

The following items have been or will be addressed prior to closing

3.4.1

3.5.1

4.4.3

4.4.1

13.2.1

These items are highlighted in the report.



## RESIDENTIAL REPORT

743 Yorkshire Rd  
Allentown, PA 18103

Creighton Faust  
MAY 6, 2024



Inspector  
**Dustin Kapustiak**  
Certified Professional Home and  
Septic Inspector  
610-393-4744  
[dustin@cdainspection.com](mailto:dustin@cdainspection.com)



Inspector  
**Eric Kirsch**  
610-393-4744  
[eric@cdainspection.com](mailto:eric@cdainspection.com)



Agent  
**Creighton Faust**  
Remax Real Estate  
610-349-8482  
[creightonfaust@icloud.com](mailto:creightonfaust@icloud.com)

---

# TABLE OF CONTENTS

1: Inspection Details	5
2: Orientation Details	8
3: Roof	9
4: Exterior	14
5: Structure	21
6: Basement & Crawlspace	23
7: Electrical	26
8: Plumbing & Fuel Storage/Distribution Systems	33
9: Heating/Cooling Lower Level	37
10: Heating/Cooling 2nd Floor	41
11: Built-in Appliances, Kitchen & Laundry	44
12: Interior, Doors, Windows, Stairways	47
13: Attached Garage	51
14: Fireplaces	53
15: Attic, Insulation & Ventilation	55
Standards of Practice	57

---

---

# SUMMARY

---

- 🔧 3.3.1 Roof - Roof Drainage Systems: Downspouts Drain Near House
- 🔧 3.4.1 Roof - Flashings: Kick Out Flashing(s) Missing
- 🔧 3.5.1 Roof - Chimney: Missing Cricket
- ⚠️ 4.2.1 Exterior - Walkways, Stoops, Steps, Patios & Driveways: Walks Uneven
- ⚠️ 4.2.2 Exterior - Walkways, Stoops, Steps, Patios & Driveways: Missing Handrail
- 🔧 4.2.3 Exterior - Walkways, Stoops, Steps, Patios & Driveways: Driveway Cracking
- 🔧 4.2.4 Exterior - Walkways, Stoops, Steps, Patios & Driveways: Driveway Settled at the Garage
- 🚫 4.4.1 Exterior - Siding: Loose Siding
- 🔧 4.4.2 Exterior - Siding: Damaged and/or Deteriorated Siding
- 🔧 4.4.3 Exterior - Siding: Damaged/Holes Siding
- 🔧 4.4.4 Exterior - Siding: Caulking at Utilites
- 🔧 4.4.5 Exterior - Siding: Caulking/Grout at Masonry Intersection
- ⚠️ 4.6.1 Exterior - Exterior Doors: Double Cylinder Deadbolt
- 🔧 4.6.2 Exterior - Exterior Doors: Rusty Bilco Door System
- 🔧 4.6.3 Exterior - Exterior Doors: Air Gap
- 🔧 4.9.1 Exterior - Vegetation, Grading & Drainage: Vegetation Close or Touching the Dwelling
- 🔧 4.9.2 Exterior - Vegetation, Grading & Drainage: Tree Overhang
- 🔧 4.9.3 Exterior - Vegetation, Grading & Drainage: High Grading
- 🔧 4.10.1 Exterior - Pest Indications: Current Pest Treatment Present
- 🔧 4.10.2 Exterior - Pest Indications: Woodpecker Damage
- 🔧 5.2.1 Structure - Foundation: Foundation Cracks
- 🔧 6.6.1 Basement & Crawlspace - Moisture: Efflorescence
- 🔧 7.2.1 Electrical - Service Entrance Conductors: Caulk Needed Meter Box
- ⚠️ 7.4.1 Electrical - Main & Subpanels & Main Overcurrent Device: Sharp Pointed Screws
- 🔧 7.4.2 Electrical - Main & Subpanels & Main Overcurrent Device: Ground and Neutral Under Same Screw
- ⚠️ 7.5.1 Electrical - Branch Wiring Circuits: Wires Terminate or Spliced in Open Air
- ⚠️ 7.6.1 Electrical - Lighting Fixtures, Switches & Receptacles: Loose Receptacles and or Junction Box
- 🔧 7.6.2 Electrical - Lighting Fixtures, Switches & Receptacles: Loose or Noisy Ceiling Fan
- 🔧 7.6.3 Electrical - Lighting Fixtures, Switches & Receptacles: Ceiling Fan Off Balance
- 🔧 7.6.4 Electrical - Lighting Fixtures, Switches & Receptacles: Bulbs Missing/Burned Out
- ⚠️ 7.7.1 Electrical - GFCI/AFCI: GFCI Outlet(s) Missing
- ⚠️ 7.7.2 Electrical - GFCI/AFCI: Receptacles Not Weatherproof When In Use
- ⚠️ 7.8.1 Electrical - Smoke Detectors: Missing Smoke Detectors
- 🔧
- 8.4.1 Plumbing & Fuel Storage/Distribution Systems - Drain, Waste, & Vent Systems: Corroded Drain Lines
- 🔧 8.5.1 Plumbing & Fuel Storage/Distribution Systems - Sinks/Tubs/Showers/Toilets: Loose Faucet
- 🔧 8.5.2 Plumbing & Fuel Storage/Distribution Systems - Sinks/Tubs/Showers/Toilets: Tub Diverter leaks
- 🔧 8.5.3 Plumbing & Fuel Storage/Distribution Systems - Sinks/Tubs/Showers/Toilets: Diverter Sticks

- 
- 🔧 9.2.1 Heating/Cooling Lower Level - Heat Pump: Exterior Unit At Or Near End of Service Life
  - 🔧 9.2.2 Heating/Cooling Lower Level - Heat Pump: Damaged or Missing Refrigerant Line Insulation
  - 🔧 9.2.3 Heating/Cooling Lower Level - Heat Pump: High Grade/Vegetation
  - 🔧 9.4.1 Heating/Cooling Lower Level - Interior A/C Unit/Handler: Interior Unit At or Near The End of Its Life
  - 🔧 10.2.1 Heating/Cooling 2nd Floor - Heat Pump: Exterior Unit At Or Near End of Service Life
  - 🔧 10.4.1 Heating/Cooling 2nd Floor - Interior A/C Unit/Handler: Interior Unit At or Near The End of Its Life
  - 🔧 11.7.1 Built-in Appliances, Kitchen & Laundry - Laundry: Missing Drip Pan
  - ⚠️ 12.2.1 Interior, Doors, Windows, Stairways - Steps, Stairways & Railings: No Returns
  - ⚠️ 12.2.2 Interior, Doors, Windows, Stairways - Steps, Stairways & Railings: Open Sided Stairway
  - ⚠️ 12.2.3 Interior, Doors, Windows, Stairways - Steps, Stairways & Railings: Loose handrail
  - ⚠️ 12.3.1 Interior, Doors, Windows, Stairways - Walls: Laundry Chute
  - 🔧 12.4.1 Interior, Doors, Windows, Stairways - Ceilings: Stains were tested and Dry
  - 🔧 12.4.2 Interior, Doors, Windows, Stairways - Ceilings: Damaged ceiling
  - ⚠️ 12.5.1 Interior, Doors, Windows, Stairways - Floors: Loose Carpet
  - 🔧 12.6.1 Interior, Doors, Windows, Stairways - Doors: Door(s) Stick or Rub
  - 🔧 12.6.2 Interior, Doors, Windows, Stairways - Doors: Missing Hardware
  - 🔧 12.7.1 Interior, Doors, Windows, Stairways - Windows: Missing/Loose or Damaged Hardware
  - 🚫 13.2.1 Attached Garage - Ceiling: Moisture Intrusion
  - 🔧 13.3.1 Attached Garage - Floor: Typical Settlement Cracks
  - ⚠️ 13.6.1 Attached Garage - Garage Door Opener: Missing Sensors
  - 🔧 13.6.2 Attached Garage - Garage Door Opener: Opener Must Be Held Down

# 1: INSPECTION DETAILS

## Information

---

**General: Building Style**

Single-Family

**General: In Attendance**

None

**General: Occupancy**

Vacant

**General: Temperature  
(approximate)**

55 Fahrenheit (F)

**General: Weather Conditions**

Partly Cloudy

## General: General Information

**Congratulations** on purchasing your new home and thank you for choosing **CDA Inspection Services, LLC** to perform your home inspection.

Purchasing a home can be a stressful process. A home inspection is supposed to give you peace of mind, but can sometimes have the opposite effect. You will be asked to absorb a lot of information in a short period of time. This often includes a written report, photographs, and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do? Relax, don't stress.

Most of your inspection will be maintenance items, major items, safety concerns, system or component life expectancy and minor imperfections. Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect. Keep things in perspective. Don't kill your deal over minor deficiencies. It is inappropriate to demand that a seller address deferred maintenance, conditions already listed on the seller's disclosure, or minor items.

**Please carefully read the entire Inspection Report, including the summary located at the end of the report. This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.**

**The report(s) will not be released until the Pre-Inspection Agreement is signed and all fees are paid to CDA Inspection Services, LLC.**

### INTRODUCTION, SCOPE, DEFINITIONS, & COMPLIANCE STATEMENT:

The following numbered and attached pages are your home inspection report. The report includes pictures, information, and recommendations. This inspection was performed in accordance with our Pre-Inspection Agreement and the current Standards of Practice and Code of Ethics of the Inter-National Association of Certified Home Inspectors. The Standards contain certain and very important limitations, exceptions, and exclusions to the inspection. A copy of the Standards is included in your report.

### SCOPE:

This inspection complies and reflects with the provision of Act 114, Section 75, known as the PA Home Inspection Law. A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of the visible, readily accessible and apparent condition of the structure and its components at the time of inspection with a focus on safety and function, not current building or municipality codes. The results of this inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection. Any negotiated evaluations or repairs should be completed prior to closing, we recommend a final walk-through immediately before closing to check the condition of the property.

