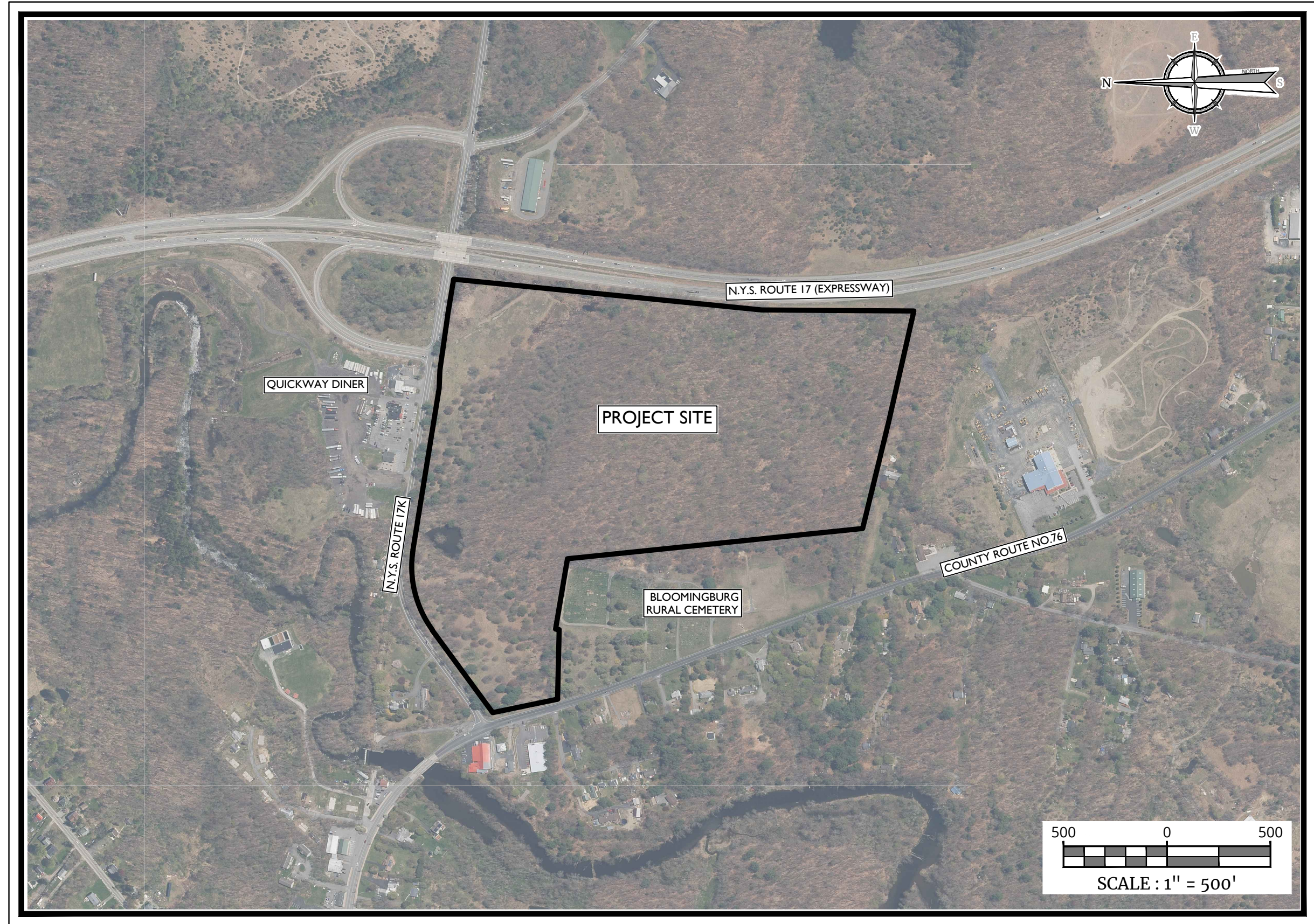


LOCATION MAP  
SCALE: 1" = 100'  
TOWN OF WALLKILL, NY ZONING MAP

**PRELIMINARY SITE PLANS  
FOR  
89 ROUTE 17K LLC  
PROPOSED WAREHOUSE DEVELOPMENT  
SECTION 1, BLOCK 1, LOT 58.12  
TOWN OF WALLKILL  
ORANGE COUNTY NEW YORK**



**PROJECT SITE**  
SOURCE: NEW YORK STATE CLEARING HOUSE

**INDEX OF SHEETS**

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	EXISTING CONDITIONS & DEMOLITION PLAN	
3	OVERALL SITE PLAN	
4-5	DIMENSION PLANS	
6-7	GRADING AND SOIL EROSION & SEDIMENT PLAN	
8	SOIL EROSION & SEDIMENT CONTROL DETAILS	
9-10	UTILITY PLANS	
11	LANDSCAPE PLAN	
12	LIGHTING PLAN	
13-16	CONSTRUCTION DETAILS	

**GENERAL INFORMATION**

- THE SUBJECT PROPERTY IS KNOWN AS SECTION 1, BLOCK 1, LOT 58.12, AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF WALLKILL, ORANGE COUNTY, DATED MARCH 1, 2003, LAST REVISED OCTOBER 1, 2018.
- THE PROPERTY IS LOCATED IN THE LIGHT ENTERPRISE (ENT-L) ZONING DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 63,029.654 SQ. FT./0.24 ACRES.  
OWNER: QUICKWAY ENTERPRISES INC., PO BOX 311 BLOOMINGBURG, NY 12721  
APPLICANT: 89 ROUTE 17K LLC, 1 INTERNATIONAL BOULEVARD, SUITE 410 MANHATTAN, NJ 07430 (845) 202-4900
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTA REPOS LAND TITLE SURVEY OF LANDS TO BE CONVEYED TO REAL ESTATE MANAGEMENT INC. (RE) RDH GROUP, PREPARED BY ALSFELDO & WALDRUFF LAND SURVEYORS L.P., DATED JANUARY 17, 2022.
- THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON JULY 18, 2020 AND A PRECONSTRUCTION NOTIFICATION APPLICATION TO THE ARMY CORPS OF ENGINEERS TO VERIFY SAME IS PENDING.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 3607C006E FOR THE MUNICIPALITY OF WALLKILL, ORANGE COUNTY COUNTY, NEW YORK STATE, DATED AUGUST 3, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME, SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOGUE CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARK-OUT.
- INFORMATION HEREON INCORPORATES THE CONTENT IN THE FOLLOWING REPORTS:  
A. "STORMWATER POLLUTION PREVENTION PLAN (SWPPP)" PREPARED FOR 89 ROUTE 17K LLC PREPARED BY COLLIER ENGINEERING & DESIGN, DATED JULY 2022.  
B. "TRAFFIC IMPACT STUDY" PREPARED FOR 89 ROUTE 17K LLC AND PREPARED BY COLLIER ENGINEERING & DESIGN, DATED JULY 2022.

**SITE NOTES**

- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE ROLL-OFF DUMPSTERS AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:  
A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2018, AS SUPPLEMENTED.  
B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.  
C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.  
D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

**UTILITY NOTES**

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY(AUTHORITIES).
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLON SUPERSEAL OR EQUIVALENT). ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WATER SERVICE SHALL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS TO BE INSTALLED ON EACH BUILDING LOT. SUBJECT TO THE APPLICABLE REGULATIONS AND THE APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY AN ON-SITE PRIVATE TREATMENT PLANT WITH A SURFACE OR SUBSURFACE DISCHARGE.
- ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED). WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. ENCASED IN CONCRETE OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF HEALTH.
- AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE WATER LINE SHALL BE ENCASED IN CONCRETE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

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Doing Business as **MASER**

**811** PROTECT YOURSELF! ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, OPERATORS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE. NUMBER YOUR DIG. VISIT: WWW.CALL811.COM

DATE	REVISION	DESCRIPTION

DATE	REVISION	DESCRIPTION

**JUSTIN ERIC DATES**  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

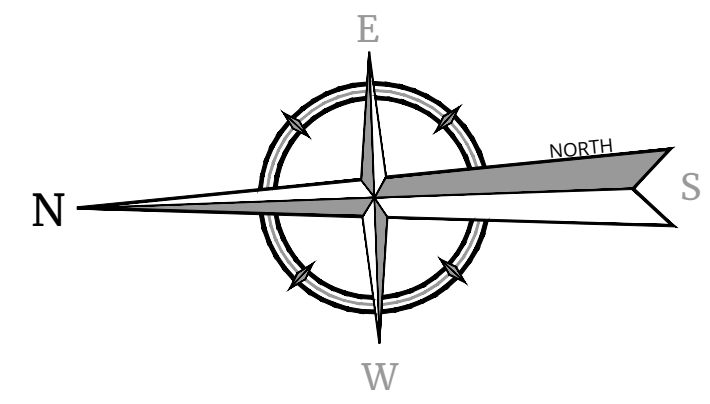
**PRELIMINARY SITE PLAN  
FOR  
89 ROUTE 17K LLC**

S.B.L. 1-1-58.12  
TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

**Colliers**  
Engineering & Design  
555 HUDSON VALLEY AVENUE SUITE 101  
NEW WINDSOR, NY 12553  
PHONE: 845.564.4495  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
DOING BUSINESS AS MASER CONSULTING ENGINEERING & LAND SURVEYING

SHEET TITLE:  
COVER SHEET  
SHEET NUMBER:  
1 OF 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

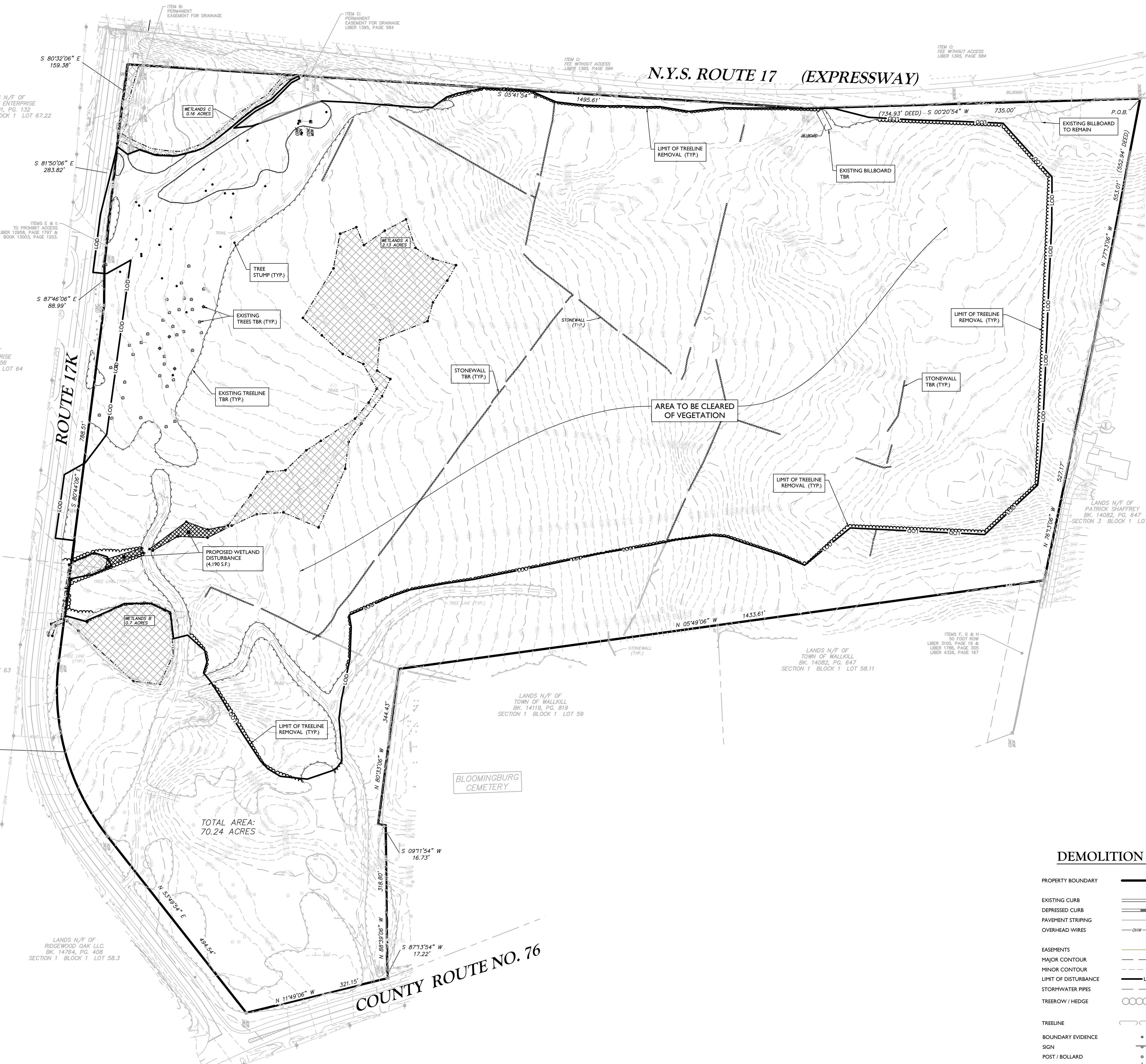
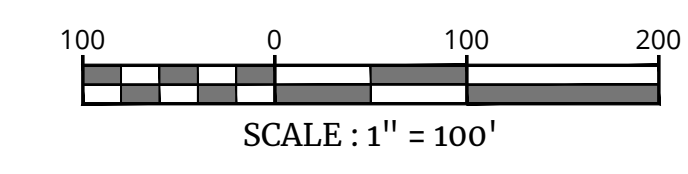


