

### 3.3.1 Roof Drainage Systems

#### DEBRIS



Maintenance / Service

Debris has accumulated in the gutters. The gutters should be maintained to correctly facilitate water flow.



### 3.5.1 Chimney

#### CHIMNEY CROWN CRACKED OR DETERIORATED



Maintenance / Service

The masonry cap or crown is cracked or deteriorated. This can allow water to penetrate and damage the structure. The cap should be repaired or replaced as needed.

Recommendation  
Contact a qualified professional.



### 4.2.1 Walkways, Stoops, Steps, Patios & Driveways

#### WALKS UNEVEN



Safety Defects

The walks are uneven at a few small areas. This is a safety concern-trip hazard, suggest making repairs to create an even and level surface.



#### 4.2.2 Walkways, Stoops, Steps, Patios & Driveways

### DRIVEWAY CRACKING

 Maintenance / Service

Cracking was observed. Recommend monitoring and/or have contractor patch/seal.

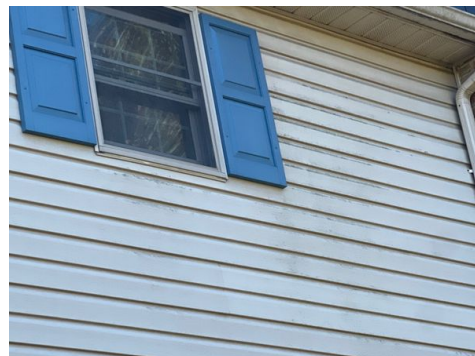


#### 4.4.1 Siding

### MILDEW/ALGAE

 Maintenance / Service

There are signs of a green bio-growth and/or mildew on the siding. This is a cosmetic issue and is not uncommon especially on shaded portions of the home. Recommend that said areas be washed or cleaned on a regular basis.



#### 4.4.2 Siding

### POINTING/LOOSE MORTAR JOINTS



The masonry mortar joints are deteriorated, loose or missing. Mortar holds the masonry units together and prevents moisture entry. These areas should be further evaluated and repaired by a qualified contractor or mason.

#### Recommendation

Contact a qualified professional.



#### 4.4.3 Siding

### STAINING



There was staining on the siding present during the inspection.

#### Recommendation

Contact a qualified professional.



#### 4.4.4 Siding

### CRACKING



#### BACK ADDITION

There is horizontal cracking at the mortar joints in the masonry wall. This may be due to the early settlement of the addition. You should have this further evaluated by a qualified professional and follow their recommendations.

#### Recommendation

Contact a qualified professional.



#### 4.4.5 Siding

### SIGNS OF PREVIOUS REPAIR



There was signs of previous repair to the exterior of the building. You may want to ask the current owner for more information regarding this.

Recommendation  
Contact a qualified professional.



#### 4.5.1 Trim

### DETERIORATED PAINT



The paint is deteriorated at various areas of trim. The trim should be re-painted to protect the wood from the exterior extremities.

Recommendation  
Contact a qualified professional.



#### 4.6.1 Exterior Doors

### DOUBLE CYLINDER DEADBOLT



#### GARAGE

The Exterior door(s) have a double cylinder deadbolt that require a key to open from either side. This may hamper emergency egress. You should have these changed to an interior thumb latch.

#### Recommendation

Contact a qualified professional.



#### 4.6.2 Exterior Doors

### DOOR STICKS/RUB



One or more doors sticks and or rubs.

#### Recommendation

Contact a qualified professional.



#### 4.8.1 Decks, Balconies, Porches & Steps

### WOOD IN CONTACT WITH GROUND



The deck stair stringers and or columns are in contact with ground. This can deteriorate the material at a quicker rate.

#### Recommendation

Contact a qualified professional.