No warranty, guarantee, or insurance by CDA Inspection Services, LLC is expressed or implied. This report does not include inspection for wood destroying insects, mold, lead or asbestos. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No invasive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated.

We are not licensed structural engineers or other professionals whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts. You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers, or roofers.

This home inspection is not a compliance inspection or certification of any kind. It is an inspection of the condition of the home **at the time of the inspection**. This inspection does not cover items or conditions that may only be discovered by invasive methods. No removal of materials or dismantling of systems shall be performed during this inspection. This is not a technically exhaustive inspection. Items not found in this report are considered beyond the scope of the inspection and should not be considered inspected at this time. A verbal consultation or property education with the inspector, preferably at the time of the inspection is considered a mandatory part of this inspection. If you choose not to consult or be present at the time of the inspection with the inspector, CDA Inspection Services, LLC cannot be held liable for your understanding or misunderstanding of this reports contents. We have not verified that any required permits were obtained for the construction, remodeling or system upgrades of this building. You should verify that all necessary permits were obtained and inspections performed by contacting the local municipal authority.

### NOTICE TO THIRD PARTIES OR OTHER PURCHASERS:

Receipt of this report by any purchasers of this property other than the party(ies) identified on the cover page of this report is not authorized by the inspector. The inspector strongly advised against any reliance on this report. We

---

recommend that you retain a qualified home inspector to provide you with your own inspection and report on this property. Liability under this report is limited to the party identified on the cover page of this report.

## **COMMENT CATEGORY DEFINITIONS**

### **Maintenance | Service | Repair:**

Maintenance items, suggested upgrades and do-it-yourself maintenance/repairs will fall into this category. These items are generally considered lower cost repairs and items that should be addressed. If not addressed, these items may ultimately lead to Major Concerns if left neglected for extended periods of time.

### **Major Concerns:**

These items are specific issues with a system or component of a residential property that is not functional or may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people or property. These items are often imminent or may be very difficult or expensive to remedy and/or may lead to even more expensive repairs in the future if not addressed. All defects should be repaired.

### **Safety Concern:**

This category is composed of immediate safety concerns or defects that could cause personal injury. This also includes systems or components that pose an unreasonable risk to people or property. Many safety defects mentioned should be considered as upgrades to the property to improve safety. The fact that a safety component is missing does not necessarily insinuate a defect is present. We recommend that you read the entire Inspection report, including the InterNACHI SOP and the limitations tabs to fully assess the findings of the inspection. Please call us for any clarifications or further questions.

## **PENNSYLVANIA HOME INSPECTOR COMPLIANCE STATEMENT:**

I represent that I am a full member in good standing of the National Association of Certified Home Inspectors (InterNACHI), [www.nachi.org](http://www.nachi.org). Member #18032609. Certified Professional Inspector (CPI). We will conduct a home inspection of the previously mentioned property in accordance with the (InterNACHI) Code of Ethics and Standards of Practice and the Home Inspection Agreement. We are in compliance with the Pennsylvania Home Inspection Law. We carry all the state-required insurance.

### **Report Updating:**

We reserve the right to update the home inspection report for up 72 hours after the report has been sent.



## 2: ORIENTATION DETAILS

### Information

---

#### **General: General Information**

##### **Included Photos:**

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos. Inversely the included photos may not show all problem areas or conditions. A representative example of photos may be used.

##### **Location References:**

For the purpose of this report all directions are given as if you are standing facing the front of the house. Items listed as Multiple Locations may not directly reference all effected locations. Examples may be given that should not be construed as the only affected areas. Further evaluation will need to take place to determine every effected location.

## 3: ROOF

### Information

---

**General: Inspection Method**

Drone View, Viewed from the edge at various areas

**General: Material**

Asphalt

**General: General Condition**

Serviceable

**Pitched Roof Asphalt Shingles: Approximate Roof Age**

<8

**Roof Drainage Systems: Gutter Material**

Aluminum

**Roof Drainage Systems: Gutter Guards**

Metal

**Flashings: Material**

Metal

**Chimney: Access**

Viewed with Drone

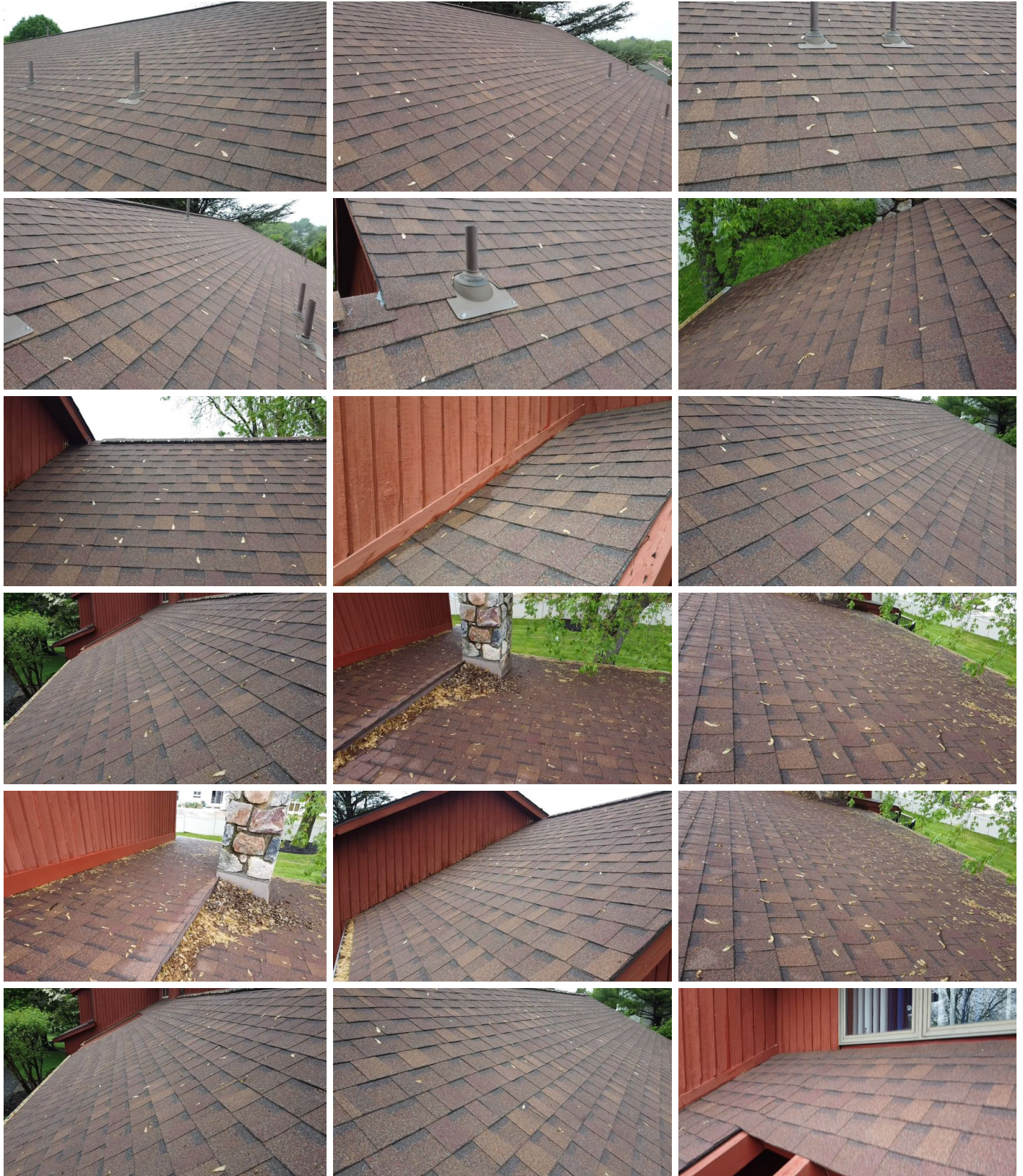
**Chimney: Chimney Material**

Stone

**General: General Information**

We evaluated the roof in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the visible and accessible roof covering, drainage systems, flashings, skylights, chimneys and roof penetrations. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

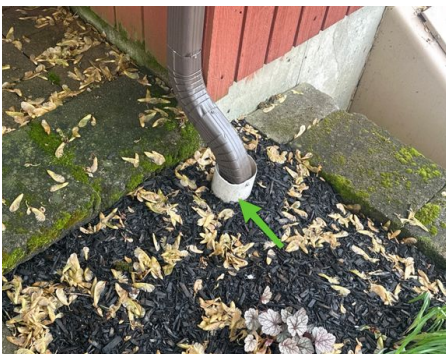
Our inspection is not considered a certification of the roof for insurability. Consider reaching out to your insurance provider prior to closing for insurability verification.





### Roof Drainage Systems: Underground Drains

There are underground drains on the property. This type of drainage requires regular maintenance due to clogging or backup of water to the lower structure. It may be difficult to determine the discharge location. You should monitor or install the downspout above grade a safe distance away from the foundation.



### Roof Drainage Systems: Upper Roof Discharges onto Lower Roof

The upper downspouts are discharging onto the lower roof. This may cause premature wear to the roofing material. You may consider extending the downspouts to the lower gutter.



## Chimney: Chimney Location

Plane



## Chimney: Level II Chimney Inspection

(2) Fireplace Chimneys

We recommend a level II chimney inspection prior to closing. A level 2 chimney inspection is conducted by running a specialized inspection camera through the interior of the fireplace and chimney to inspect for concealed damage to the flue liner, as well as the inspection of the exterior of the chimney.

## Limitations

General

### STEEP PITCH

Direct access to the roof is limited due to the steep pitch of the roof. The roof was evaluated at the edge of the roof and or with the use of binoculars/drone.

Chimney

### VIEWED WITH DRONE

Due to unsafe conditions a drone was used to view the chimney.