DEMOLITION NOTES:

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
  - BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTAIR'S LAND TITLE SURVEY OF LOTS TO BE CONVEYED TO REAL DEAL MANAGEMENT INC. DBA ROM GROUP, PREPARED BY AUFFELD & WALDRUFF LAND SURVEYORS LLP, DATED JANUARY 17, 2022.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651-663) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, 16 NYCRR PART 753) AS AMENDED.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS CONCERNING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
  - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
  - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
  - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM WATER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION.
  - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDERS FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- COLLIERS ENGINEERING & DESIGN IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSION CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE AND/OR LIMIT OF DISTURBANCE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR, IN ACCORDANCE WITH FEDERAL STATE AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- TREE CLEARING SHALL OCCUR BETWEEN OCTOBER 1ST TO MARCH 31ST, TO MITIGATE POTENTIAL IMPACTS TO THE INDIANA BAT & NORTHERN LONG-EARED BAT.

DEMOLITION LEGEND

- PROPERTY BOUNDARY
- EXISTING CURB
- DEPRESSED CURB
- PAVEMENT STRIPING
- OVERHEAD WIRES
- EASEMENTS
- MAJOR CONTOUR
- MINOR CONTOUR
- LIMIT OF DISTURBANCE
- STORMWATER PIPES
- TREEROW / HEDGE
- TREELINE
- BOUNDARY EVIDENCE
- SIGN
- POST / BOLLARD
- UTILITY POLE
- GUY WIRE
- LIGHT POLE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- DRAINAGE MANHOLE
- CATCH BASIN
- TBR = TO BE REMOVED
- UTP = UTILITY POLE
- DI = DRAIN INLET
- CB = CATCH BASIN
- GR = GRATE
- CO = CLEANOUT
- WETLAND BOUNDARY
- WETLAND AREA HATCH
- TREE CLEARING LINE



TOTAL AREA: 70.24 ACRES

PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC

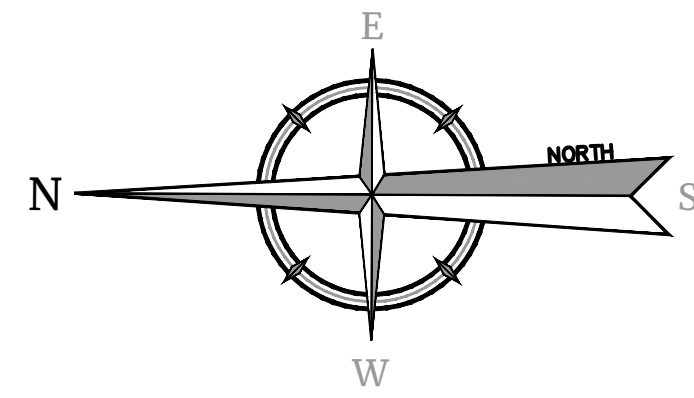
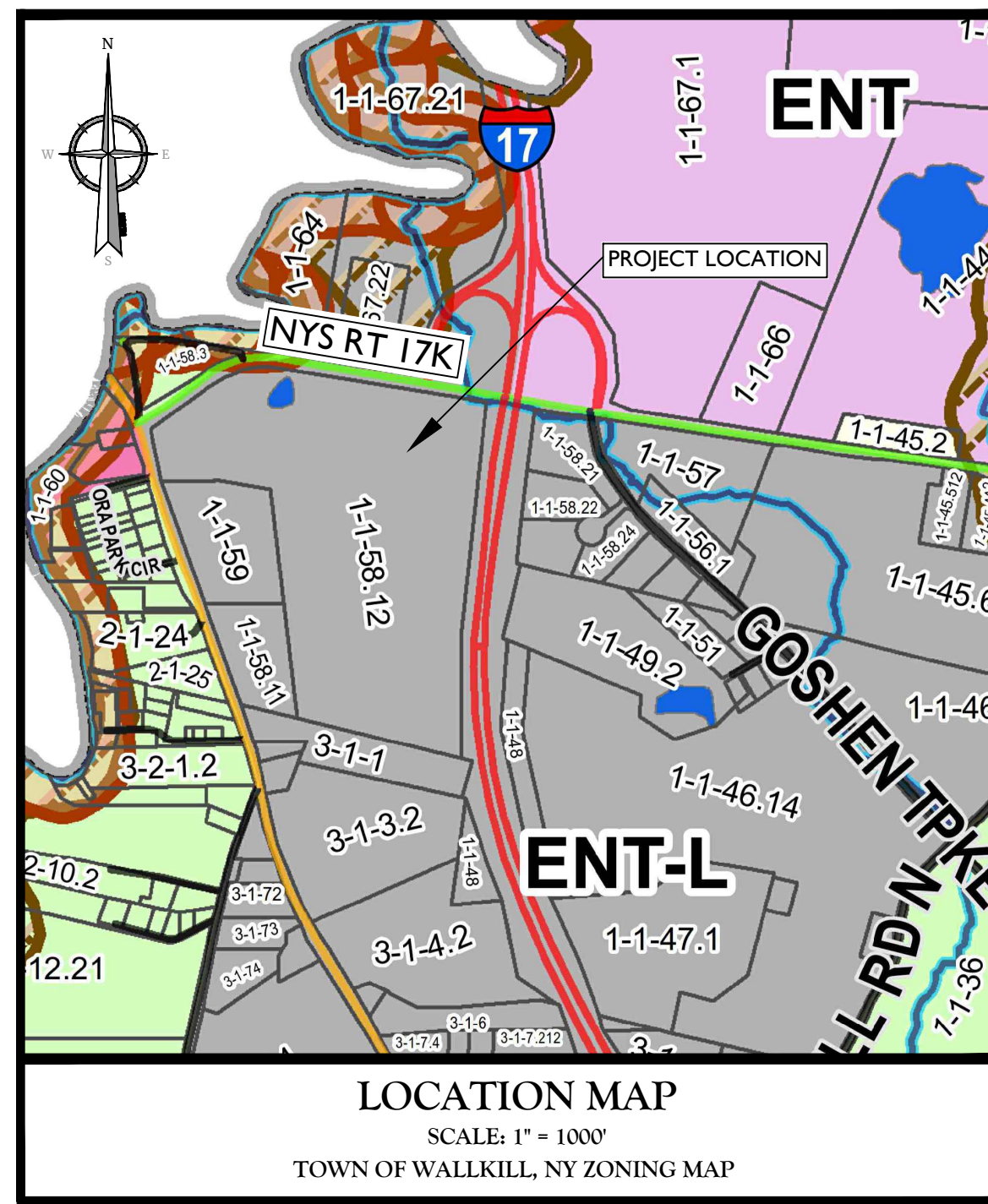
S.B.L. 1-1-58.12 TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

Colliers Engineering & Design 555 Hudson Valley Avenue Suite 101 New Windsor, NY 12553 Phone: 845.564.4495

SCALE: AS SHOWN DATE: 7/20/2022 DRAWN BY: SMB CHECKED BY: JED PROJECT NUMBER: 21007819A DRAWING NAME: C-DEM0

SHEET TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER: 2 of 16



**OWNER:**  
 QUICKWAY ENTERPRISES INC.  
 P.O. BOX 311  
 BLOOMINGBURG, NY 12721

**APPLICANT:**  
 89 ROUTE 17K LLC  
 ONE INTERNATIONAL BOULEVARD, SUITE 410  
 PAHWANA, NJ 07970

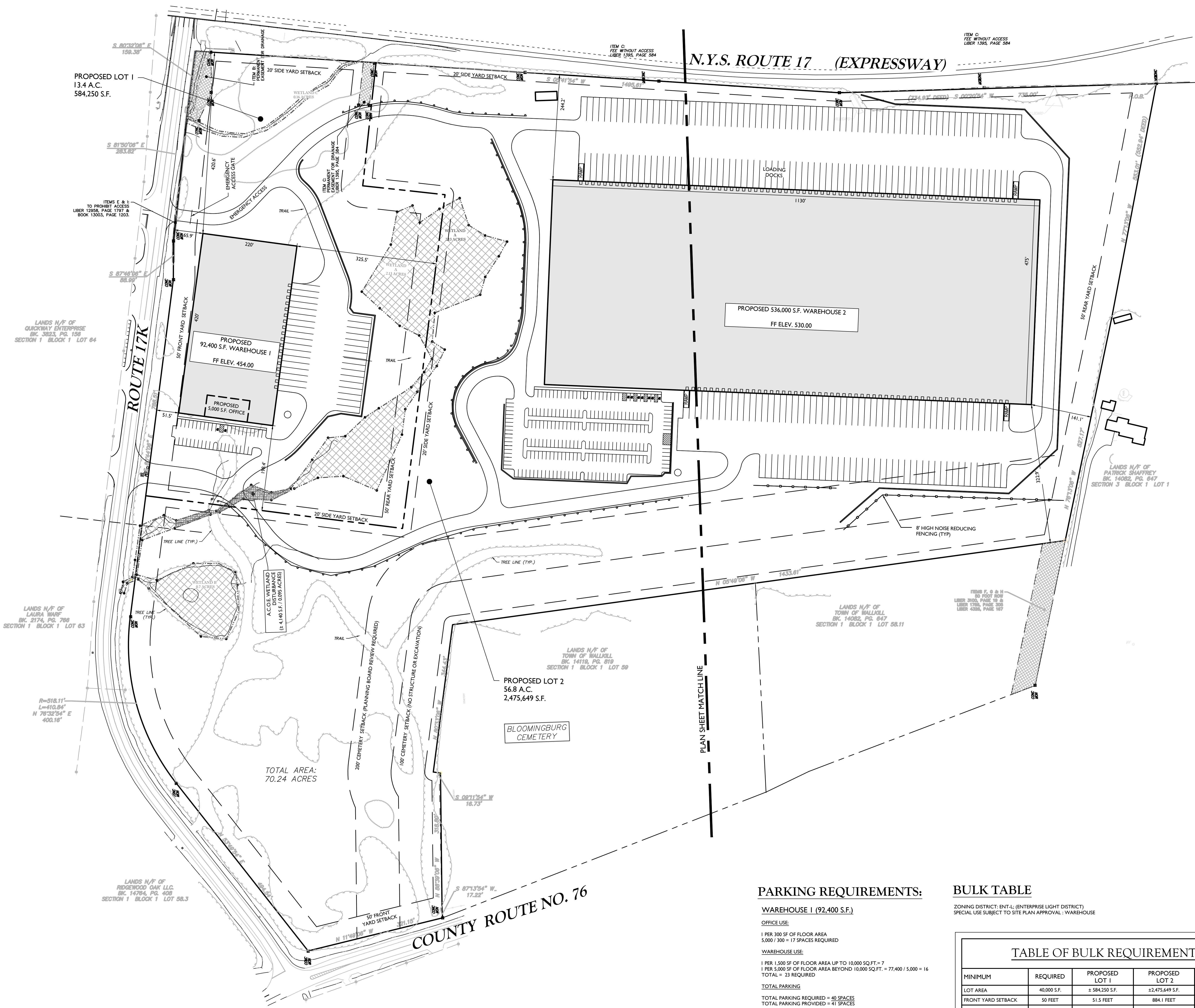
**TAX LOT:**  
 SBL 1-1-58.12  
 ±3,059,899 S.F.  
 ±70.24 ACRES

**WETLANDS:**  
 TOTAL EXISTING WETLANDS: 2.99 ACRES.  
 TOTAL PROPOSED DISTURBANCE: 0.09% ACRES.  
 TOTAL REMAINING UNDISTURBED WETLANDS: 2.89% ACRES.

