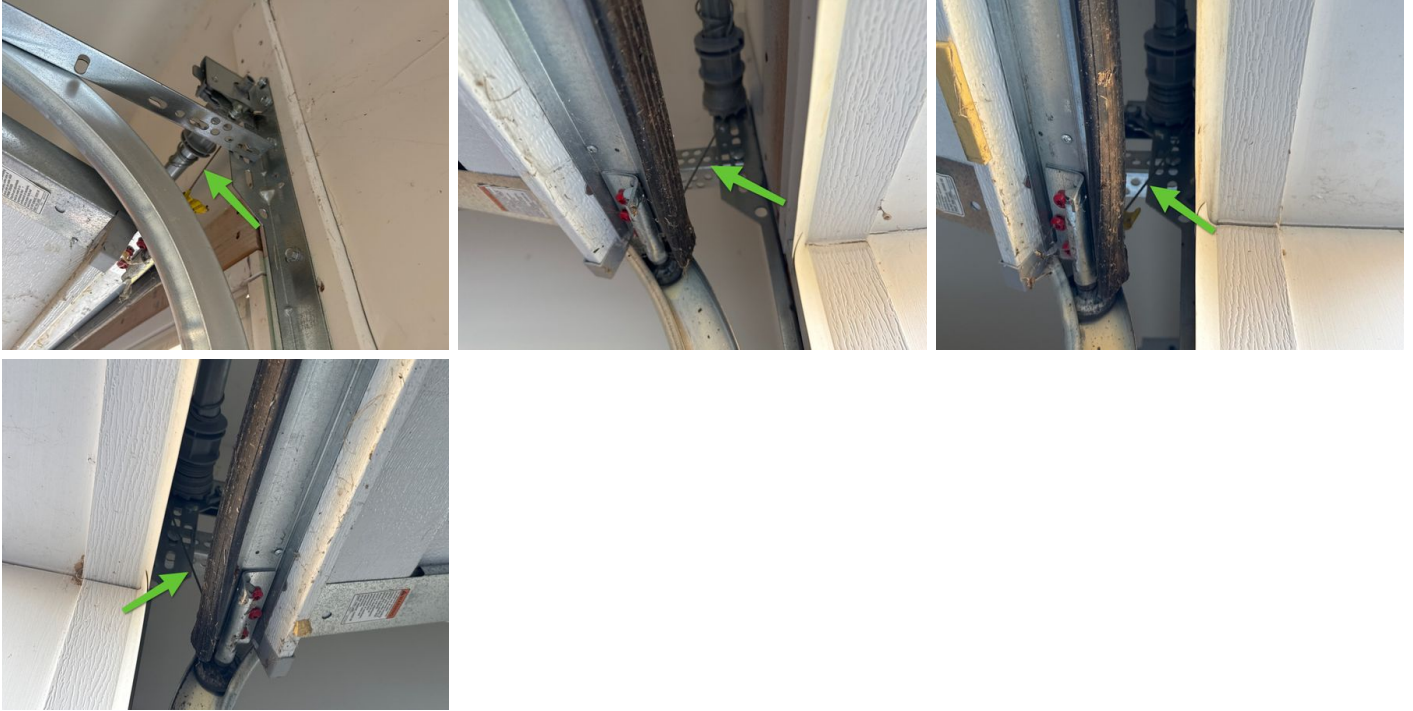
Unless otherwise noted, the ceilings appeared to in serviceable condition at the time of this inspection.

Walls : General Information

Unless otherwise noted, the walls appeared to be in serviceable condition at the time of this inspection.

Garage Door: Safety Cables

Present



Limitations

General

STORED ITEMS

Full access to the garage was restricted by stored items. Therefore we were unable to completely inspect for damage or hidden damage.

14: FIREPLACES

Information

Fireplace Components:

Functional or Non-Functional

Functional

Fireplace: General Information

A fireplace is a carefully balanced system. To function properly, it must be designed, built and operated properly. Fire screens should always be used when burning a fire in a fireplace. Fireplaces and associated chimneys should be cleaned and serviced regularly. Fire wood should be properly seasoned to prevent build up of third degrees or "shiny" creosote which is a fire hazard and more difficult to remove during cleaning.

Fireplace: Vented Gas Fireplace

There is a vented gas fireplace present. Inspection and testing of a gas fireplace is beyond the scope of this inspection. You should contact the seller for further information.