## Deficiencies

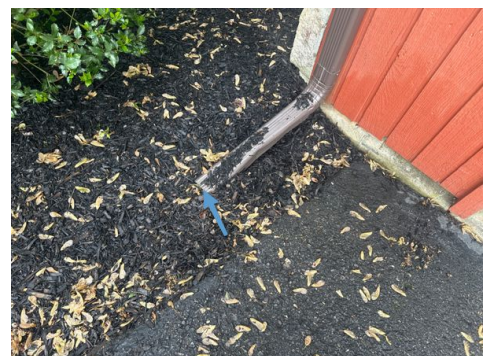
3.3.1 Roof Drainage Systems



Maintenance / Service

### DOWNSPOUTS DRAIN NEAR HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. You should install downspout extensions to drain at least 6 feet from the foundation.



3.4.1 Flashings



Maintenance / Service

### KICK OUT FLASHING(S) MISSING

BACK GARAGE

A kick out flashing(s) is missing where the gutter intersects with the siding. This type of flashing is designed to divert roof water run off into the gutter and not overflowing to the lower foundation area. You should consider having this installed.

Recommendation

Contact a qualified professional.



### 3.5.1 Chimney



#### **MISSING CRICKET**

Cricketts are installed to deter water from the upper side of the chimney. Without a cricket or diverter the flashed areas of the chimney may be prone to leakage. You should consider contacting a qualified roofing contractor for further information and follow their recommendations.

Recommendation

Contact a qualified professional.



## 4: EXTERIOR

### Information

---

**Walkways, Stoops, Steps, Patios & Driveways: Driveway**

**Material(s)**

Asphalt

**Walkways, Stoops, Steps, Patios & Driveways: Step Material**

Concrete

**Siding: Siding Material**

Stone Veneer, Cedar Paneling

**Windows: Materials**

Vinyl Clad Wood Framed

**Decks, Balconies, Porches & Steps: Guardrail Material(s)**

Composite

**Walkways, Stoops, Steps, Patios & Driveways: Walkway**

**Materials(s)**

Concrete, Pavers

**Soffit & Fascia: Soffit Material**

Aluminum, Wood

**Trim: Trim**

Wood

**Decks, Balconies, Porches & Steps: Attachment Type(s)**

Deck

**Walkways, Stoops, Steps, Patios & Driveways: Stoop Material**

Concrete

**Soffit & Fascia: Fascia Material**

Metal

**Exterior Doors: Exterior Entry Door(s)**

Storm Doors, Steel Bilco Door, Metal, Overhead Garage Doors

**Decks, Balconies, Porches & Steps: Material(s)**

Composite

## General: General Information

We evaluated the exterior in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the visible and accessible claddings, flashings, doors, drainage, and surrounding grounds which may have an adverse affect on the building. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.



## Limitations

---

Decks, Balconies, Porches & Steps

### **FIXED SKIRTING**

Fixed skirting prevented access to the underside of the deck. Therefore we were unable to access the underside of the deck for hidden deficiencies. Undiscovered defects may exist.

---

Decks, Balconies, Porches & Steps

### **DECK/BALCONY - FOOTINGS NOT VISIBLE**

There are no visible concrete footings beneath the support columns. You should contact a qualified contractor or deck builder to ensure the structure has proper concrete footings.

---

Vegetation, Grading & Drainage

### **MULCH OR STONE AROUND THE PERIMETER**

There is mulch or stone around the perimeter at some areas. Due to this type of cover we were unable to view for proper grade height at the time of this inspection.

## Deficiencies

---



## 4.2.1 Walkways, Stoops, Steps, Patios &amp; Driveways

 Safety Defects
**WALKS UNEVEN**

The walks are uneven at a few small areas. This is a safety concern-trip hazard, suggest making repairs to create an even and level surface.



## 4.2.2 Walkways, Stoops, Steps, Patios &amp; Driveways

 Safety Defects
**MISSING HANDRAIL**

The handrail is missing. Handrail should be installed to prevent injury.

Recommendation

Contact a qualified professional.



## 4.2.3 Walkways, Stoops, Steps, Patios &amp; Driveways

 Maintenance / Service
**DRIVEWAY CRACKING**

Cracking was observed. Recommend monitoring and/or have contractor patch/seal.



## 4.2.4 Walkways, Stoops, Steps, Patios &amp; Driveways

 Maintenance / Service
**DRIVEWAY SETTLED AT THE GARAGE**

The driveway appears to have settled at the garage. This may allow water to accumulate next to the foundation. You should have the open areas sealed.

Recommendation

Contact a qualified professional.



4.4.1 Siding

Major Items

**LOOSE SIDING**

BACK GARAGE

The siding is loose at various areas. Loose siding can allow moisture or insects to enter. The siding provides important weather protection. The siding should be repaired or replaced.

Recommendation

Contact a qualified professional.



4.4.2 Siding

Maintenance / Service

**DAMAGED AND/OR DETERIORATED SIDING**

ABOVE GARAGE

The siding is damaged and/or deteriorated at areas. Siding is the protection for the building and any damage or deterioration could allow moisture and weather intrusion, causing further damage and expense. The siding material should be repaired or replaced as needed to make a weather-tight envelope for the building.

Recommendation

Contact a qualified professional.



4.4.3 Siding

Maintenance / Service

**DAMAGED/HOLES SIDING**

The siding is damaged or has holes at a few small areas. This could allow moisture to penetrate causing further damage to the building materials. The siding material should be repaired or replaced.

Recommendation

Contact a qualified professional.



4.4.4 Siding

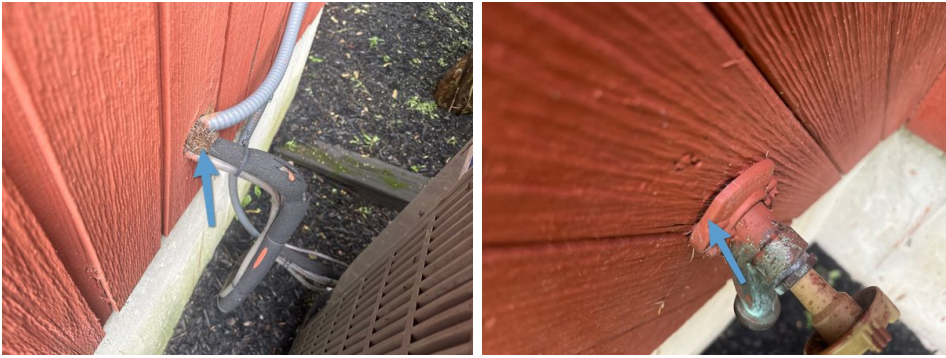
Maintenance / Service

**CAULKING AT UTILITES**

Caulking is missing where the utility lines or piping enter through the exterior wall. Moisture, pests or insects intrusion is possible. These areas should be caulked with appropriate caulking material.

Recommendation

Contact a qualified professional.



## 4.4.5 Siding

**CAULKING/GROUT AT MASONRY INTERSECTION**

The caulking or grout is missing at the intersection of the masonry and siding. These areas should be sealed to prevent moisture entry.

## Recommendation

Contact a qualified professional.



## 4.6.1 Exterior Doors

**DOUBLE CYLINDER DEADBOLT**

The Exterior door(s) have a double cylinder deadbolt that require a key to open from either side. This may hamper emergency egress. You should have these changed to an interior thumb latch.

## Recommendation

Contact a qualified professional.



## 4.6.2 Exterior Doors



Maintenance / Service

**RUSTY BILCO DOOR SYSTEM**

The bilco door is rusting. You should sand and paint the door system with an appropriate quality exterior paint.

Recommendation

Contact a qualified professional.



## 4.6.3 Exterior Doors



Maintenance / Service

**AIR GAP**

BILCO

There is an air gap between the door and the door trim/framing. This will allow her to pass through increasing your heating and cooling expense.

Recommendation

Contact a qualified professional.



## 4.9.1 Vegetation, Grading &amp; Drainage



Maintenance / Service

**VEGETATION CLOSE OR TOUCHING THE DWELLING**

The trees or bushes are close or touching the dwelling. This can retain moisture at the siding areas which may allow for mold/mildew. You should trim these areas back to allow for proper air flow.

Recommendation

Contact a qualified professional.



## 4.9.2 Vegetation, Grading &amp; Drainage



Maintenance / Service

**TREE OVERHANG**

Tree's were observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. The overhang should be trimmed back to allow for proper drainage and deter possible damage.



## 4.9.3 Vegetation, Grading &amp; Drainage



Maintenance / Service

**HIGH GRADING**

The grading is high at areas. This can allow moisture or insect penetration. The ground should be at least 2 to 3 inches below the siding or top of the foundation.

Recommendation

Contact a qualified professional.



4.10.1 Pest Indications

 Maintenance / Service

**CURRENT PEST TREATMENT PRESENT**

There are signs of current treatment for pests. We recommend that you continue this treatment.

Recommendation

Contact a qualified professional.



4.10.2 Pest Indications

 Maintenance / Service

**WOODPECKER DAMAGE**

There are signs of damage from woodpeckers.

Recommendation

Contact a qualified professional.



## 5: STRUCTURE

### Information

---

<b>General: Inspection Method</b> Basement Entered, Garage Attic Viewed from opening	<b>Foundation: Foundation Type</b> Basement	<b>Foundation: Material(s)</b> Concrete
<b>Floor Structure: Material</b> Dimensional Wood	<b>Floor Structure: Beam Material</b> Wood Beam	<b>Floor Structure: Column Material</b> Not Visible
<b>Floor Structure:</b> <b>Basement/Crawlspace Floor</b> Concrete	<b>Wall Structure: Material</b> Conventional Wood	<b>Ceiling Structure: Material</b> Dimensional Framing Lumber
<b>Roof Structure: Material</b> Manufactured Truss		

#### General: General Information

We have evaluated the structural system of the building in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes the inspection of the visible and accessible foundation, floor, wall, ceiling and roof structure of the building.