LEGEND	
	EXISTING
PROJECT SITE	—————
ADJACENT PROPERTY LINES	—————
MUNICIPAL BOUNDARY	—————
PROPERTY SETBACK	—————
MAJOR CONTOUR LINE	—————
MINOR CONTOUR LINE	—————
STORMWATER AREA	—————
WETLAND BOUNDARY	—————
LOT LINE	—————
	PROPOSED
	—————

**SURVEY REFERENCE**

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTAIR'S LAND TITLESURVEY OF THE LANDS OF LANDS TO BE CONVERTED TO REAL ESTATE MANAGEMENT INC. (RME) GROUP", TAX PARCELS 1-1-58.12 PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP, DATED JANUARY 17, 2022.



**PARKING REQUIREMENTS:**

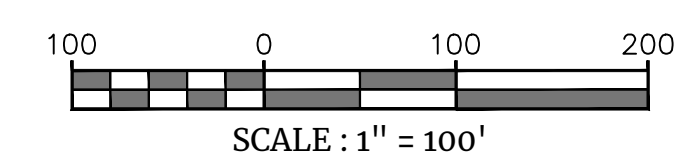
**WAREHOUSE 1 (92,400 S.F.)**  
 OFFICE USE:  
 1 PER 300 SF OF FLOOR AREA  
 5,000 / 300 = 17 SPACES REQUIRED  
 WAREHOUSE USE:  
 1 PER 1,500 SF OF FLOOR AREA UP TO 10,000 SQ.FT. = 7  
 1 PER 5,000 SF OF FLOOR AREA BEYOND 10,000 SQ.FT. = 77,400 / 5,000 = 16  
 TOTAL = 23 REQUIRED  
 TOTAL PARKING PROVIDED = 41 SPACES

**WAREHOUSE 2 (536,000 S.F.)**  
 OFFICE USE:  
 1 PER 300 SF OF FLOOR AREA  
 20,000 / 300 = 67 SPACES REQUIRED  
 WAREHOUSE USE:  
 1 PER 1,500 SF OF FLOOR AREA UP TO 10,000 SQ.FT. = 7  
 1 PER 5,000 SF OF FLOOR AREA BEYOND 10,000 SQ.FT. = 596,000 / 5,000 = 119  
 TOTAL = 126 REQUIRED  
 TOTAL PARKING PROVIDED = 210 SPACES

**BULK TABLE**

ZONING DISTRICT: ENT-L (ENTERPRISE LIGHT DISTRICT)  
 SPECIAL USE SUBJECT TO SITE PLAN APPROVAL - WAREHOUSE

TABLE OF BULK REQUIREMENTS				
MINIMUM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	REMARKS
LOT AREA	40,000 S.F.	± 384,250 S.F.	± 2,475,649 S.F.	OK
FRONT YARD SETBACK	50 FEET	51.5 FEET	884.1 FEET	OK
REAR YARD SETBACK	50 FEET	325.5 FEET	141.1 FEET	OK
SIDE YARD SETBACK	20 FEET	198.4 FEET	244.2 FEET	OK
LOT DEPTH	200 FEET	± 550 FEET	± 1,300 FEET	OK
LOT WIDTH	150 FEET	± 2794 FEET	± 1,160 FEET	OK
MAXIMUM				
BUILDING HEIGHT	35 FEET	48 FEET	48 FEET	VARIANCE REQUIRED
LOT COVERAGE	40%	15.8%	21.7%	OK
IMPERVIOUS COVERAGE	60%	35.2%	42.7%	OK



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REV	DATE	DRAWN BY	DESCRIPTION

**REGISTERED LANDSCAPE ARCHITECT**  
 JUSTIN ERIC DATES  
 NEW YORK REGISTERED LANDSCAPE ARCHITECT  
 LICENSE NUMBER: 001964-01  
 COLLIER'S ENGINEERING & DESIGN CT, P.C.

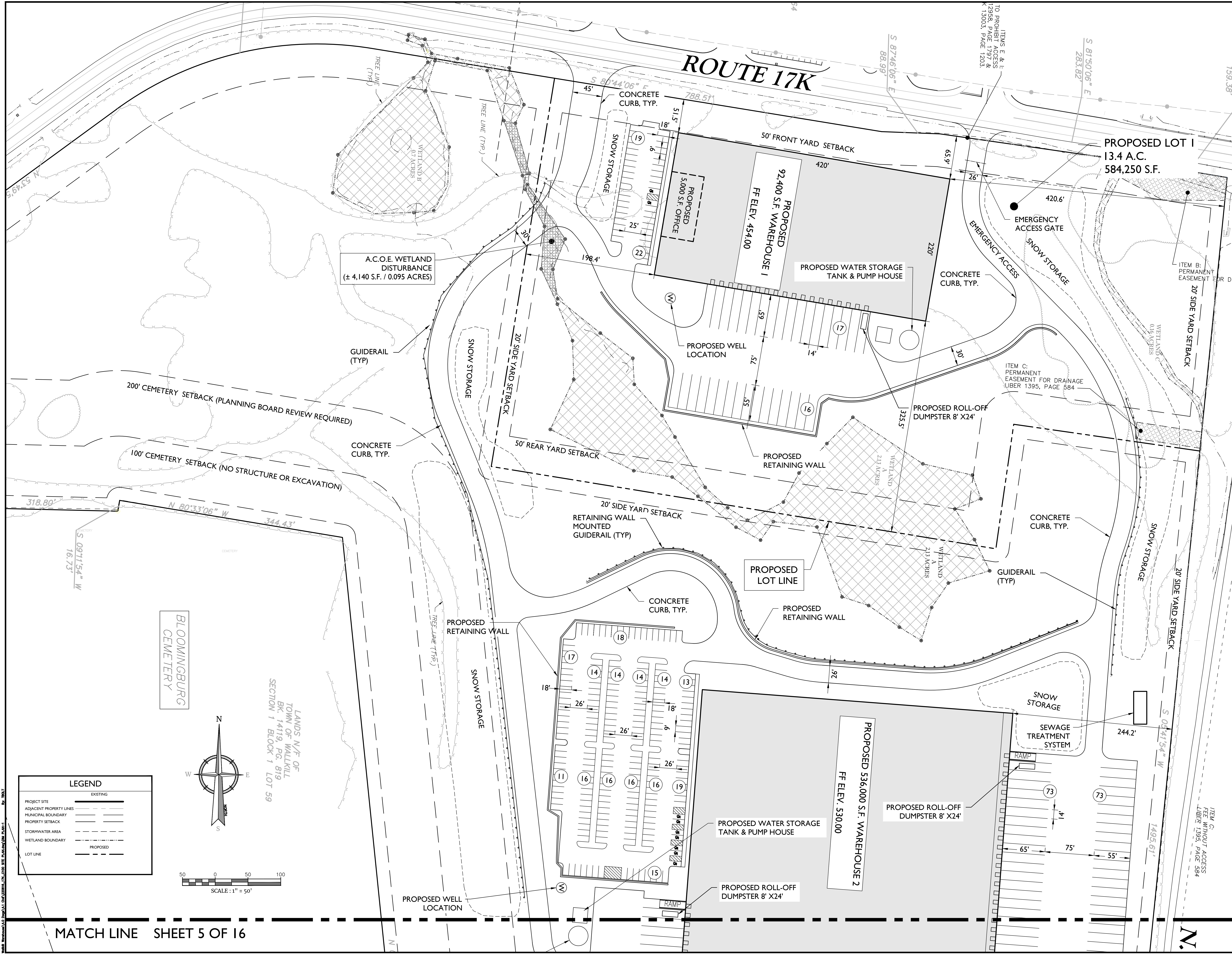
PRELIMINARY  
 SITE PLAN  
 FOR  
**89 ROUTE 17K LLC**  
 S.B.L. 1-1-58.12  
 TOWN OF WALLKILL  
 ORANGE COUNTY  
 NEW YORK STATE

**Colliers** 555 Hudson Valley Avenue  
 Suite 101  
 New Windsor, NY 12553  
 Phone: 845.564.4495  
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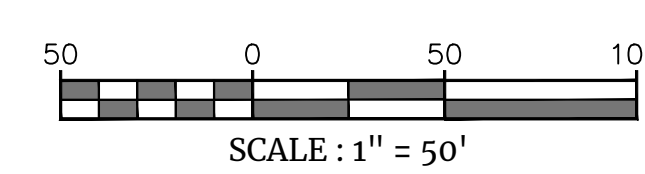
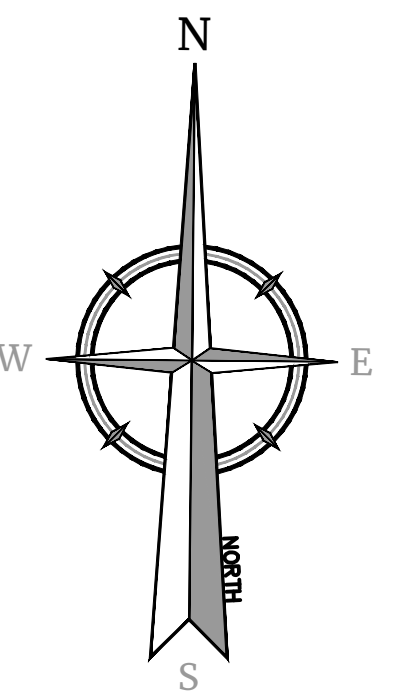
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 AS SHOWN: 07/20/2022: MAS: JED  
 PROJECT NUMBER: 2100719A DRAWING NAME: 89ROUTE17K-OVERALL  
 SHEET NUMBER: 2100719A SITE PLAN

**OVERALL SITE PLAN**  
 SHEET NUMBER:  
 3 of 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



BLOOMINGBURG CEMETERY



**LEGEND**

PROJECT SITE	EXISTING
ADJACENT PROPERTY LINES	---
MUNICIPAL BOUNDARY	---
PROPERTY SETBACK	---
STORMWATER AREA	---
WETLAND BOUNDARY	---
LOT LINE	---
	PROPOSED

LANDS N/F OF TOWN OF WALLKILL BK. 14119, PG. 819 SECTION 1 BLOCK 1 LOT 59

MATCH LINE SHEET 5 OF 16



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PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC