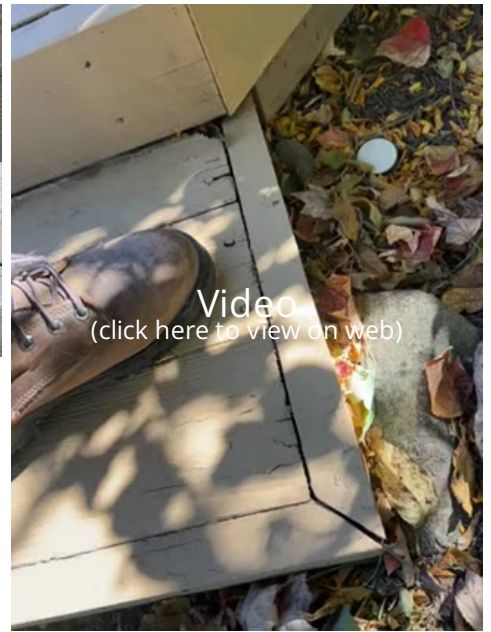


#### 4.8.2 Decks, Balconies, Porches & Steps

### DECK/PORCH - ROTTED BOARDS



One or more deck or porch boards are showing signs of rot. You should have a qualified contractor or deck builder further evaluate repair or replace the deck or porch floor boards.



### 4.8.3 Decks, Balconies, Porches & Steps **ROT AT WOOD SUPPORT COLUMN BASE** FRONT PORCH

 Maintenance / Service

There is rot a one or more wood column base areas. Behind the rot you can see a clear and post, showing the rot is present on the capping/trim, not the post itself. The calling/trim should be replaced.

Recommendation  
Contact a qualified professional.



### 5.2.1 Foundation **FOUNDATION CRACKS**

 Maintenance / Service

There are typical crack(s) present at some areas of the foundation wall. This is common as concrete ages and shrinks where surface cracks are normal at approximately 1/16". You should monitor for any additional change or moisture at these areas. If leakage should occur these can be sealed by a qualified contractor.



### 5.2.2 Foundation

## FOUNDATION CRACKS- STAINS/EFFLORESCENCE



Foundation cracks were observed with signs of moisture evidence. While the size of the cracks are that of typical concrete settlement, efflorescence and/or staining was present at areas. This is typically a sign of moisture penetration. You should seal the cracks and monitor the areas.

#### Recommendation

Contact a qualified professional.



### 5.3.1 Floor Structure

## ROT AT BAND JOIST



FRONT BASEMENT, RIGHT OF FRONT DOOR

Rot was observed at the band joist. This area should be repaired by a qualified professional. The source of moisture must be addressed to prevent recurrence.

#### Recommendation

Contact a qualified professional.



5.6.1 Roof Structure  
**STAINS TESTED AND DRY**

ATTIC AT VENT FLASHING

There were stains that were tested and appeared to be dry at the time of this inspection. This appears to be from a previous water leak that was not active. You should monitor the area(s).

Recommendation  
Contact a qualified professional.



6.7.1 Moisture  
**STAINS**

There is past or present stains. This is an indication of previous moisture entry. You should monitor the areas.

Recommendation  
Contact a qualified professional.







7.4.1 Main & Subpanels & Main Overcurrent Device

**UNUSED OPENINGS**

ELECTRICAL PANEL

There are unused openings in the panel. This is a safety concern. The openings should be covered to prevent possible shock.

Recommendation  
Contact a qualified professional.



7.6.1 Lighting Fixtures, Switches & Receptacles

**COVER PLATES DAMAGED/LOOSE/MISSING**

ATTIC ABOVE GARAGE

One or more receptacles have a damaged, loose or missing cover plate. This is a safety concern. The covers should be replaced.



7.6.2 Lighting Fixtures, Switches & Receptacles

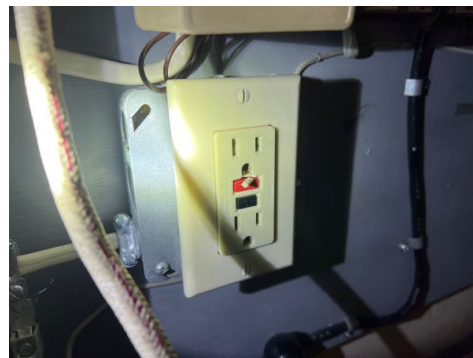
**DAMAGED RECEPTACLE**

PANEL GFCI

Receptacle was damaged at the time of the inspection. Replacement is recommended.



Recommendation  
Contact a qualified professional.



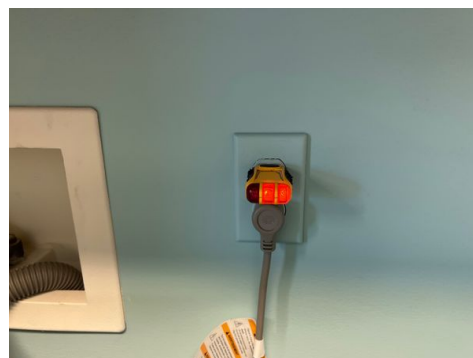
### 7.7.1 GFCI/AFCI **GFCI OUTLET(S) MISSING**

 Safety Defects

LAUNDRY

GFCI outlet(s) missing at recommended area(s). You should have GFCI outlets installed to avoid possible injury.