### Limitations

---

General

#### RESTRICTIONS

Stored Items, Limited Space, Stored items in closet to main attic access

---

General

#### RESTRICTIONS/LIMITED ACCESS

We were unable to view various areas in the below grade space at the time of this inspection due to limitations. These limitations could refer to any of the following: Stored items, finished walls or surfaces, walls that are fully or half insulated, Painted surfaces, Insulated ceilings, Suspended ceilings, Insulated rim joist, Inaccessible areas. Therefore, there may be hidden deficiencies which were not visible at the time of this inspection. Lack of full access also restricts the ability to determine the condition of structural materials.

---

Foundation

#### STORED ITEMS

Access to some areas was restricted due to stored items making it difficult, unsafe or impossible to inspect. Lack of full access limited our ability to inspect for hidden damages.

---

## Floor Structure

**LIMITED ACCESS CEILING(S) FINISHED**

There was limited access to this area. Therefore we were unable to inspect for hidden damage or unsafe conditions.

## Wall Structure

**LIMITED ACCESS**

The ability to inspect this area was limited due to limited access or unsafe conditions. Lack of access restricted the ability to inspect for hidden damage or unsafe conditions at the time of this inspection.

## Ceiling Structure

**LIMITED ACCESS**

There was limited access to this area. Therefore we were unable to inspect for hidden damage or unsafe conditions.

## Roof Structure

**STORED ITEMS NOT INSPECTED**

## MAIN HOUSE ATTIC

We were unable to access the attic area to evaluate the building components at the time of this inspection. These components are structural, moisture concerns, framing, insulation, ventilation, possible mold/mildew etc. could not be determined. If you wish and access is provided prior to settlement please call for arrangements to have this area inspected.

## Deficiencies

## 5.2.1 Foundation



Maintenance / Service

**FOUNDATION CRACKS**

There are typical crack(s) present at some areas of the foundation wall. This is common as concrete ages and shrinks where surface cracks are normal at approximately 1/16". You should monitor for any additional change or moisture at these areas. If leakage should occur these can be sealed by a qualified contractor.



# 6: BASEMENT & CRAWLSPACE

## Information

**General: Inspection Method**  
Entered and Inspected

**Sump Pump(s): Sump Location**  
Basement, Sump Pit without Pump

**Ventilation: Ventilation Type**  
Basement  
Operable Windows



**Insulation: Insulated Area(s)**  
Ceiling, Rim Joist

### General: General Information

All basements or crawlspace areas are susceptible to moisture infiltration at some time or under certain circumstances. Most basement or crawlspace water problems are the result of poor water control measures at the exterior of the building. Please refer to the exterior portion of this report for more information. You should consider operating a dehumidifier.





**Egress: Egress Type**

Bulkhead (bilco) Door

Emergency egress is provided to the exterior by a walkout door, bulkhead (bilco) door, or egress window(s). You should contact the local city or municipal authority for all egress requirements.

If no egress is present this area should not be used as a bedroom or an apartment. If you intend on doing either one. I do recommend contacting the local city or municipal authority for all egress requirements.

**Egress: Egress**

Emergency egress is provided to the exterior by a walkout door, bulkhead (bilco) door, or egress window(s). You should contact the local city or municipal authority for all egress requirements.

**Limitations**

General

**ACCESS RESTRICTIONS**

Stored items, Finished Walls & Ceilings

General

**STORED ITEMS**

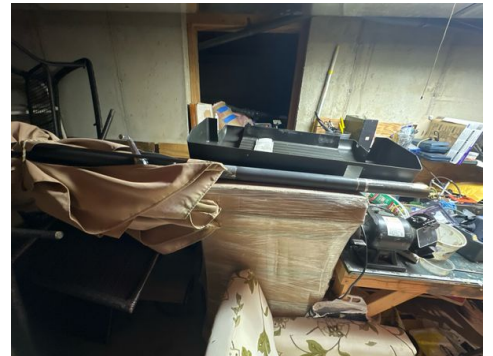
Access was limited to stored items. Lack of full access restricted the ability to inspect for hidden damage, concerns or safety issues.

Ventilation

**STORED ITEMS NO ACCESS**

CRAWLSPACE

Access to the crawlspace was limited due stored items.



Insulation

**SUSPENDED CEILINGS**

The are suspended ceilings present. These are typically made of fiberboard and in some cases (older) main contain asbestos. We were unable to remove the tiles due to the tight installation. Therefore we were unable to determine the above building components at the time of this inspection.

**Deficiencies**

6.6.1 Moisture

**EFFLORESCENCE**

Efflorescence noted on the wall surface. This is a white, powdery deposit that is consistent with moisture intrusion. This can compromise the soil's ability to support the home structure and/or lead to mold growth. Recommend a qualified contractor identify source of moisture and correct.



# 7: ELECTRICAL

## Information

**Service Entrance Conductors:**  
**Service Entrance**  
 Underground



**Grounding & Bonding: Bonding**  
 Water meter bonded

**Service Entrance Conductors:**  
**Electrical Service Conductors**  
 Aluminum

**Main & Subpanels & Main**  
**Overcurrent Device: Main**  
**Disconnect Location**  
 Inside the Main Panel



**Main & Subpanels & Main**  
**Overcurrent Device: Panel**  
**Capacity**  
 200 AMP

**Branch Wiring Circuits: Wiring**  
**Method**  
 Non Metallic

**Grounding & Bonding: Service**  
**Grounding Location**  
 Plumbing supply line



**Main & Subpanels & Main**  
**Overcurrent Device: Panel Type**  
 Circuit Breaker

**Branch Wiring Circuits: Branch**  
**Wire/Major Appliances**  
 Stranded Aluminum

**Lighting Fixtures, Switches &**  
**Receptacles: Receptacle Type**  
 3-prong

**Branch Wiring Circuits: Branch**  
**Wire Type**  
 Copper

**GFCI/AFCI: GFCI Location**  
 Kitchen(s)

**GFCI/AFCI: GFCI Outlets**  
**Operational**  
 Operational

**GFCI/AFCI: Arc Fault Circuit**  
**Interrupters**  
 Not Present

**Smoke Detectors: Smoke Alarm**  
**Location**  
 1st Floor, 2nd Floor

The GFCI outlets were tested and functional at the time of this inspection.

**General: General Information**

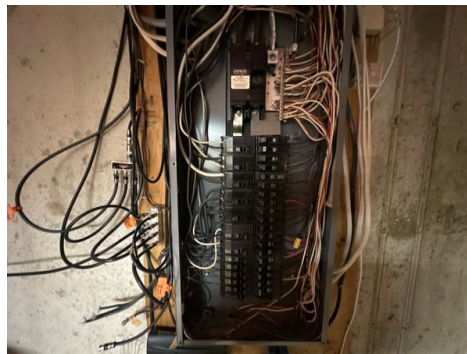
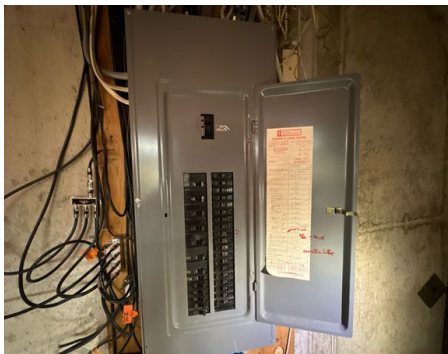
We evaluated the electrical system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes identifying the type and capacity of the service and evaluating panels, grounding, overload protection, wiring, and a representative number of switches, receptacles and light fixtures. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

**General: There is a central vacuum system installed in the building**

There is a central vacuum system installed in the building. Inspection and testing of this system is beyond the scope of this inspection. You should ask the current owner to explain its use to you and get the name of the installation or service company they use.

**Main & Subpanels & Main Overcurrent Device: Main Panel Location(s)**

Basement

**Main & Subpanels & Main Overcurrent Device: No additional room for expansion**

There is no room for additional breakers inside the panel. If you need additional breakers you will need an additional subpanel or a larger panel box.



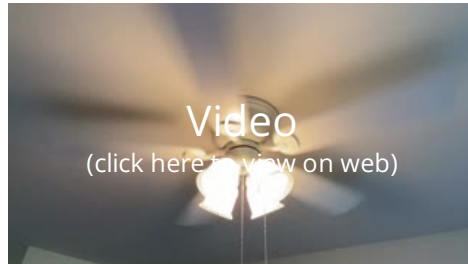
## Lighting Fixtures, Switches & Receptacles: General Information

Wiring devices, such as lighting fixtures, switches and receptacles, provide access to electrical power throughout the building. To be safe, they must be installed properly and replaced when worn. Ground fault and arc fault protection should be provided in all locations required by current codes. Smoke detectors should be provided on every level of the building including the basement, and in each sleeping area. Smoke detectors should be replaced about every 10 years. Carbon monoxide detectors should be provided on every level of the building including the basement and should be replaced about every 6 years. Exterior metal components should be grounded to the earth. A representative number of installed lighting fixtures, switches and receptacles were inspected, in accordance with InterNACHI standards. If problems were noted, you should have a qualified electrician check all similar devices, since similar problems may exist in other devices.

## Lighting Fixtures, Switches & Receptacles: Ceiling Fan(s)

3rd Floor Bedroom

Present and Functional



## Lighting Fixtures, Switches & Receptacles: Hi Hat Recessed Light Fixtures

"Hi Hat" recessed light fixtures are used in this building. Reflector-type lamps should be used in recessed fixtures to reduce heat buildup. Never use lamps of greater wattage than permitted by the manufacturer.

## GFCI/AFCI: General Information

Ground Fault Circuit Interrupters are safety devices designed to help prevent injury to people caused by electric shock. They are currently required to be used in locations such as kitchens, wet bars, bathrooms, unfinished basements, crawl spaces, garages, accessory buildings, and outdoors. Older buildings, built before these requirements took effect, may not have this protection in all of these locations. It is relatively inexpensive to add this protection. Critical equipment such as refrigerators, freezers, security systems, garage door openers, sump pumps, sewage ejector pumps and alarms, should not be powered by GFCI's because the equipment will not operate if the GFCI trips.