S.B.L. 1-1-58.12  
TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

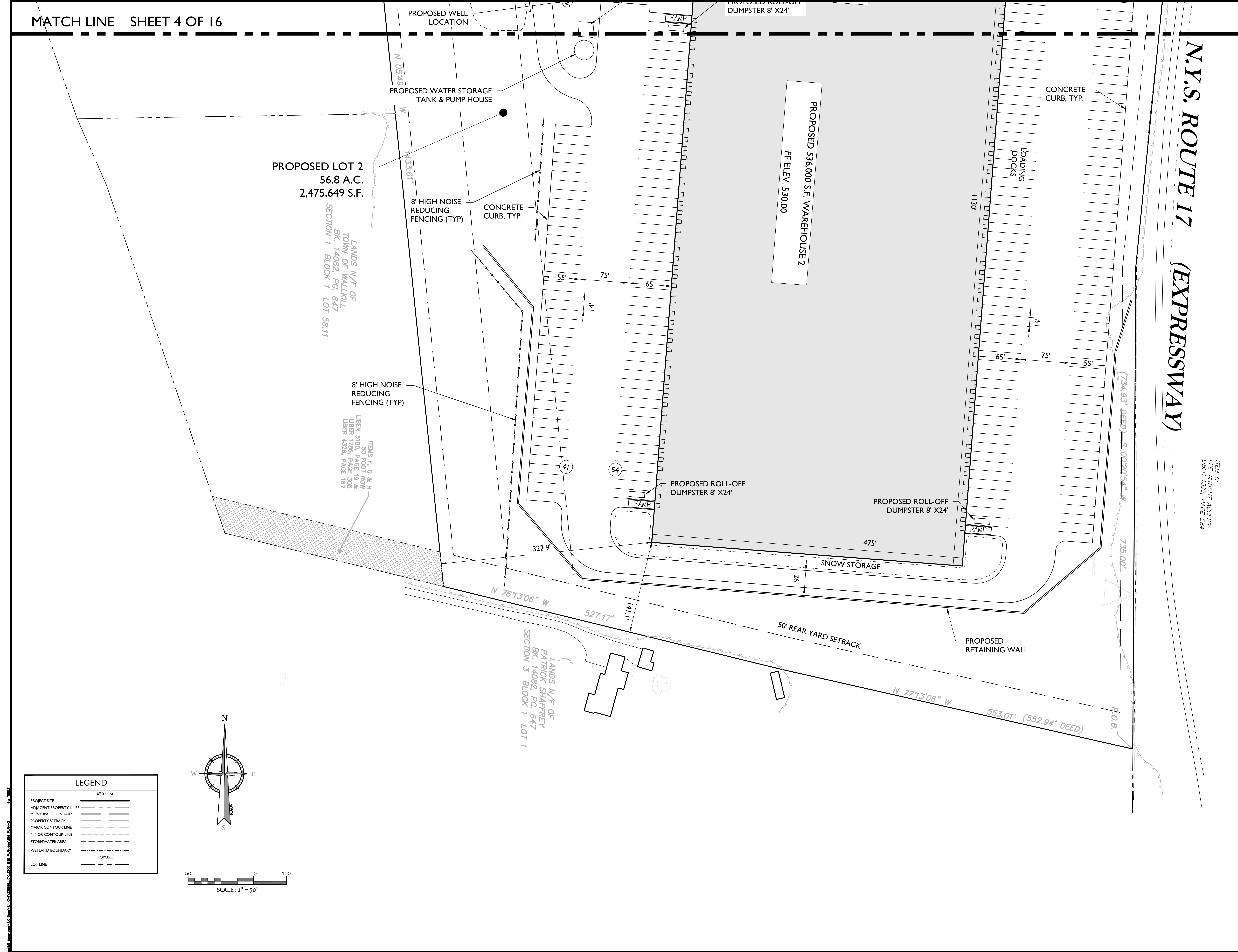
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SCALE: AS SHOWN DATE: 07/20/2022 DRAWN BY: KRH CHECKED BY: JED  
PROJECT NUMBER: 21007819A DRAWING NAME: 21007819A\_17K\_C100 SITE PLAN

SHEET TITLE: DIMENSION PLAN

SHEET NUMBER: 4 of 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



N.Y.S. ROUTE 17  
(EXPRESSWAY)

ITEM C.  
FEE WITHOUT ACCESS  
LIBER 1395, PAGE 584



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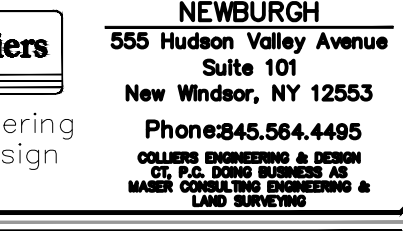


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PRELIMINARY  
SITE PLAN  
FOR  
89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

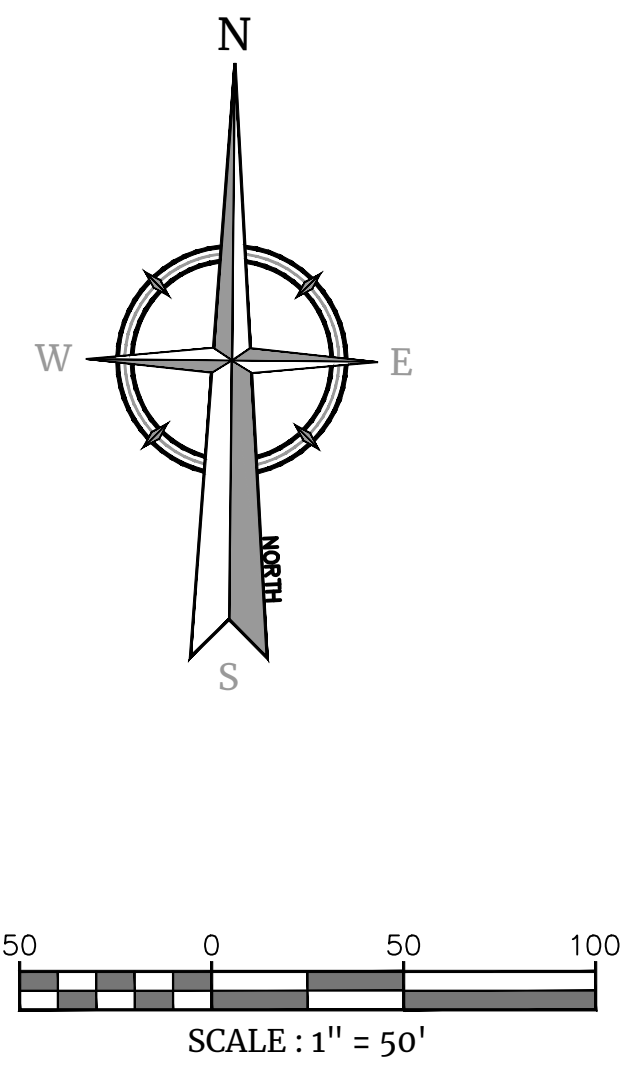


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AS SHOWN	07/20/2022	KRH	JED
PROJECT NUMBER:	DRAWING NAME:	SHEET TITLE:	
21007819A	200RHL_17K_C100	DIMENSION PLAN	

SHEET NUMBER:  
5 of 16

DATE PLOTTED: 07/20/2022 10:00 AM

LEGEND	
PROJECT SITE	EXISTING
ADJACENT PROPERTY LINES	---
MUNICIPAL BOUNDARY	- - - -
PROPERTY SETBACK	- - - -
MAJOR CONTOUR LINE	- - - -
MINOR CONTOUR LINE	- - - -
STORMWATER AREA	- - - -
WETLAND BOUNDARY	- - - -
LOT LINE	---
	PROPOSED
	---



REV	DATE	BY	DESCRIPTION

REV	DATE	BY	DESCRIPTION



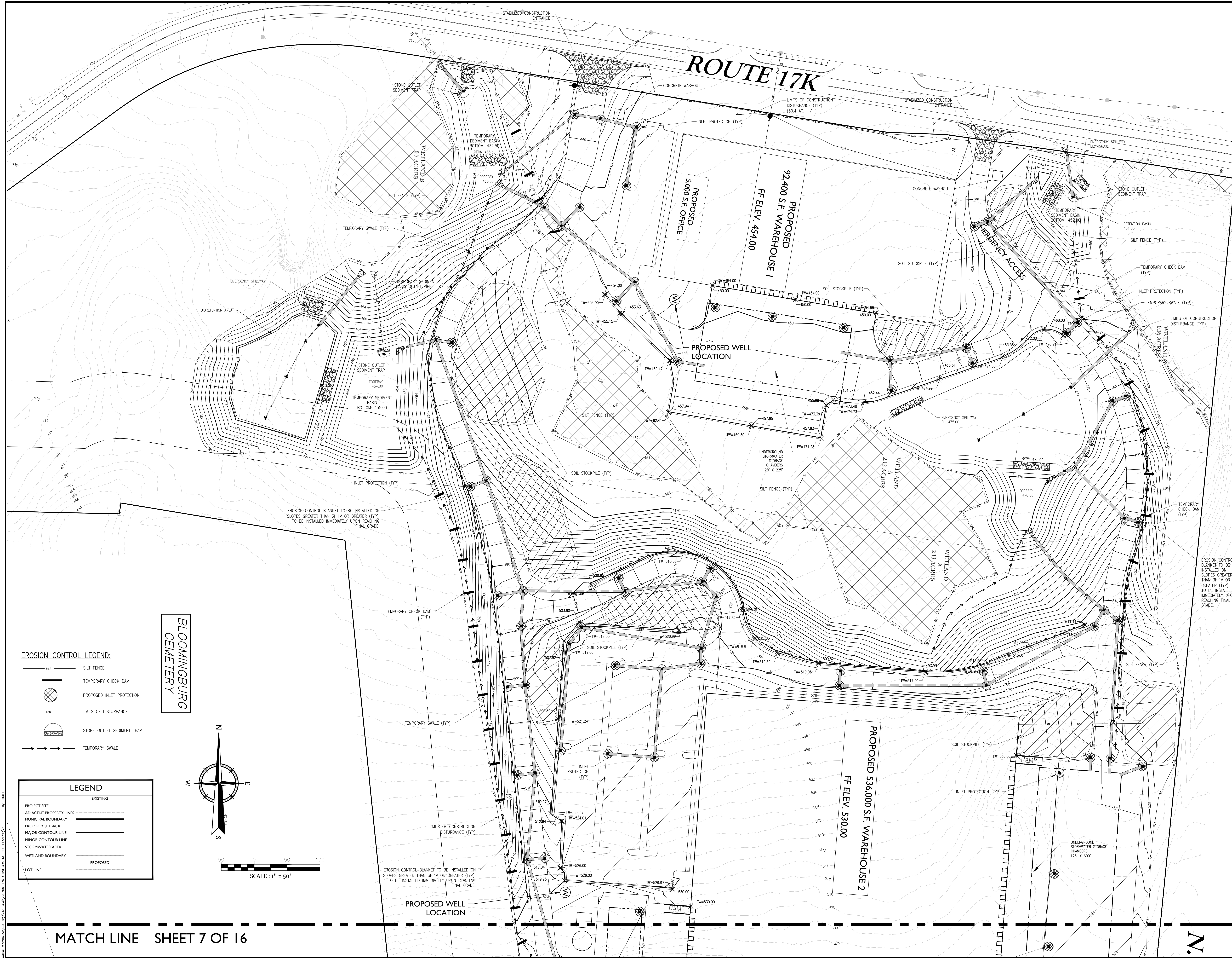
Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001984-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY  
SITE PLAN**  
FOR  
**89 ROUTE 17K LLC**  
  
S.B.L. 1-1-58.12  
  
TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

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SCALE: AS SHOWN 07/20/2022 KRH JED  
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SHEET TITLE: GRADING and SOIL EROSION CONTROL & SEDIMENT PLAN

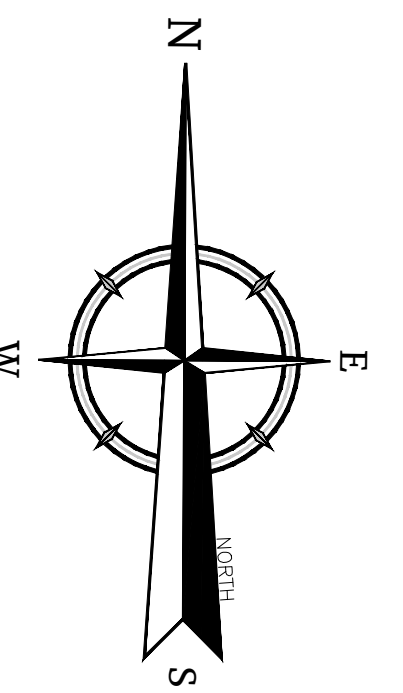
SHEET NUMBER: 6 of 16  
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



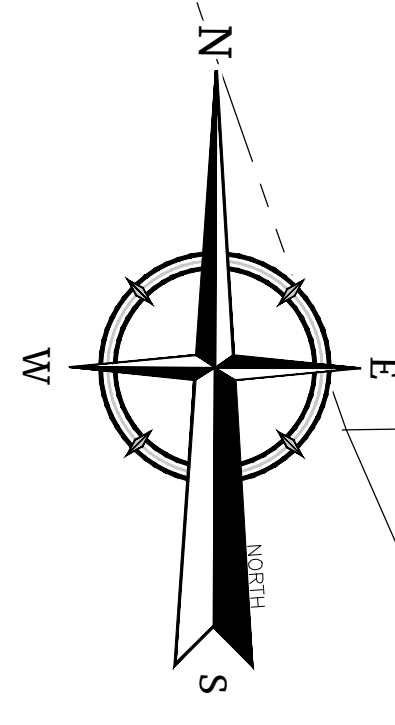
- EROSION CONTROL LEGEND:**
- SILT FENCE
  - TEMPORARY CHECK DAM
  - PROPOSED INLET PROTECTION
  - LIMITS OF DISTURBANCE
  - STONE OUTLET SEDIMENT TRAP
  - TEMPORARY SWALE

**BLOOMINGBURG  
CEMETERY**

- LEGEND**
- |  |                         |
|--|-------------------------|
|  | EXISTING                |
|  | PROJECT SITE            |
|  | ADJACENT PROPERTY LINES |
|  | MUNICIPAL BOUNDARY      |
|  | PROPERTY SETBACK        |
|  | MAJOR CONTOUR LINE      |
|  | MINOR CONTOUR LINE      |
|  | STORMWATER AREA         |
|  | WETLAND BOUNDARY        |
|  | LOT LINE                |
|  | PROPOSED                |



SCALE: 1" = 50'



PROPOSED WELL LOCATION

EROSION CONTROL BLANKET TO BE INSTALLED ON SLOPES GREATER THAN 3H:1V OR GREATER (TYP). TO BE INSTALLED IMMEDIATELY UPON REACHING FINAL GRADE.