Recommendation  
Contact a qualified professional.

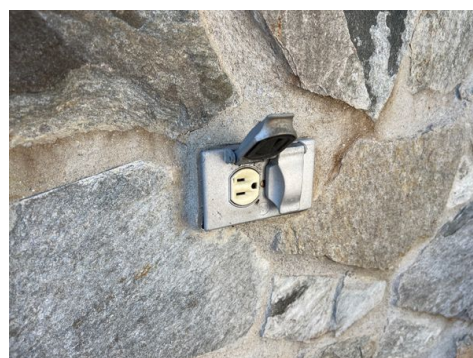


### 7.7.2 GFCI/AFCI **RECEPTACLES NOT WEATHERPROOF WHEN IN USE**

 Safety Defects

The exterior covers may not be fully weather proof when in use or missing covers. You should have the covers updated to the current standard.

Recommendation  
Contact a qualified professional.



### 7.8.1 Smoke Detectors **MISSING SMOKE DETECTORS**

 Safety Defects

BEDROOMS

Some smoke detectors were missing at the time of this inspection. This is a safety concern. Smoke alarms should be installed at all appropriate locations according to current safety standards.

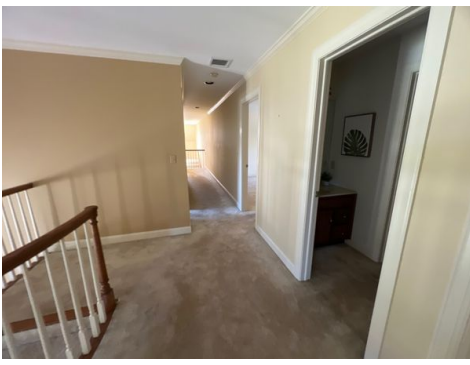
Recommendation  
Contact a qualified professional.

### 7.9.1 Carbon Monoxide Detectors **CARBON MONOXIDE MISSING**

 Safety Defects

Carbon monoxide detectors were missing at bedroom areas. This is a safety concern. Carbon monoxide detectors should be installed according to current safety standards.

Recommendation  
Contact a qualified professional.



### 8.5.1 Sinks/Tubs/Showers/Toilets

#### **SLOW DRAIN**

 Maintenance / Service

The drain is slow at the sink(s). The drain should be clear to allow for functional flow.

Recommendation

Contact a qualified professional.



**9.3.1. This has been fixed by an HVAC company on 10-22-24. Receipt to be provided.**

### 9.3.1 Normal Operating Controls

#### **INOPERABLE**

 Major Items

After testing the emergency heat, the thermostat stopped responding. The error code on the unit indicates a low voltage issue. This should be further evaluated and repaired by a qualified HVAC professional.

### 10.2.1 Heat Pump

#### **EXTERIOR UNIT IS AT OR BEYOND NORMAL SERVICE LIFE**

 Maintenance / Service

The exterior unit is at or beyond the end of its normal service life. We recommend having it serviced prior to settlement. You should budget to replace the system in the future.

Recommendation

Contact a qualified professional.

### 10.6.1 Air Filter(s)

#### **DIFFICULT TO CHANGE FILTER - ATTIC UNIT**

 Maintenance / Service

The filter in the attic unit difficult to change because of location. Failure to change the filter frequently will result in lower operating efficiency and higher costs. You may wish to modify the doors to improve the serviceability of the filter.

Recommendation

Contact a qualified professional.

11.6.1 Laundry

**MISSING DRIP PAN**

 Maintenance / Service

There is no drip pan present. When located on or above finished spaces you should have a drip pan installed beneath the washer to prevent possible moisture damage.

Recommendation  
Contact a qualified professional.



12.6.1 Garage Door Opener

**NO AUTO REVERSE WITH A (2X4)**

 Safety Defects

The garage door does not reverse with an obstruction or a (2x4). This is a safety concern. The door should be further evaluated and adjusted for fully functional auto reverse.

Recommendation  
Contact a qualified professional.