An arc-fault circuit interrupter (AFCI) also known as an arc-fault detection device (AFDD) is a circuit breaker that breaks the circuit when it detects an electric arc in the circuit it protects to prevent electrical fires. AFCI's are currently required at outlets on branch circuits for bedrooms, closets, dens, dining rooms, family rooms, hallways, kitchens, laundry areas, libraries, living rooms, parlors, recreation rooms, and sun rooms.

## Smoke Detectors: Smoke Alarm Upgrade

**RECOMMENDED SAFETY UPGRADE:** Recommended that ALL ionization alarms regardless of age be replaced with Photoelectric smoke alarms. Extensive research clearly shows that photoelectric smoke alarms are far more reliable in most real world fire scenarios. Nearly 95% of the smoke alarms installed in US residences are IONIZATION alarms. Ionization alarms are approved smoke alarms and DO comply with the legal requirements for transfer in MOST jurisdictions. However, research shows that ionization alarms RESPOND TOO SLOWLY to the smoldering/ smoke fires responsible for most residential fire deaths. Ionization alarms are also notorious for nuisance tripping from cooking, shower steam, etc. Ionization alarms will fail to adequately warn occupants about 55% of the time. With photoelectric alarms the occupants will receive sufficient warning about 96% of the time. Ionization technology alarms pose a significant life safety risk. Combination alarms are not recommended.

## Carbon Monoxide Detectors: Carbon Monoxide Present

Carbon monoxide detectors are present in the immediate vicinity of the bedrooms. Be sure to test all locations periodically

## Security Systems: General Information

Security systems are beyond the scope of this inspection. You should contact the seller or the security company for further information.

## Deficiencies

### 7.2.1 Service Entrance Conductors



Maintenance / Service

#### **CAULK NEEDED METER BOX**

Caulk is needed at the meter box to prevent water intrusion.

Recommendation

Contact a qualified professional.



### 7.4.1 Main & Subpanels & Main Overcurrent Device



Safety Defects

#### **SHARP POINTED SCREWS**

There are sharp pointed screws attaching the panel cover. This can damage the wiring. The screws should be replaced with blunt tip screws.

Recommendation

Contact a qualified professional.



### 7.4.2 Main & Subpanels & Main Overcurrent Device



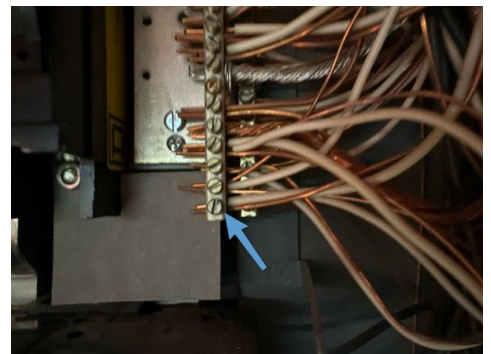
Maintenance / Service

#### **GROUND AND NEUTRAL UNDER SAME SCREW**

The ground and neutral terminate under the same screw. This should be further evaluated by a qualified professional.

Recommendation

Contact a qualified professional.



### 7.5.1 Branch Wiring Circuits



Safety Defects

#### **WIRES TERMINATE OR SPLICED IN OPEN AIR**

BACK RIGHT OF DECK

Wires are terminated in open air. This is a safety concern. Exposed wiring should be installed inside a junction box or removed if inactive.

Recommendation

Contact a qualified professional.



7.6.1 Lighting Fixtures, Switches & Receptacles



**LOOSE RECEPTACLES AND OR JUNCTION BOX**

There are loose outlets and or junction boxes present. This could cause a short circuit. These outlets should be repaired or replaced.

Recommendation

Contact a qualified professional.



7.6.2 Lighting Fixtures, Switches & Receptacles



**LOOSE OR NOISY CEILING FAN**

Loose ceiling fan(s) present. Repair or replacement is needed.

Recommendation

Contact a qualified professional.



7.6.3 Lighting Fixtures, Switches & Receptacles



**CEILING FAN OFF BALANCE**

PRIMARY BEDROOM

The ceiling fan is off balance. This is typically an easy DIY repair. However, if you are not comfortable doing so a general handyman can easily fix this issue.

Recommendation

Contact a qualified professional.



#### 7.6.4 Lighting Fixtures, Switches & Receptacles



Maintenance / Service

### **BULBS MISSING/BURNED OUT**

There is missing and or burned out bulbs. Replacement is recommended.

Recommendation

Contact a qualified professional.



#### 7.7.1 GFCI/AFCI

### **GFCI OUTLET(S) MISSING**

BATHROOMS, BAR SINK, LAUNDRY

GFCI outlet(s) missing at recommended area(s). You should have GFCI outlets installed to avoid possible injury.

Recommendation

Contact a qualified professional.



Safety Defects

#### 7.7.2 GFCI/AFCI

### **RECEPTACLES NOT WEATHERPROOF WHEN IN USE**

The exterior covers may not be fully weather proof when in use or missing covers. You should have the covers updated to the current standard.

Recommendation

Contact a qualified professional.



Safety Defects



#### 7.8.1 Smoke Detectors

### **MISSING SMOKE DETECTORS**

BEDROOMS

Some smoke detectors were missing at the time of this inspection. This is a safety concern. Smoke alarms should be installed at all appropriate locations according to current safety standards.

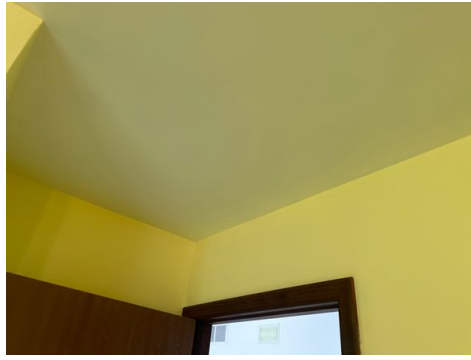
Recommendation

Contact a qualified professional.



Safety Defects





# 8: PLUMBING & FUEL STORAGE/DISTRIBUTION SYSTEMS

## Information

**General: Filters**  
Water Softner



**Main Water Shut-off Device:**  
**Location**  
Basement



**Main Water Shut-off Device:**  
**Check Valve/ Pressure Regulator**  
Backflow Preventer



**Water Supply, Distribution Systems & Fixtures: Distribution Material**  
Copper, Galvanized

**Water Supply, Distribution Systems & Fixtures: Water Supply Material**  
Copper

**Drain, Waste, & Vent Systems: Material**  
Steel, PVC

**Hot Water Systems: Location**  
Utility Room

**Hot Water Systems: Age**  
6

**Hot Water Systems: Power Source/Type**  
Electric, Heat Pump



**Hot Water Systems: Capacity**  
80 gallons

### General: General Information

We evaluated the plumbing system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes the supply, drain, waste and vent piping systems, the water heating equipment with any associated vent systems, and below grade drainage systems. Shut off, relief and pressure regulating valves were located but not operated. I did not operate these valves during this inspection because there is a chance that the valve, when turned on after a long period of not being operated, will not shut off completely. You should have these valves tested or evaluated by a plumber initially so that a repair professional will be available if there are problems. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

**General: Water Source**

Public

The supply system is responsible for providing fresh, potable water to the building in the quantities required for drinking, washing and cooking. We evaluated this system by operating every faucet and observing its flow while one or more other faucets are operated simultaneously. This is known as "functional flow" and is a subjective evaluation. You should know that leaks will inevitably occur; usually relative in severity to the age of the system. The water supply to the building is either public or private. It is beyond the scope of this inspection to verify the source of water to the property. We did not evaluate the supply system beyond the foundation wall during this inspection.

**Water Supply, Distribution Systems & Fixtures: Lead/Solder**

The solder at the piping connections may contain lead when homes were constructed before 1988. Lead is a health hazard. You should consider testing the water periodically to be sure there is no presence of lead.

**Water Supply, Distribution Systems & Fixtures: Water Treatment Equipment Installed**

There is a treatment system installed. These are beyond the scope of this inspection. You should contact the owner for further information or a service company they may use.

**Drain, Waste, & Vent Systems: Sewer Lateral Inspection Not Performed**

We recommend a sewer lateral inspection prior to closing. A sewer lateral line inspection is performed to discover hidden issues in your homes sewage system. Whether public or private, costly repairs can often go unnoticed until complete failure of the sewer line. With use of a high definition camera, we scope from your home to the main sewer line, checking for cracks, blockages, offsets, sags, debris and crushed pipes.

**Sinks/Tubs/Showers/Toilets: General Information**

We evaluated the bathroom areas in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI) which includes the plumbing fixtures, countertops and a representative number of installed cabinets. I do not inspect clothes washers, clothes dryers, refrigerators, or any portable appliances. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

**Sinks/Tubs/Showers/Toilets: Serviceable**

The interior plumbing components were operated and found to be in serviceable condition at the time of this inspection unless noted below.

**Hot Water Systems: Manufacturer**

Rheem

We recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 125 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.



## Hot Water Systems: Functional

The water heating system was tested at various areas. The hot water heating system was functional at the time of this inspection.



## Hot Water Systems: TPR Drain Valve

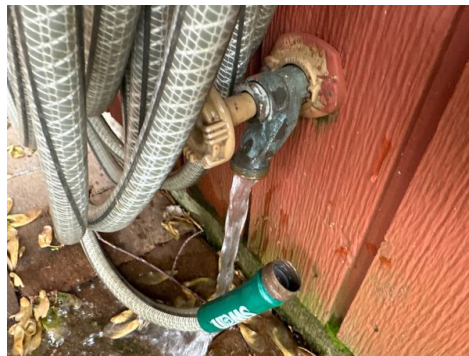
Present

TPR Valves and Discharge Piping. Temperature/pressure-relief or TPR valves are safety devices installed on water heating appliances, such as boilers and domestic water supply heaters. ... The valve should be connected to a discharge pipe (also called a drain line) that runs down the length of the water heater tank.