TEMPORARY CHECK DAM (TYP)

UNDERGROUND STORMWATER STORAGE CHAMBERS 50' X 220'

PROPOSED 536,000 S.F. WAREHOUSE 2  
FF ELEV. 530.00

INLET PROTECTION (TYP)

UNDERGROUND STORMWATER STORAGE CHAMBERS 125' X 600'

LOADING DOCKS

N.Y.S. ROUTE 17 (EXPRESSWAY)

LIMITS OF CONSTRUCTION DISTURBANCE (TYP)

8' HIGH NOISE REDUCING FENCE

INLET PROTECTION (TYP)

RAMP

SOIL STOCKPILE (TYP)

INLET PROTECTION (TYP)

RAMP

SILT FENCE (TYP)

LIMITS OF CONSTRUCTION DISTURBANCE (TYP)

**GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS FOR DISTURBANCES LESS THAN FIVE (5) ACRES AND SEVEN (7) DAYS FOR DISTURBANCES GREATER THAN FIVE (5) ACRES, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING, WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2016 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, OR AS AMENDED.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PILELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF

THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

- CONDUIT OUTLET PROTECTION MUST BE REVIEWED & SUPPLEMENTED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
- CONCRETE WASHOUT, DUMPSTER & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED AT THE PRE-CONSTRUCTION MEETING. THEY SHALL BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE AND STAGING AREAS AND SHALL BE USED PRIOR TO EXITING THE PROJECT SITE. THE LOCATION SHALL BE IN A PRACTICAL, CLEARLY DELINEATED, AREA AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL COVER THEIR RESPONSIBILITY.
- PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
- DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
- ALL TEMPORARY, STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED, WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED, ALL AREAS OF DISTURBANCE HAVE ACHIEVED FINAL STABILIZATION

AND ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE SWPPP AND ARE OPERATIONAL.

**FINAL STABILIZATION** - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PER CENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERENNIAL LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

**MAINTENANCE PLAN DURING CONSTRUCTION:**

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-15-002 OR AS AMENDED. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 25% OF ITS CAPACITY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6" DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

**NOTE DURING THE CONSTRUCTION OF A PHASE, EACH SUBSEQUENT PHASE WILL HAVE REACHED FINAL STABILIZATION BEFORE INITIATING THE NEXT PHASE.**

**MAINTENANCE AGREEMENT NOTE:**

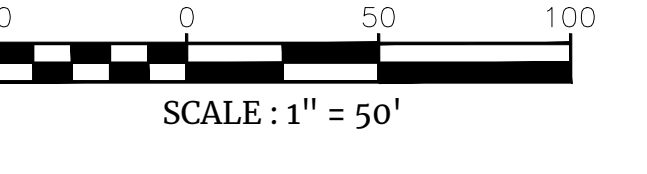
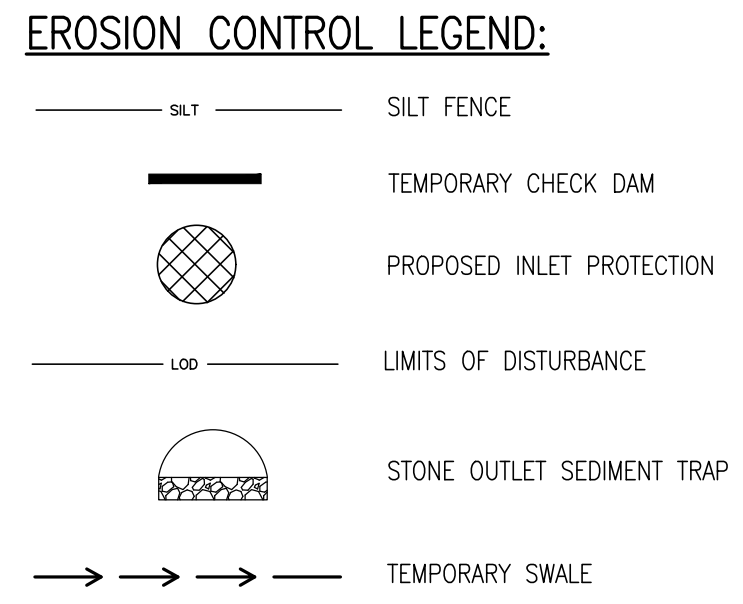
THE OWNER/APPLICANT SHALL ENTER INTO AN ENFORCEABLE MAINTENANCE AGREEMENT WITH THE MUNICIPALITY (IF AN MS4 COMMUNITY) RELATED TO MAINTENANCE OF STORMWATER FACILITIES. THE OWNER/APPLICANT IS RESPONSIBLE TO PERFORM ALL REQUIRED MAINTENANCE BOTH DURING CONSTRUCTION AND LONG-TERM. THE NATURE OF THE AGREEMENT IS TO ALLOW THE MUNICIPALITY TO PERFORM MAINTENANCE AT THEIR OPTION SHOULD THE OWNER/APPLICANT FAIL TO ADEQUATELY MAINTAIN THE SYSTEM AS DETERMINED BY THE MUNICIPAL ENGINEER. MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SWPPP AND DETAIL SHEETS.

**GRADING NOTES:**

- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION.

**ADA INSTRUCTIONS TO CONTRACTOR:**

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
  - PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
  - CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
  - LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
  - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS-SLOPE.
  - WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
  - DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 48 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.



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Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC**

S.B.L. 1-1-58.12

TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

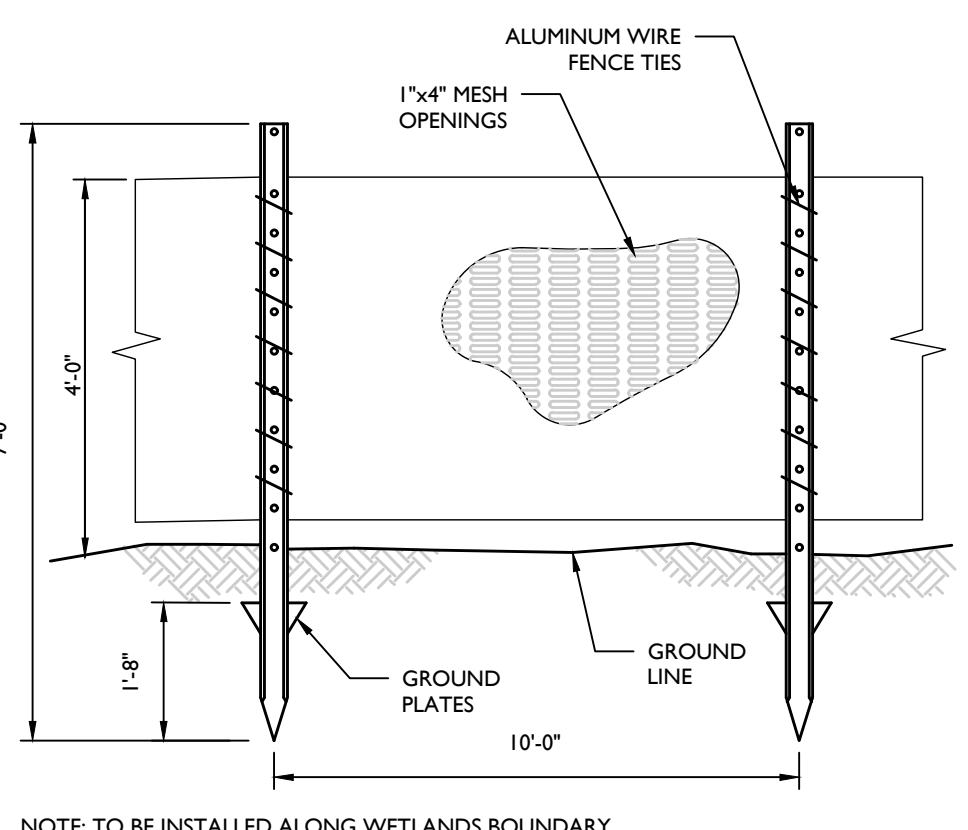
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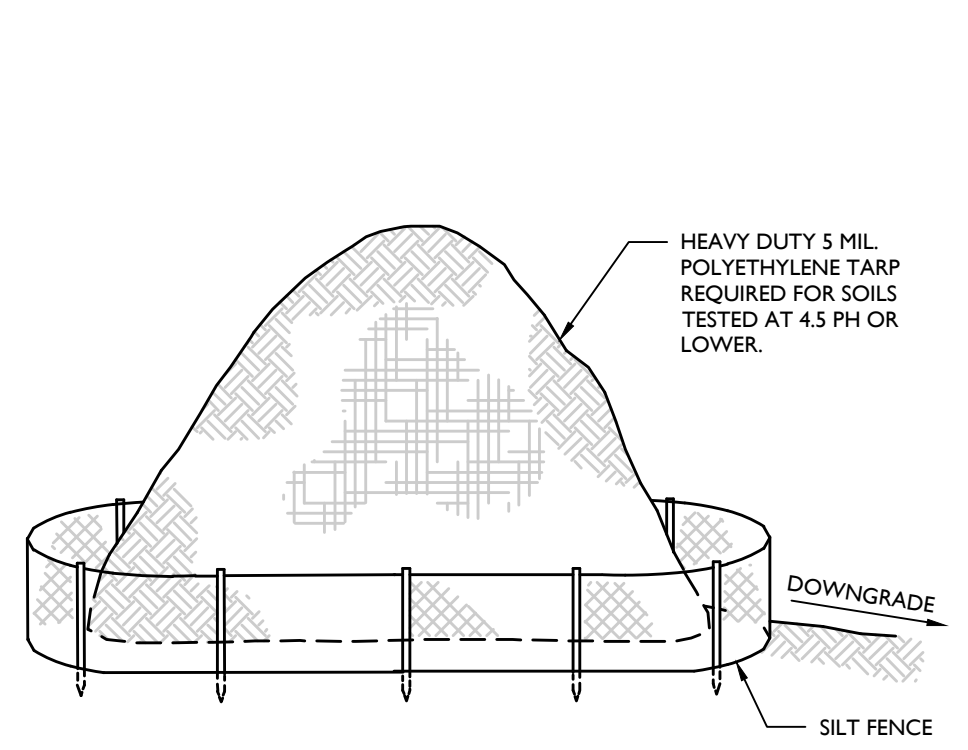
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SHEET NUMBER: 7 of 16