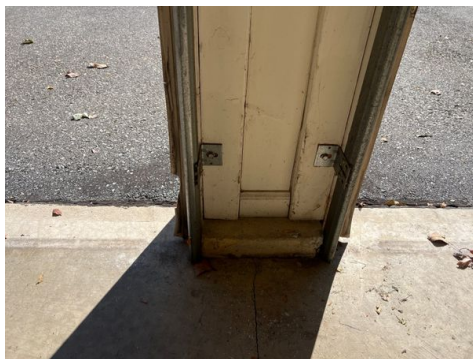
12.6.2 Garage Door Opener

**MISSING SENSORS**

 Safety Defects

There were no electronic eye sensors present. You should have these installed for external entrapment protection.

Recommendation  
Contact a qualified professional.



12.6.3 Garage Door Opener

**OPENER MUST BE HELD DOWN**

 Maintenance / Service

The garage door opener must be held down to fully close the door. This is a simple fix.

Recommendation  
Contact a qualified professional.



### 13.2.1 Steps, Stairways & Railings

#### **NO RETURNS**

BASEMENT, BACK STAIRS

No returns are present on the handrail(s). Returns are installed so that you do not catch articles of clothing or carried items on the end of the rail. This is a safety concern due to possible injury. You should consider having rail end returns installed.

Recommendation

Contact a qualified professional.



### 13.2.2 Steps, Stairways & Railings

#### **HANDRAIL NOT CONTINUOUS**

BASEMENT

The handrail is not continuous. The handrail should be continuous to prevent possible injury.

Recommendation

Contact a qualified professional.



### 13.5.1 Floors

#### **CARPET IN BATHROOM**

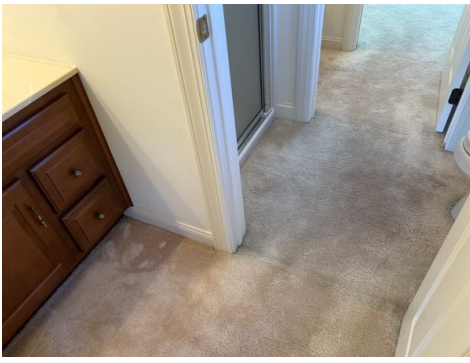
2ND FLOOR BATHROOMS

Carpeting is present in the bathroom. Carpeting is not waterproof and can lead to moisture retention issues such as mold and bio growth.

Recommendation

Contact a qualified professional.





13.6.1 Doors

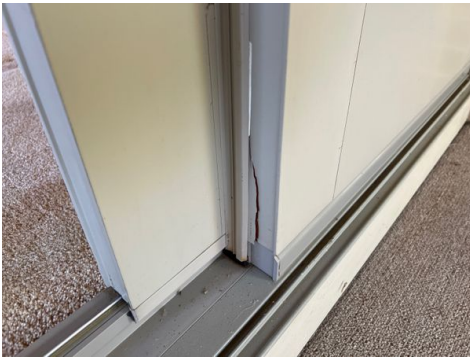
**DAMAGED DOOR(S)**

BACK ADDITION

The door(s) is damaged. Recommend repair or replacement.

Recommendation

Contact a qualified professional.



13.6.2 Doors

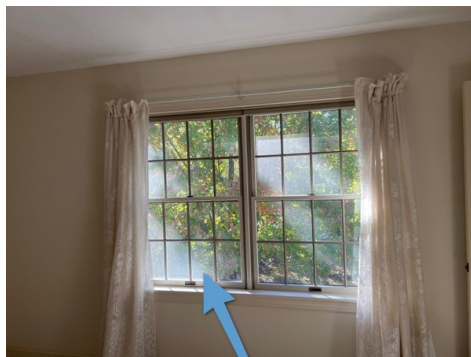
**LOOSE HARDWARE**

2ND FLOOR BACK BEDROOM

One or more doors has loose hardware. This could be repaired by a handyman.

Recommendation

Contact a qualified professional.



13.7.1 Windows

**SEAL FAILURE**

PRIMARY BATHROOM



Observed condensation between the window panes, which indicates a failed seal. Recommend further evaluation by a qualified contractor for repair or replacement.



### 13.7.2 Windows

## **BROKEN WINDOW PANE**

ATTIC ABOVE GARAGE

There is a broken window pane(s). This is a safety concern. The sash(s) should be replaced.

Recommendation

Contact a qualified professional.