## Hose Bibs: Type

Frost Free, Functional



## Deficiencies

### 8.4.1 Drain, Waste, & Vent Systems

#### **CORRODED DRAIN LINES**

Some of the drain lines show signs of corrosion. Consider replacement in the future to prevent the potential for leaks.

Recommendation

Contact a qualified professional.



Maintenance / Service



## 8.5.1 Sinks/Tubs/showers/Toilets



Maintenance / Service

**LOOSE FAUCET**

The faucet is loose and may begin to leak. This should be repaired by a qualified plumber.

Recommendation

Contact a qualified professional.



## 8.5.2 Sinks/Tubs/showers/Toilets



Maintenance / Service

**TUB DIVERter LEAKS**

The diverter at the tub is allowing water to flow through the spout instead of directing it to the shower head. The diverter should be repaired or replaced for proper or designated flow location.

Recommendation

Contact a qualified professional.



## 8.5.3 Sinks/Tubs/showers/Toilets



Maintenance / Service

**DIVERter STICKS**

The tub diverter sticks. This is a simple repair.

Recommendation

Contact a qualified professional.



# 9: HEATING/COOLING LOWER LEVEL

## Information

**Heat Pump: Brand**  
American Standard

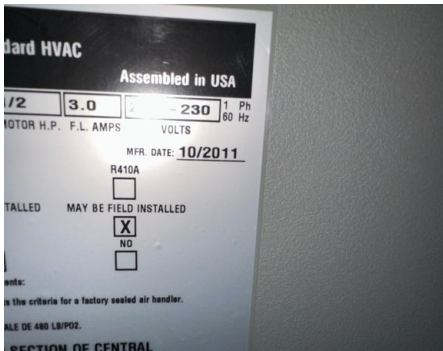


**Heat Pump: Age**  
12



**Heat Pump: Tonage**  
5 Ton

**Interior A/C Unit/Handler: Age**  
13



**Interior A/C Unit/Handler: Location**  
Basement



**Interior A/C Unit/Handler: Condensate Drainage Type/Location**  
Condensate Pump, Exterior

**Distribution System : Type**  
Central

**Distribution System : Duct/Materials**  
Flexible

**Air Filter(s): Type**  
High Efficiency

**Air Filter(s): Location**  
Indoor Unit



**General: General Information**

We evaluated the heating & cooling system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes identifying the heating and cooling methods and energy sources, and inspecting the installed heating and cooling equipment and vent system. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Accessory items such as humidifiers, dehumidifiers, electronic air filters and solar heating systems are beyond the scope of this inspection.

Heat Pumps & Air conditioners have an average of 12-15 years of service life. Systems should be professionally serviced every 2 to 3 years. Air conditioner filters should be cleaned or replaced monthly to maintain efficiency. Service contracts are available from heating contractors or utility companies. **Note:** Please refer to this you tube site for heat Pump Information. <https://youtu.be/QykwWs3L1W8>

Typical service life of a furnace gas or fuel fired system can be expected to last between 15 and 20 years. This average varies, of course, based on the quality of the unit, how it's used and whether it has been properly maintained. The system should be periodically serviced according to the manufactures instructions by a qualified certified HVAC contractor.

**Heat Pump: Operating/Testing Mode**

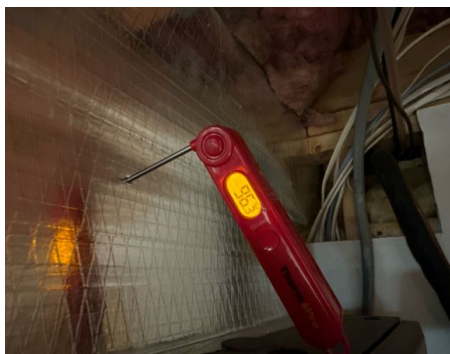
Heating & Emergency Modes

Outdoor temperatures will dictate which mode the system is evaluated in. Below 65 degrees we do not operate the system in accordance to InterNACHI Standards of practice in the cooling mode. Due to incorrect split degree difference between the air supply and return registers. Damage may also occur when operating below 65 degrees.

**Heat Pump: Heat Pump Functional**

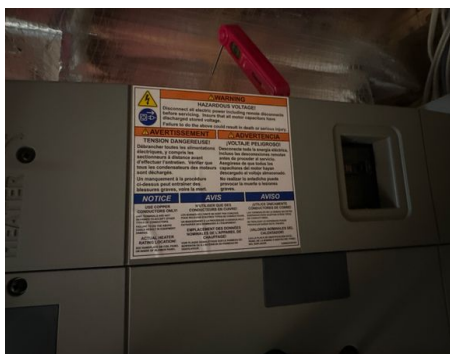
Functioned when tested

The heat pump was tested and appeared to be functional at the time of this inspection.



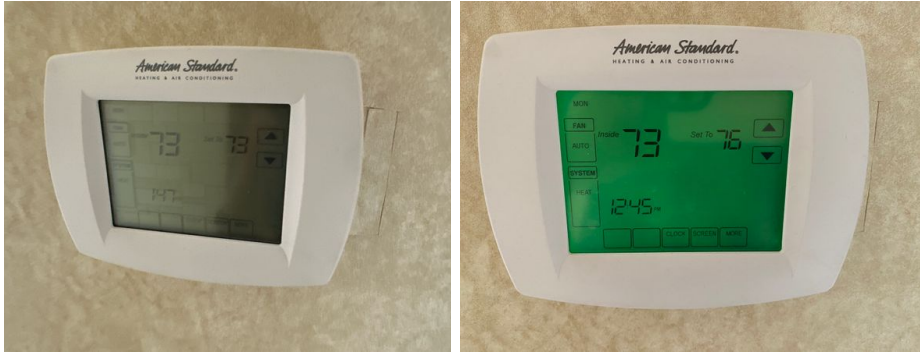
**Heat Pump: Supplemental Heat**

Electrical Coil Located inside the Unit, Functional



## Normal Operating Controls: Thermostat Functional

### Functional



## Interior A/C Unit/Handler: Condensate Pump

The indoor unit cooling coil drains into a condensate pump. Testing or evaluation of this is beyond the scope of this inspection. The pump appeared serviceable at the time of this inspection.



## Deficiencies

### 9.2.1 Heat Pump



## EXTERIOR UNIT AT OR NEAR END OF SERVICE LIFE

The exterior unit is at or near the end of its life. The average service life is 12-15 years. Maintenance, repairs and/or replacement should be expected in the future.

Recommendation

Contact a qualified professional.

### 9.2.2 Heat Pump



## DAMAGED OR MISSING REFRIGERANT LINE INSULATION

The refrigerant line insulation jacket is damaged or missing. This may cause a reduction in operational efficiency. The insulation jacket should be repaired or replaced.

Recommendation

Contact a qualified professional.



### 9.2.3 Heat Pump



## HIGH GRADE/VEGETATION



The grade or vegetation is too high or close to the exterior unit. This may hamper its effectiveness. You should adjust the grade and trim back vegetation.

Recommendation

Contact a qualified professional.



9.4.1 Interior A/C Unit/Handler

### **INTERIOR UNIT AT OR NEAR THE END OF ITS LIFE**

The interior unit is at or near the end of its life. Maintenance, repairs and/or replacement should be expected in the future.

Recommendation

Contact a qualified professional.



# 10: HEATING/COOLING 2ND FLOOR

## Information

**Heat Pump: Brand**  
American Standard



**Heat Pump: Age**  
13



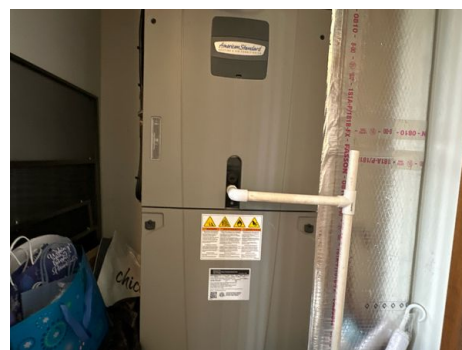
**Heat Pump: Tonage**  
5 Ton

**Normal Operating Controls:**  
Thermostat Functional  
Functional



**Interior A/C Unit/Handler: Age**  
13

**Interior A/C Unit/Handler: Location**  
2nd Floor Closet



**Interior A/C Unit/Handler: Condensate Drainage Type/Location**  
Unknown

**Distribution System : Type**  
Central

**Distribution System : Duct/Materials**  
Rigid Fiberglass

**Air Filter(s): Type**  
High Efficiency

**Air Filter(s): Location**  
Indoor Unit



### General: General Information

We evaluated the heating & cooling system in accordance with the standards of the International Association of Certified Home Inspectors (InterNACHI), which includes identifying the heating and cooling methods and energy sources, and inspecting the installed heating and cooling equipment and vent system. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

Accessory items such as humidifiers, dehumidifiers, electronic air filters and solar heating systems are beyond the scope of this inspection.

Heat Pumps & Air conditioners have an average of 12-15 years of service life. Systems should be professionally serviced every 2 to 3 years. Air conditioner filters should be cleaned or replaced monthly to maintain efficiency. Service contracts are available from heating contractors or utility companies. **Note:** Please refer to this you tube site for heat Pump Information. <https://youtu.be/QykwWs3L1W8>

Typical service life of a furnace gas or fuel fired system can be expected to last between 15 and 20 years. This average varies, of course, based on the quality of the unit, how it's used and whether it has been properly maintained. The system should be periodically serviced according to the manufactures instructions by a qualified certified HVAC contractor.