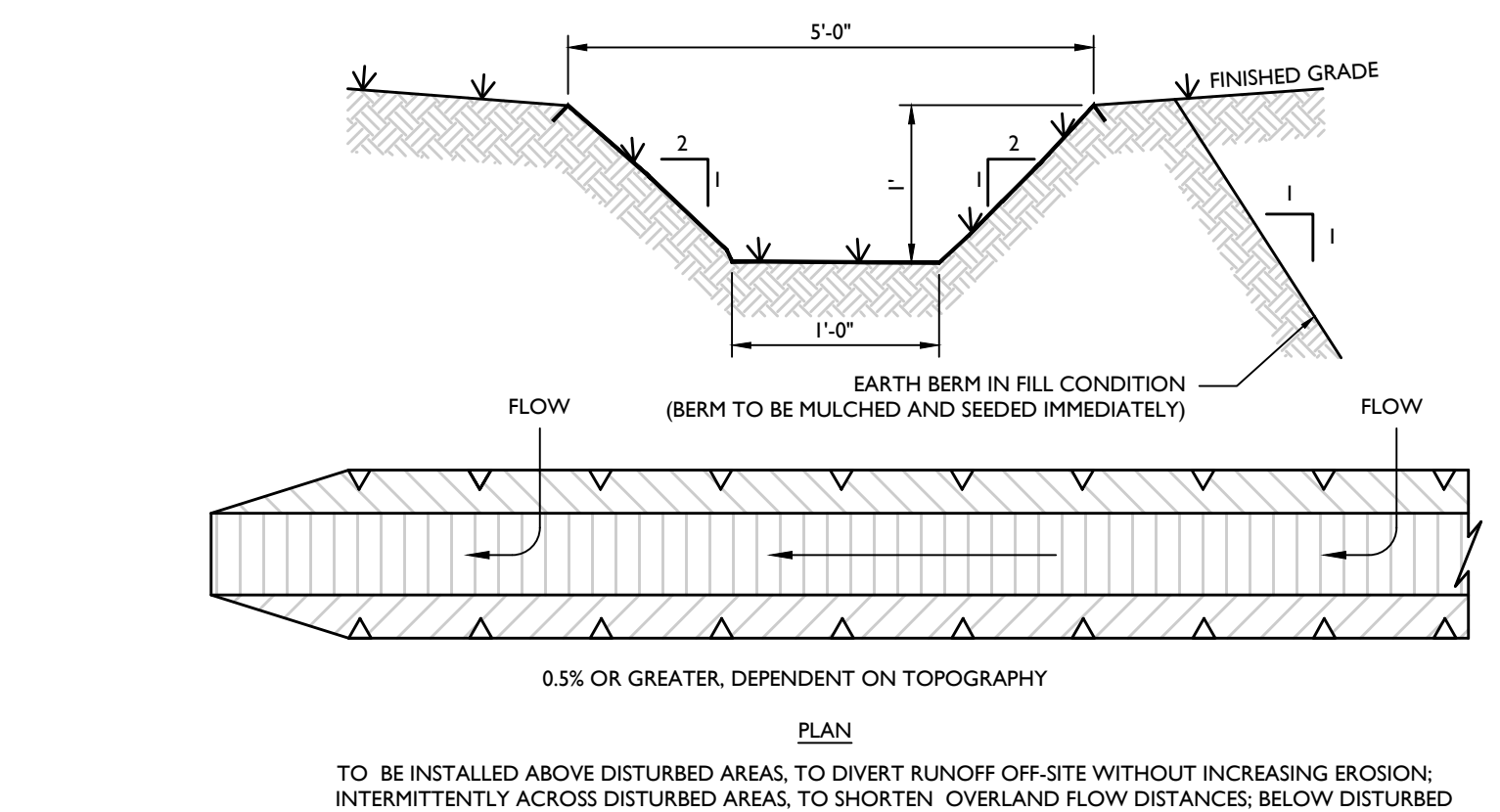
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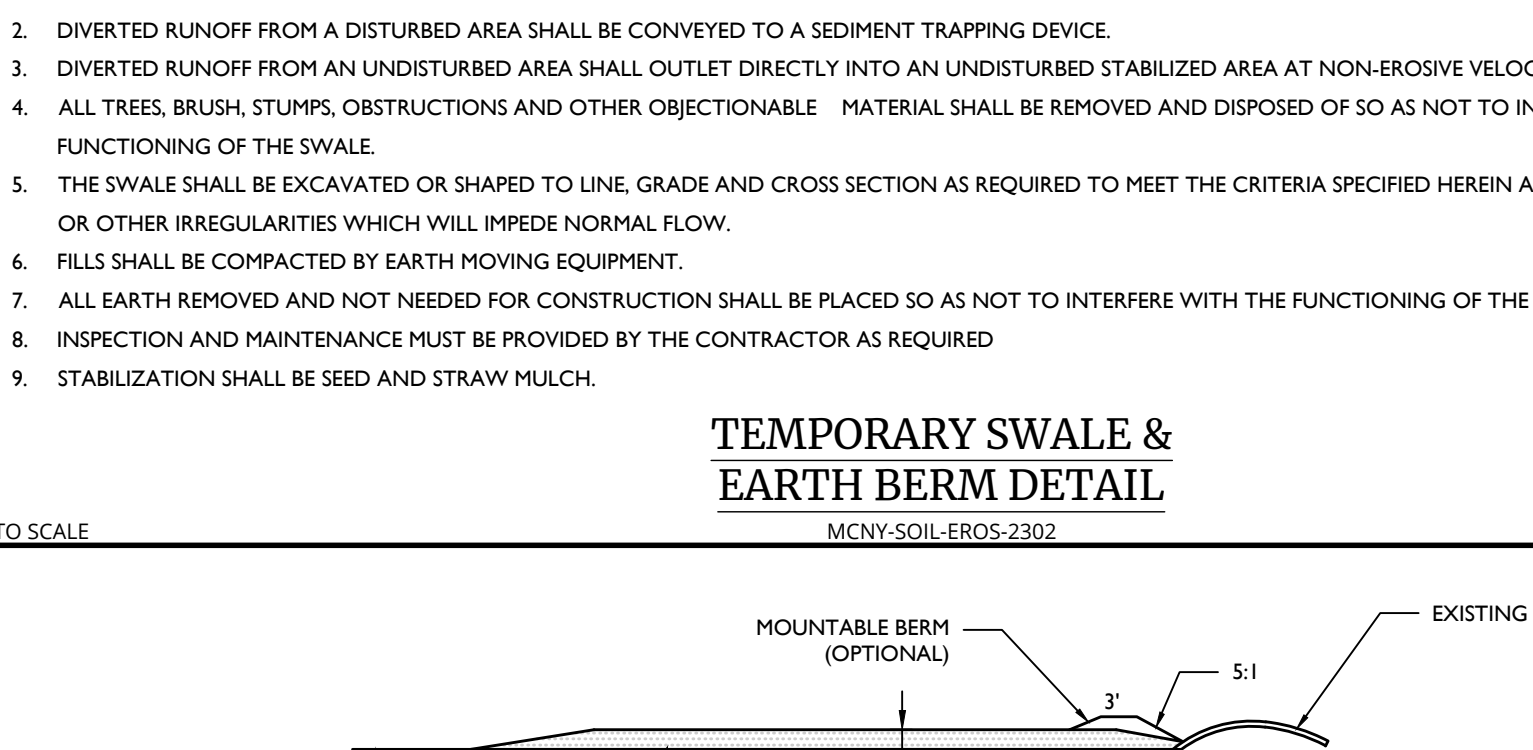
**ORANGE CONSTRUCTION FENCE DETAIL**  
MCONV-SOIL-EROS-1400 07/01/19



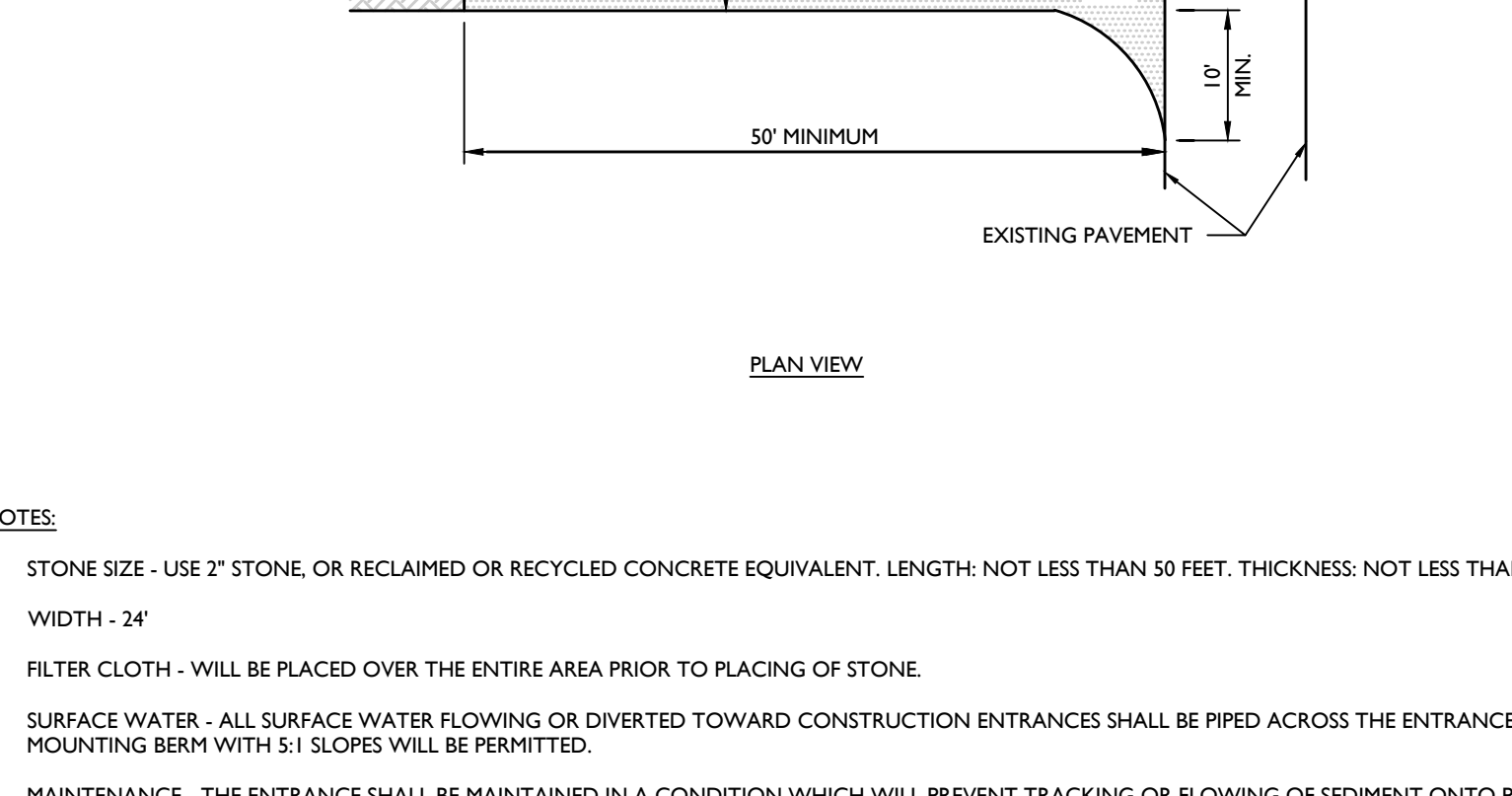
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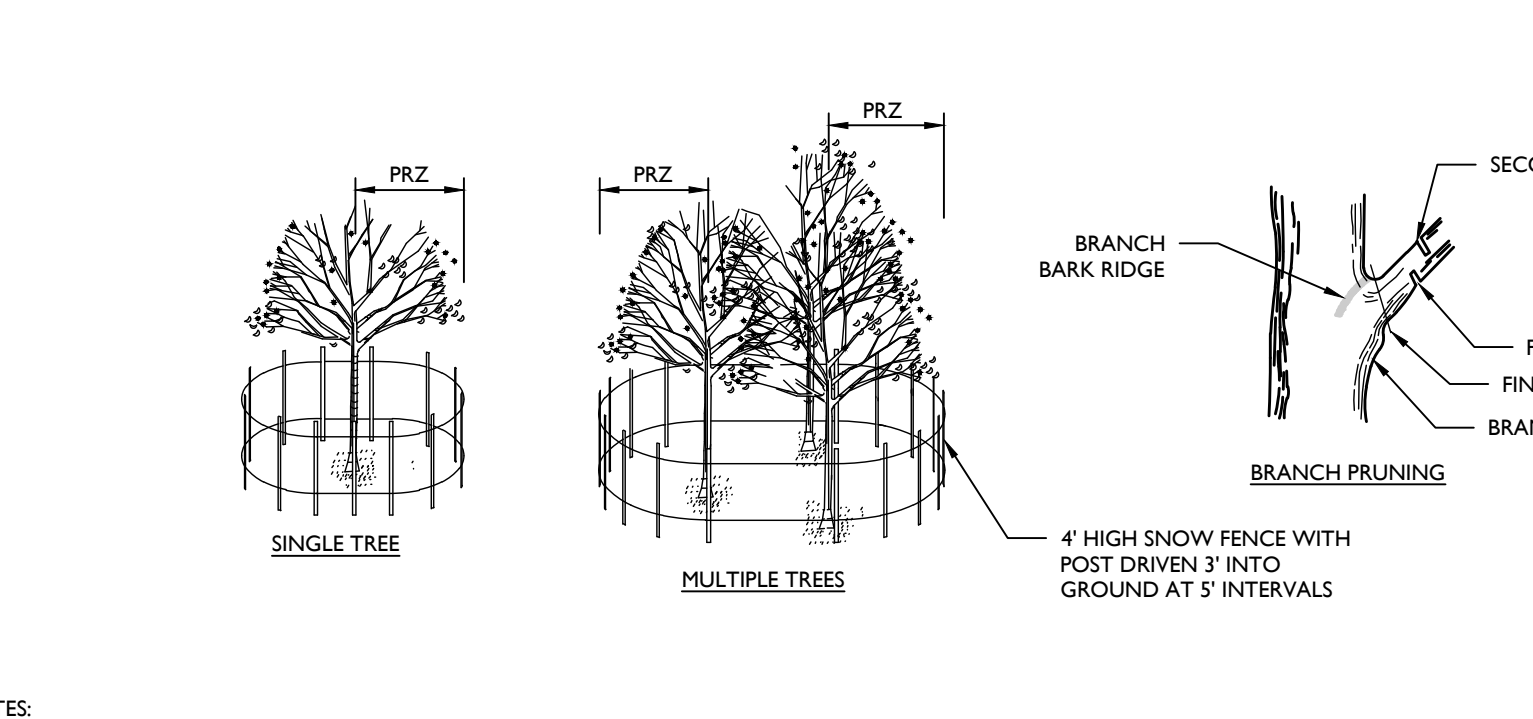
**TEMPORARY SWALE & EARTH BERM DETAIL**  
MCONV-SOIL-EROS-2302 07/01/19