15: ATTIC, INSULATION & VENTILATION

Information

General: Attic Access

Pull Down Stair

Attic Insulation: Insulation Type

Floor, Fiberglass, Blown

Attic Insulation: Insulation Depth

>14 inches



Ventilation: Ventilation Type

Soffit Vents, Ridge Vents

General: General Information

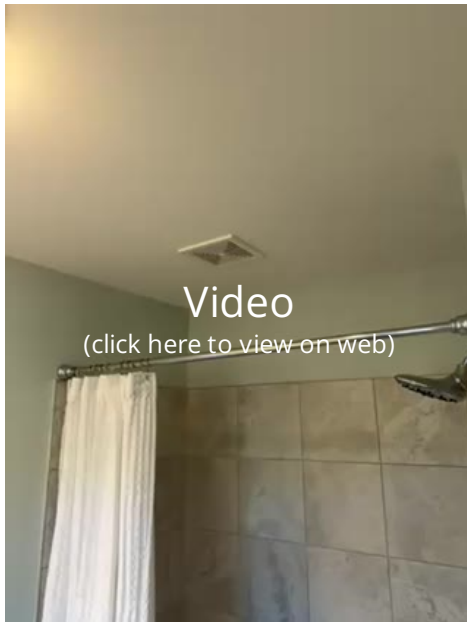
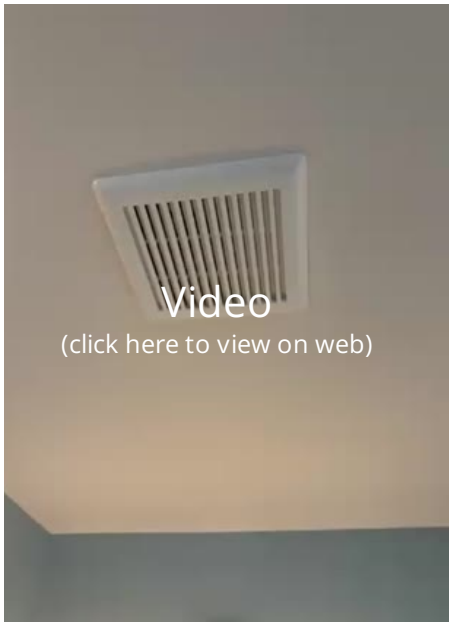
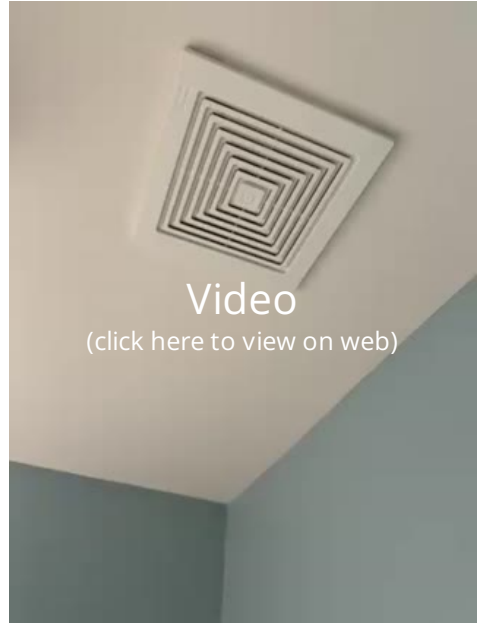
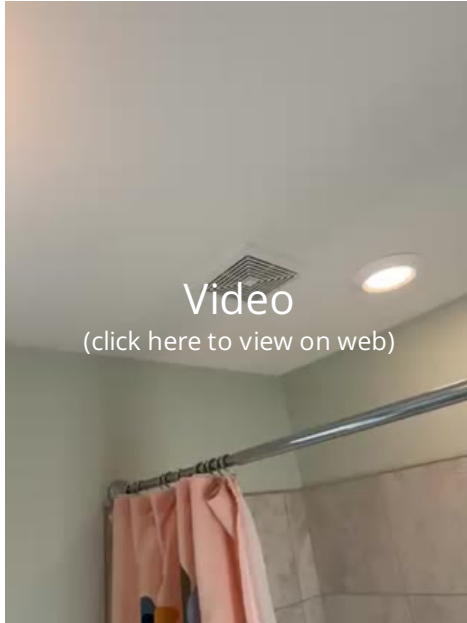
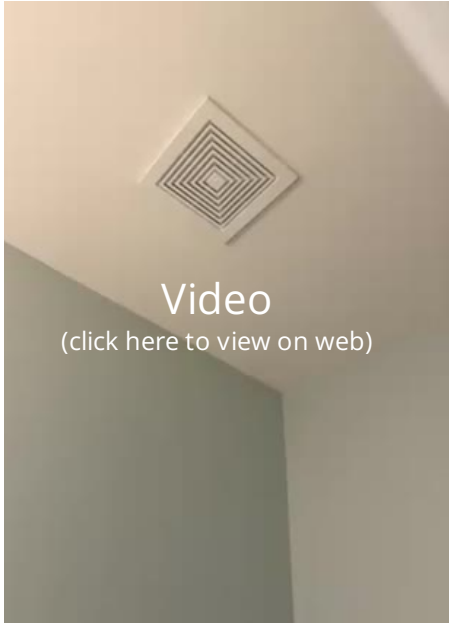
Buildings often have an attic area below the roof and above the living space. Attics are sometimes accessible through a flight of stairs or pull down stairs however in most cases the attic is accessible through a "scuttle" located in a closet or in rare cases through a roof hatch. The amount of useful space in the attic depends upon the type of roof construction.

Roofs that are constructed with rafters may provide significant areas of open storage. Roofs that are supported by pre-fabricated trusses offer little, if any usable space. Your primary interest in the attic should be in the ceiling insulation and in the means of ventilating the attic.



Bath Exhaust Systems: Exhaust Fans

Present and Functional



STANDARDS OF PRACTICE