### Heat Pump: Operating/Testing Mode

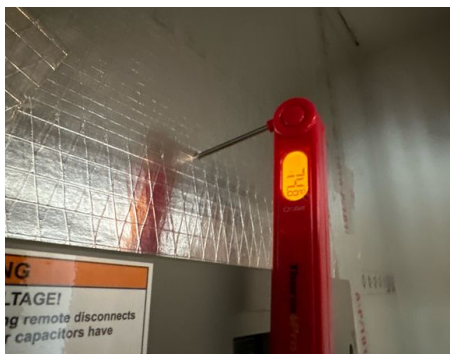
Heating & Emergency Modes

Outdoor temperatures will dictate which mode the system is evaluated in. Below 65 degrees we do not operate the system in accordance to InterNACHI Standards of practice in the cooling mode. Due to incorrect split degree difference between the air supply and return registers. Damage may also occur when operating below 65 degrees.

### Heat Pump: Heat Pump Functional

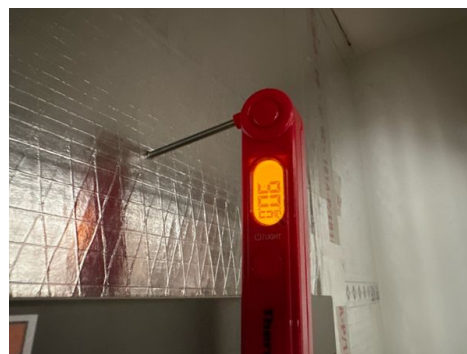
Functioned when tested

The heat pump was tested and appeared to be functional at the time of this inspection.



### Heat Pump: Supplemental Heat

Electrical Coil Located inside the Unit, Functional



## Deficiencies

10.2.1 Heat Pump

**EXTERIOR UNIT AT OR NEAR END OF SERVICE LIFE**



---

The exterior unit is at or near the end of its life. The average service life is 12-15 years. Maintenance, repairs and/or replacement should be expected in the future.

Recommendation

Contact a qualified professional.

---

10.4.1 Interior A/C Unit/Handler



### **INTERIOR UNIT AT OR NEAR THE END OF ITS LIFE**

The interior unit is at or near the end of its life. Maintenance, repairs and/or replacement should be expected in the future.

Recommendation

Contact a qualified professional.

# 11: BUILT-IN APPLIANCES, KITCHEN & LAUNDRY

## Information

**Range/Oven/Wall Oven/Cooktop:**  
**Range/Oven Energy Source**  
Electric

**Range/Oven/Wall Oven/Cooktop:**  
**Cook Top Energy Source**  
Electric, Functional

**Range/Oven/Wall Oven/Cooktop:**  
**Wall Oven Energy Source**  
Electric, Functional



**Kitchen Exhaust: Exhaust Hood**  
**Type**  
Functional, Downdraft

**Laundry: Washer & Dryer**  
Electric Clothes Washer & Dryer

**Laundry: Utility Sink**  
Functional



**Laundry: Dryer Vent**  
Exterior Metal

### General: General Information

Visible counters with a representative number of cabinets were inspected. Unless otherwise noted, built in kitchen appliances were operated. However timers and thermostats were not tested, the dishwasher, if present, was not tested for cleaning or drying effectiveness and the oven self-cleaning cycle, if present, was not operated. Refrigerators, portable dishwashers, and portable microwave ovens were not inspected.



### Range/Oven/Wall Oven/Cooktop: Functional

Functional

The range was operated and was functional at the time of this inspection. The oven was only operated or tested long enough to verify its function. It was not tested to reach any specific temperature.

### Dishwasher: Functional

The dishwasher was tested in a short cycle and was functional at the time of this inspection.



### Garbage Disposal: Functional

The disposal was tested and appeared to be functional at the time of this inspection.



### Built-in Microwave: Functional

The microwave was tested and appeared to be in serviceable condition at the time of this inspection.



## Limitations

Laundry

### WASHER HOOKUPS NOT TESTED

The testing of the washer hookups are beyond the scope of the inspection. We recommend testing the hookups before closing to ensure they are working properly.

## Deficiencies

## 11.7.1 Laundry

**MISSING DRIP PAN**

There is no drip pan present. When located on or above finished spaces you should have a drip pan installed beneath the washer to prevent possible moisture damage.

Recommendation

Contact a qualified professional.



# 12: INTERIOR, DOORS, WINDOWS, STAIRWAYS

## Information

---

### **Walls: Wall Material**

Drywall, Paneling, Tile, Textured Walls, Brick, Wallpaper, Wood

### **Ceilings: Ceiling Material**

Acoustic Tiles, Drywall, Suspended Ceiling Panels

### **Floors: Floor Coverings**

Carpet, Laminate, Tile

### **Windows: Window Type**

Casement, Fixed, Wood, Double Pane

### **Firewall Separation: Fire**

#### **Separation Materials Garage**

Drywall Walls & Ceiling, Metal Doors

### **General: General Information**

We evaluated the interior in accordance with the standards of the International Association of Certified Inspectors (InterNACHI) which includes the walls, ceilings, floors, steps, stairways, railings, and a representative number of windows and interior doors. If problems were identified by random testing, you should assume that similar problems exist in like items that were not selected for testing.

### **Steps, Stairways & Railings: Serviceable**

All areas appeared to be in serviceable condition at the time of this inspection.

### **Doors: Serviceable**

The interior doors appeared to be in serviceable condition at the time of this inspection.

### **Windows: Serviceable**

Various windows were operated and found to be in serviceable condition at the time of this inspection.

### **Firewall Separation: Fire Separation Area(s)**

Garage

Walls, doors, ceilings, and hatches between garages and living spaces should form a continuous fire resistant barrier. Party walls separating units in multiple occupancy buildings and adjoined dwellings also should be fire resistant. These walls are commonly referred to as firewalls.

## Limitations

---

General

### **STORED ITEMS**

Access to some areas was restricted due to stored items making it difficult, unsafe or impossible to inspect. Lack of full access limited our ability to inspect for hidden damages.

General

### **RESTRICTED BY EXCESSIVE CLUTTER**



Access to this area was very restricted by the presence of excessive clutter, making it more difficult, unsafe or impossible to fully inspect. Lack of full access limited our ability to inspect for hidden damage or hazards.

Walls

## STORED ITEMS

Access to some areas was restricted due to stored items making it difficult, unsafe or impossible to inspect. Lack of full access limited our ability to inspect for hidden damages.

Firewall Separation

## STORED ITEMS

Firewall separation was restricted by stored items. We were unable to inspect the wall(s) at the time of this inspection.

## Deficiencies

12.2.1 Steps, Stairways & Railings



### NO RETURNS

No returns are present on the handrail(s). Returns are installed so that you do not catch articles of clothing or carried items on the end of the rail. This is a safety concern due to possible injury. You should consider having rail end returns installed.

Recommendation

Contact a qualified professional.



12.2.2 Steps, Stairways & Railings

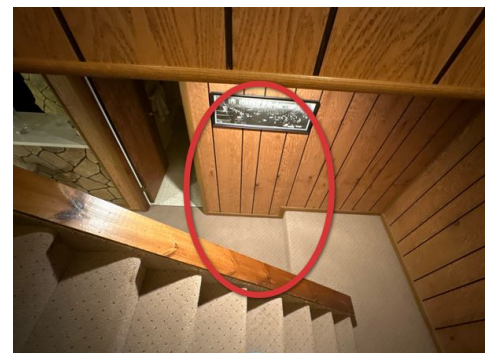


### OPEN SIDED STAIRWAY

One side of the stairway is open. This is a safety concern. Railing and balustrade should be installed.

Recommendation

Contact a qualified professional.



## 12.2.3 Steps, Stairways &amp; Railings

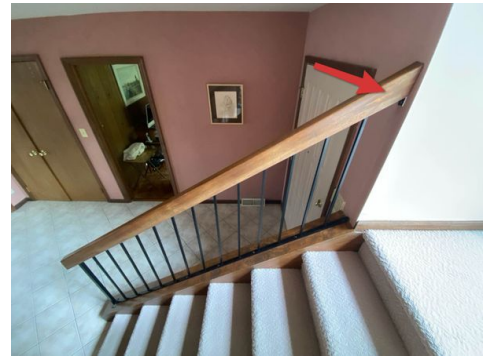
**LOOSE HANDRAIL**

## FIRST STEP RAILING

The handrail is loose at some areas. You should have the handrail secured.

## Recommendation

Contact a qualified professional.



## 12.3.1 Walls

**LAUNDRY CHUTE**

## 2ND FLOOR BATHROOM

There is a laundry chute present. This is considered a safety hazard if small children are present.

## Recommendation

Contact a qualified professional.



## 12.4.1 Ceilings

**STAINS WERE TESTED AND DRY**

## 2ND FLOOR BATHROOM RIGHT

There were stains that were tested and appeared to be dry at the time of this inspection. This appears to be from a previous water leak that was not active. You should monitor the area(s).

## Recommendation

Contact a qualified professional.



## 12.4.2 Ceilings

**DAMAGED CEILING**

There are areas of the ceiling which are damaged. It is unknown as to why this is present. Recommend to have a qualified contractor further evaluate and repair.

## Recommendation

Contact a qualified professional.



## 12.5.1 Floors

**LOOSE CARPET**

There is loose carpet at some area(s). This is a trip hazard. These area(s) should be repaired or replaced.

Recommendation

Contact a qualified professional.

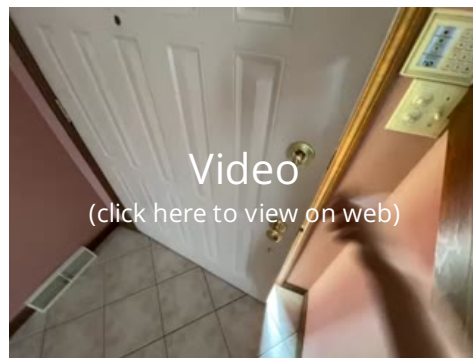


12.6.1 Doors

**DOOR(S) STICK OR RUB**

FRONT DOOR, BASEMENT EGRESS

Door(s) stick or rub and were difficult to open. Adjustment should be considered.