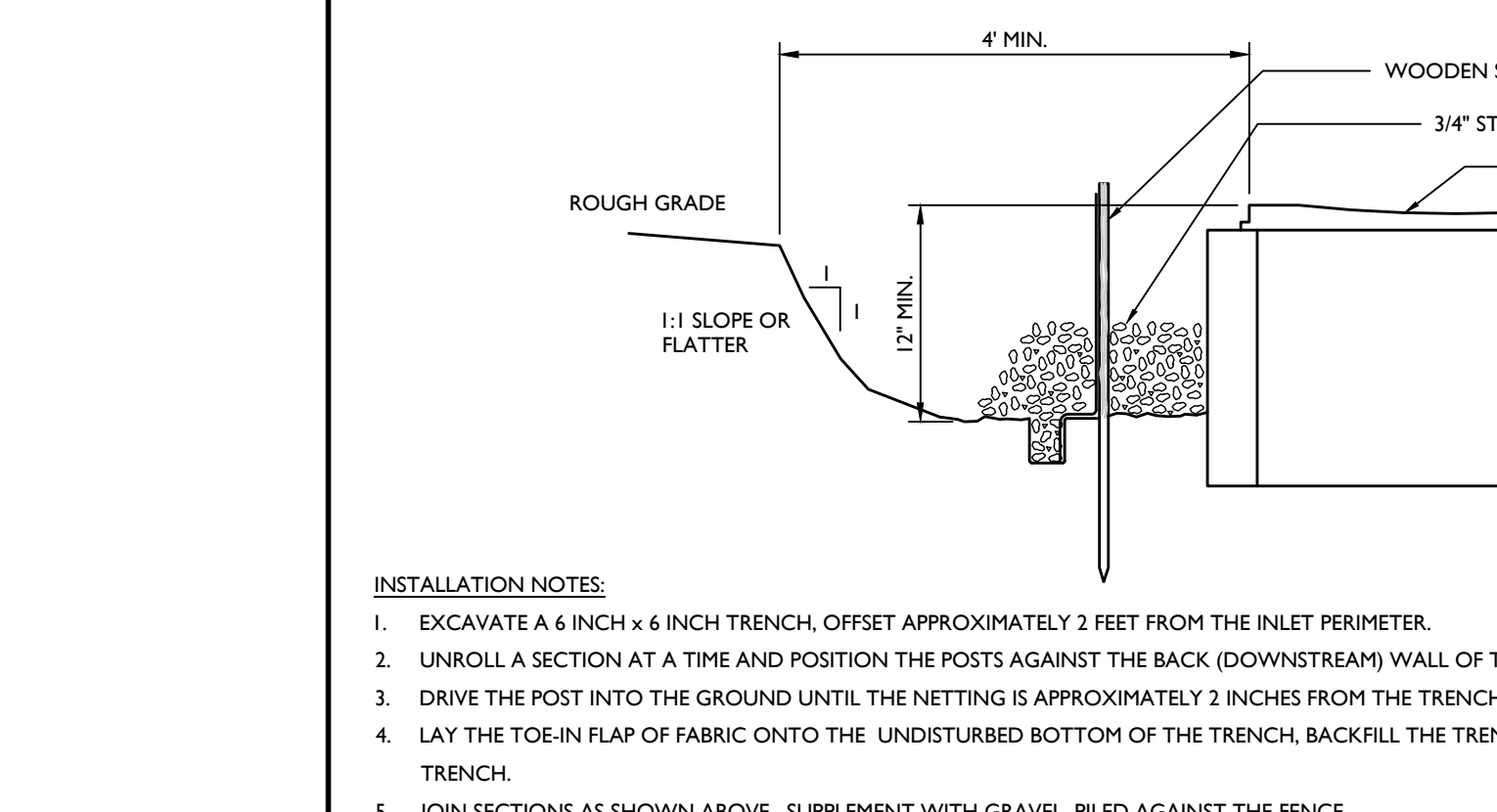
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
MCONV-SOIL-EROS-1000 07/01/19