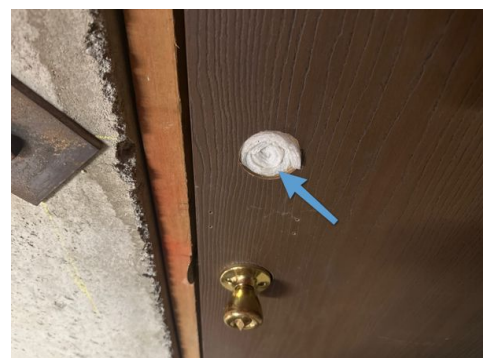
12.6.2 Doors

**MISSING HARDWARE**

Some of the hardware is missing and or needs replaced.

Recommendation

Contact a qualified professional.



12.7.1 Windows

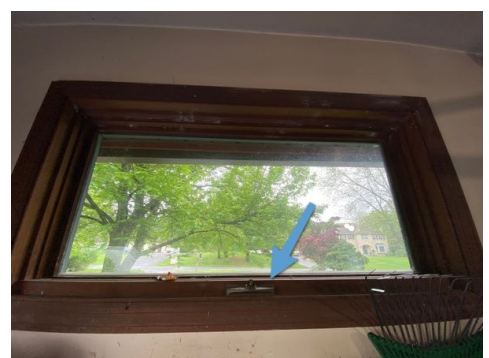
**MISSING/LOOSE OR DAMAGED HARDWARE**

GARAGE

One or more of the windows are missing, loose or have damaged hardware. Recommend further evaluation for repair or replacement.

Recommendation

Contact a qualified professional.



# 13: ATTACHED GARAGE

## Information

### General: Access

Entered & Inspected

### Floor: Floor Material

Concrete

### Garage Door: Material

Wood

### General: General Information

The garage door is often the largest and heaviest moving component in the building. The garage door, lock, and springs must be adjusted properly by a qualified garage door technician for safe operation. Garage doors without automatic openers are tested by opening, closing and locking the doors. If garage door openers are present, I test the internal entrapment protection system by placing a 2 x 4 on the floor and closing the door onto the block. If the opener has an external entrapment protection system (automatic reverse devices) such as electric eyes, are tested by breaking the light beam while the door is closing. Openers which fail to reverse during either of these tests are identified as unsafe. To avoid injury, you should have a qualified garage door technician repair or replace any defective components promptly, rather than attempting to do it yourself.



### Ceiling: General Information

Unless otherwise noted, the ceilings appeared to in serviceable condition at the time of this inspection.

### Walls : General Information

Unless otherwise noted, the walls appeared to be in serviceable condition at the time of this inspection.

## Limitations

General

### STORED ITEMS

Full access to the garage was restricted by stored items. Therefore we were unable to completely inspect for damage or hidden damage.

## Deficiencies

13.2.1 Ceiling

### MOISTURE INTRUSION

BACK RIGHT OF GARAGE

Major Items

Garage ceiling shows signs of moisture intrusion. To prevent further damage or growth of mold, you should contact a qualified contractor to evaluate the source of moisture intrusion.



13.3.1 Floor

 Maintenance / Service

**TYPICAL SETTLEMENT CRACKS**

Typical settlement cracks were visible in the garage floor. The floor appeared serviceable at the time of this inspection.



13.6.1 Garage Door Opener

 Safety Defects

**MISSING SENSORS**

There were no electronic eye sensors present. You should have these installed for external entrapment protection.

Recommendation

Contact a qualified professional.



13.6.2 Garage Door Opener

 Maintenance / Service

**OPENER MUST BE HELD DOWN**

The garage door opener must be held down to fully close the door. This is a simple fix.

Recommendation

Contact a qualified professional.

# 14: FIREPLACES

## Information

---

**Fireplace: Fireplace Style**

Masonry with Metal Fire Box

**Fireplace: Type**

Wood

**Fireplace Components: Fire Chamber Material**

Metal

**Fireplace Components:****Functional or Non-Functional**

Functional

**Fireplace: General Information**

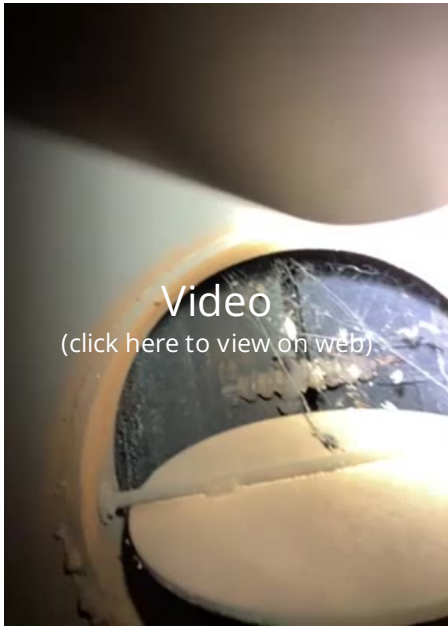
A fireplace is a carefully balanced system. To function properly, it must be designed, built and operated properly. Fire screens should always be used when burning a fire in a fireplace. Fireplaces and associated chimneys should be cleaned and serviced regularly. Fire wood should be properly seasoned to prevent build up of third degrees or "shiny" creosote which is a fire hazard and more difficult to remove during cleaning.



## Fireplace Components: Damper Discription

### Functional

A fireplace damper, usually located at the throat of a masonry chimney just above the firebox, is a device that is meant to seal your fireplace shut when not in use. This is necessary so that heated air from your home will not escape up the chimney when the fireplace is not being used.



# 15: ATTIC, INSULATION & VENTILATION

## Information

### General: Attic Access

Ceiling Hatch, Could not access main attic due to stored items and shelving

### Ventilation: Ventilation Type

Soffit Vents, Ridge Vents

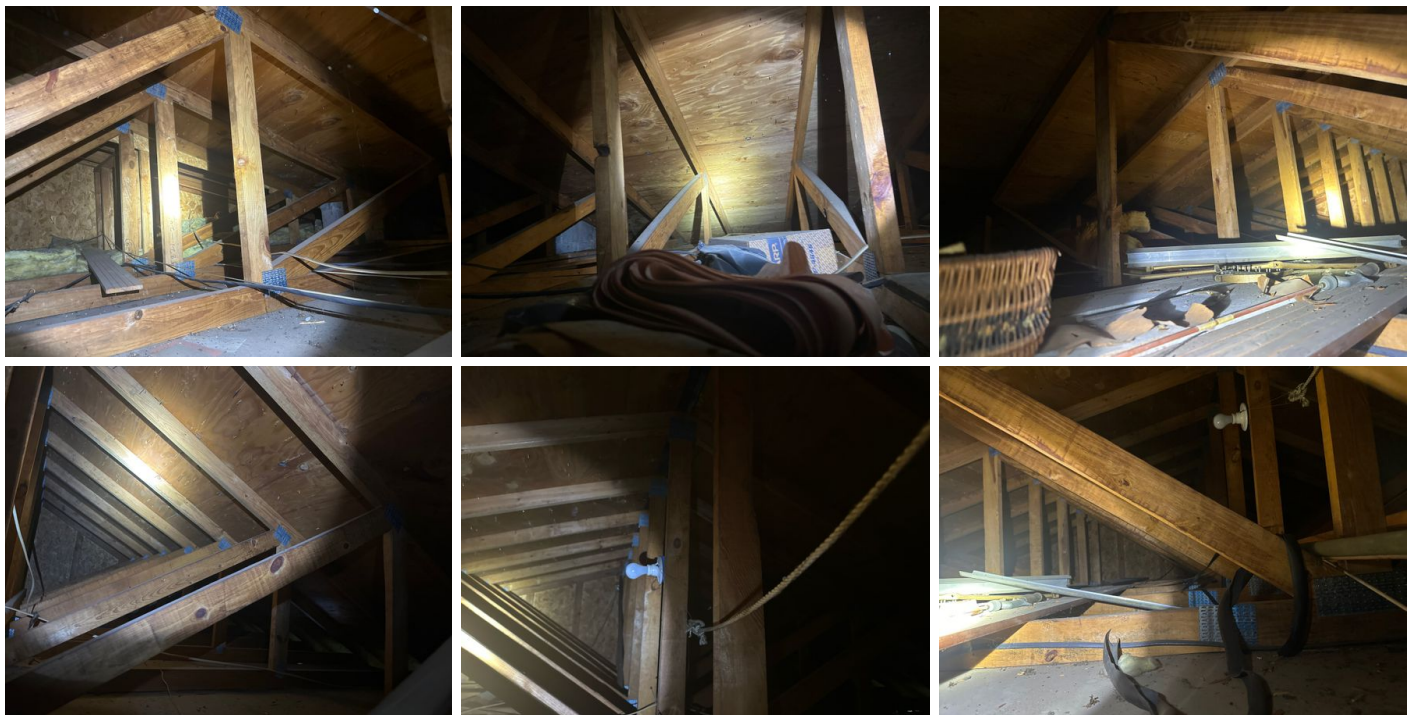
### Bath Exhaust Systems: Exhaust Fans

Present and Functional



### General: General Information

Buildings often have an attic area below the roof and above the living space. Attics are sometimes accessible through a flight of stairs or pull down stairs however in most cases the attic is accessible through a "scuttle" located in a closet or in rare cases through a roof hatch. The amount of useful space in the attic depends upon the type of roof construction. Roofs that are constructed with rafters may provide significant areas of open storage. Roofs that are supported by pre-fabricated trusses offer little, if any usable space. Your primary interest in the attic should be in the ceiling insulation and in the means of ventilating the attic.



## Limitations



General

### **STORED ITEMS**

Stored items prevented full access to the attic area. This may have prevented defects or water penetration at the time of this inspection. You should enter this area and evaluate the conditions during your final walk through.

---

Attic Insulation

### **NO ACCESS**

STORED ITEMS

There is no access to the attic space. This limits our ability to evaluate the area and or draw conclusions of damage or deferred maintenance.

# STANDARDS OF PRACTICE

---