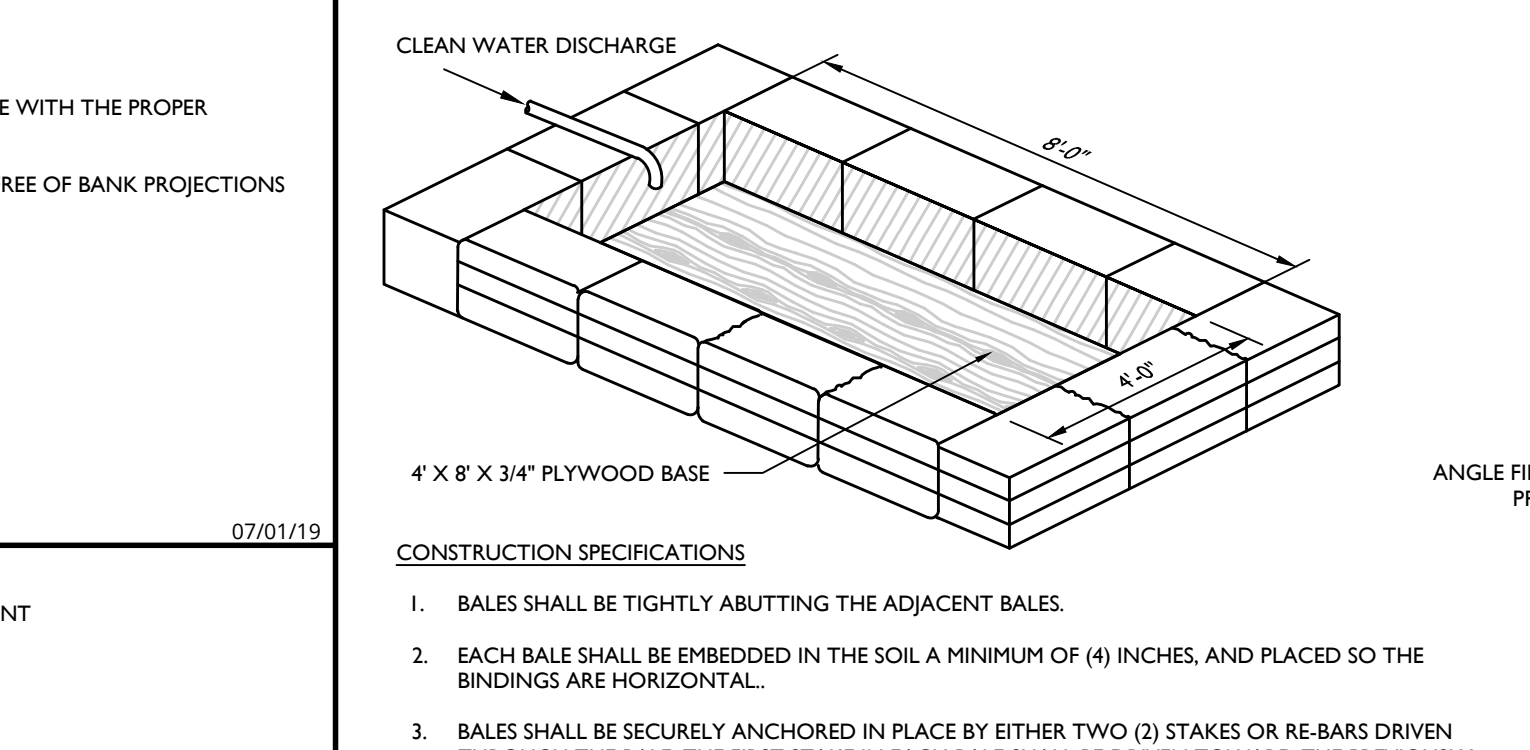
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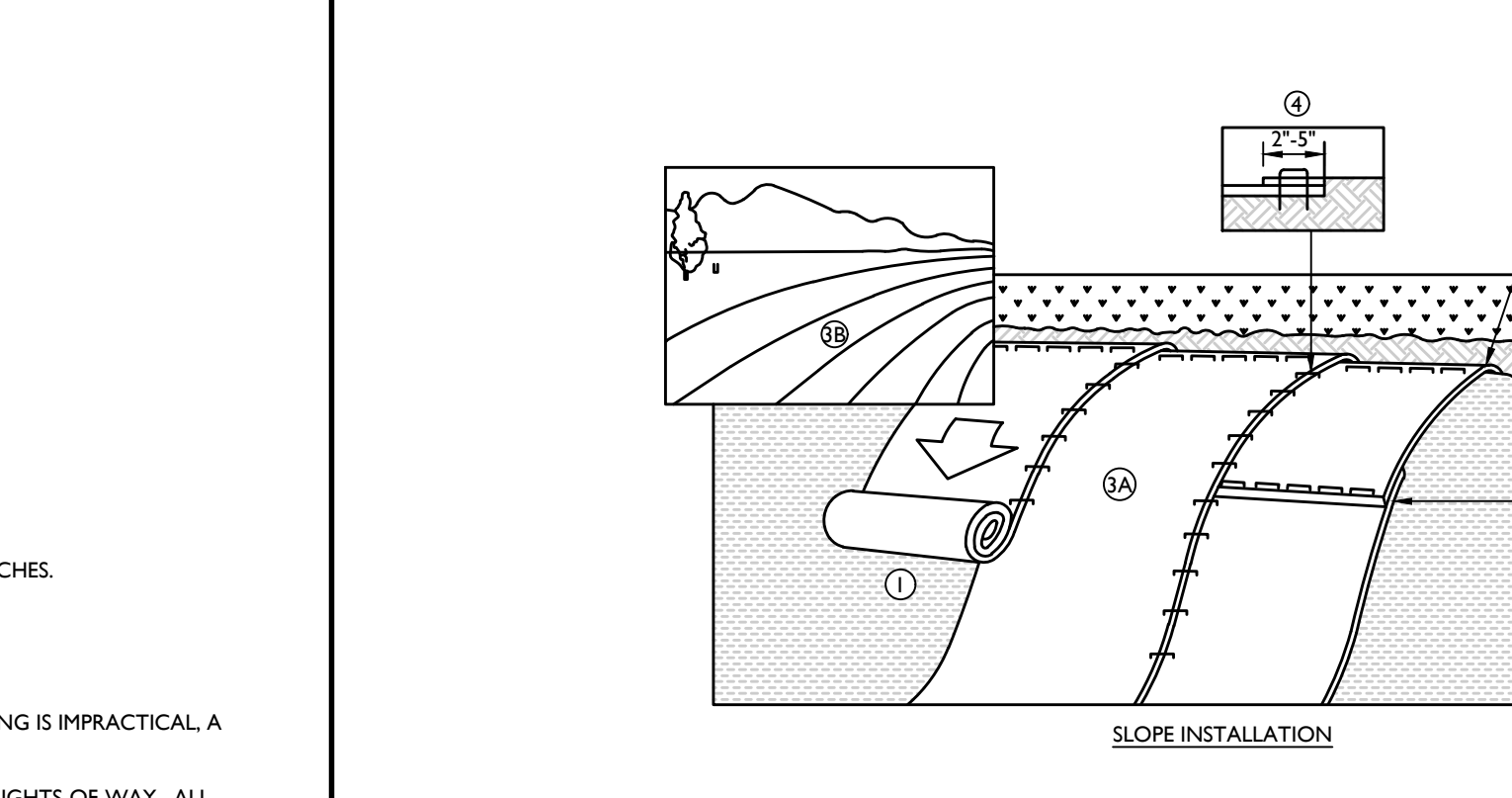
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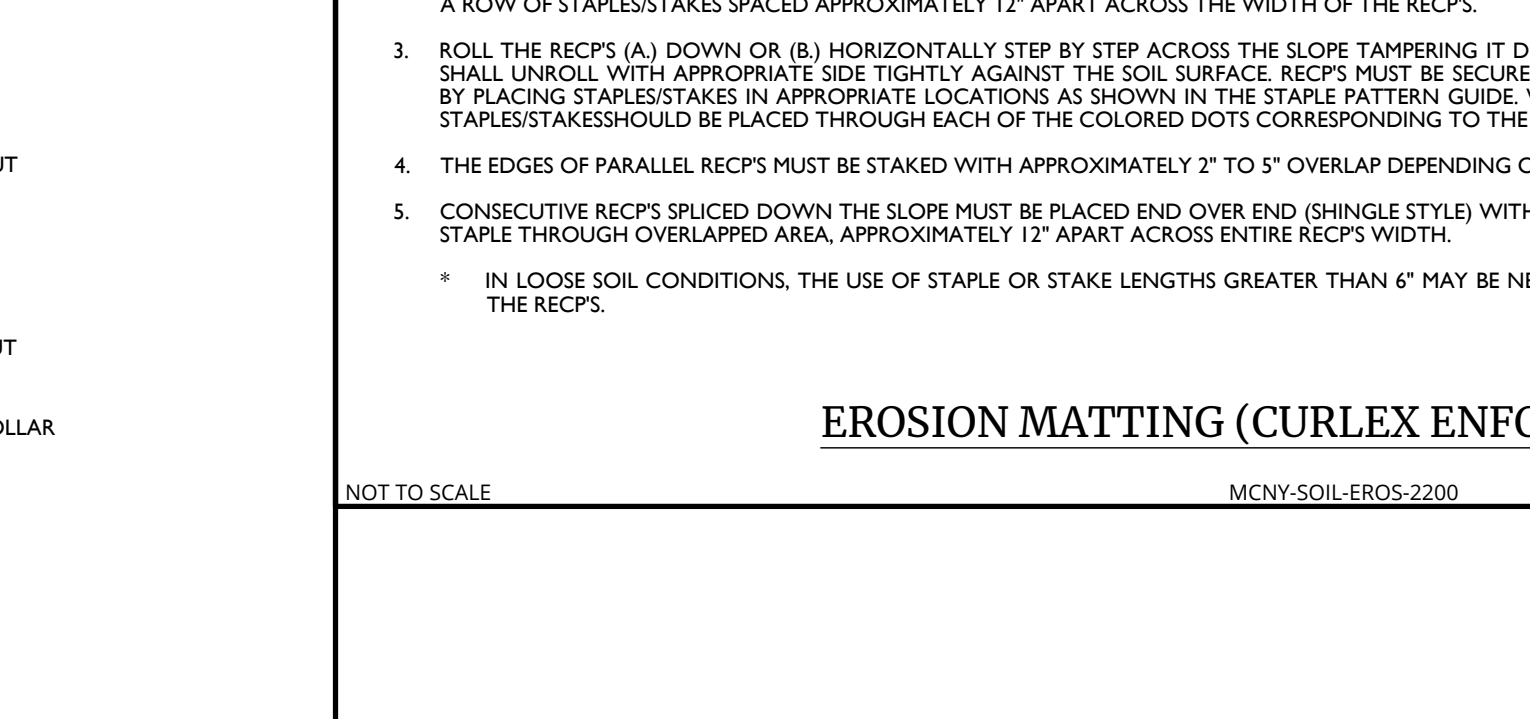
**STORM INLET SEDIMENT TRAP DETAIL**  
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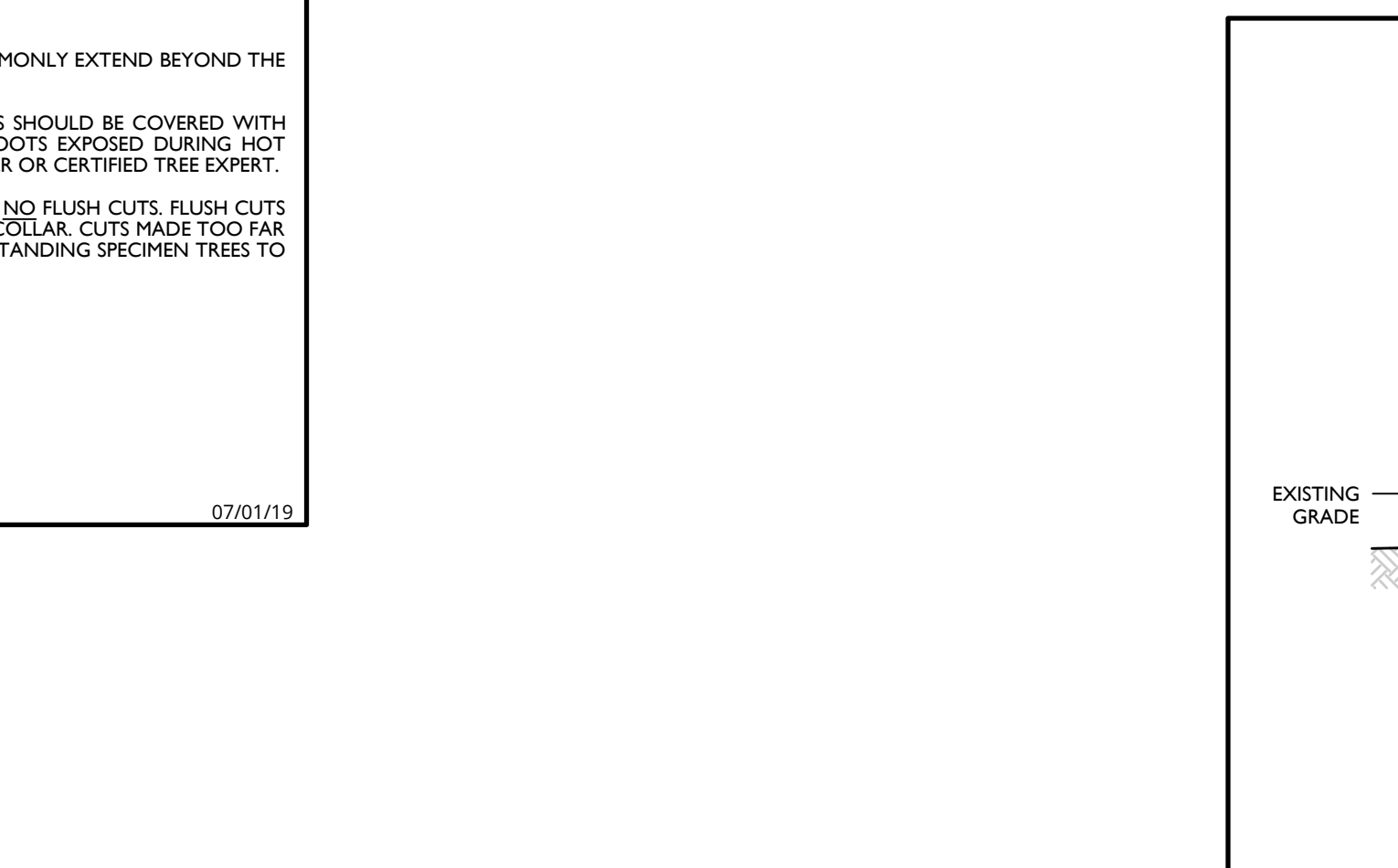
**DEWATERING PAD DETAIL**  
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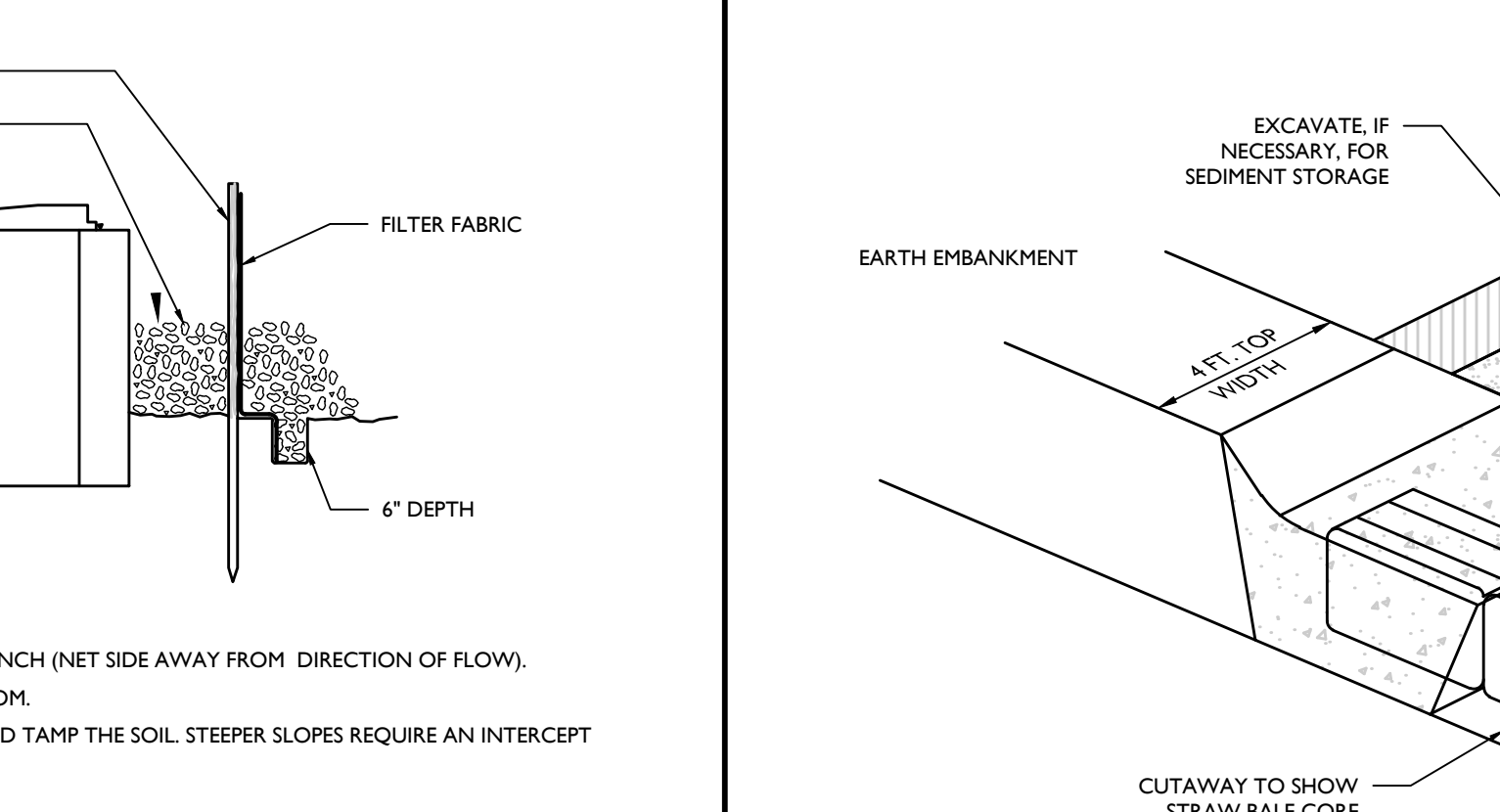
**STONE OUTLET SEDIMENT TRAP DETAIL**  
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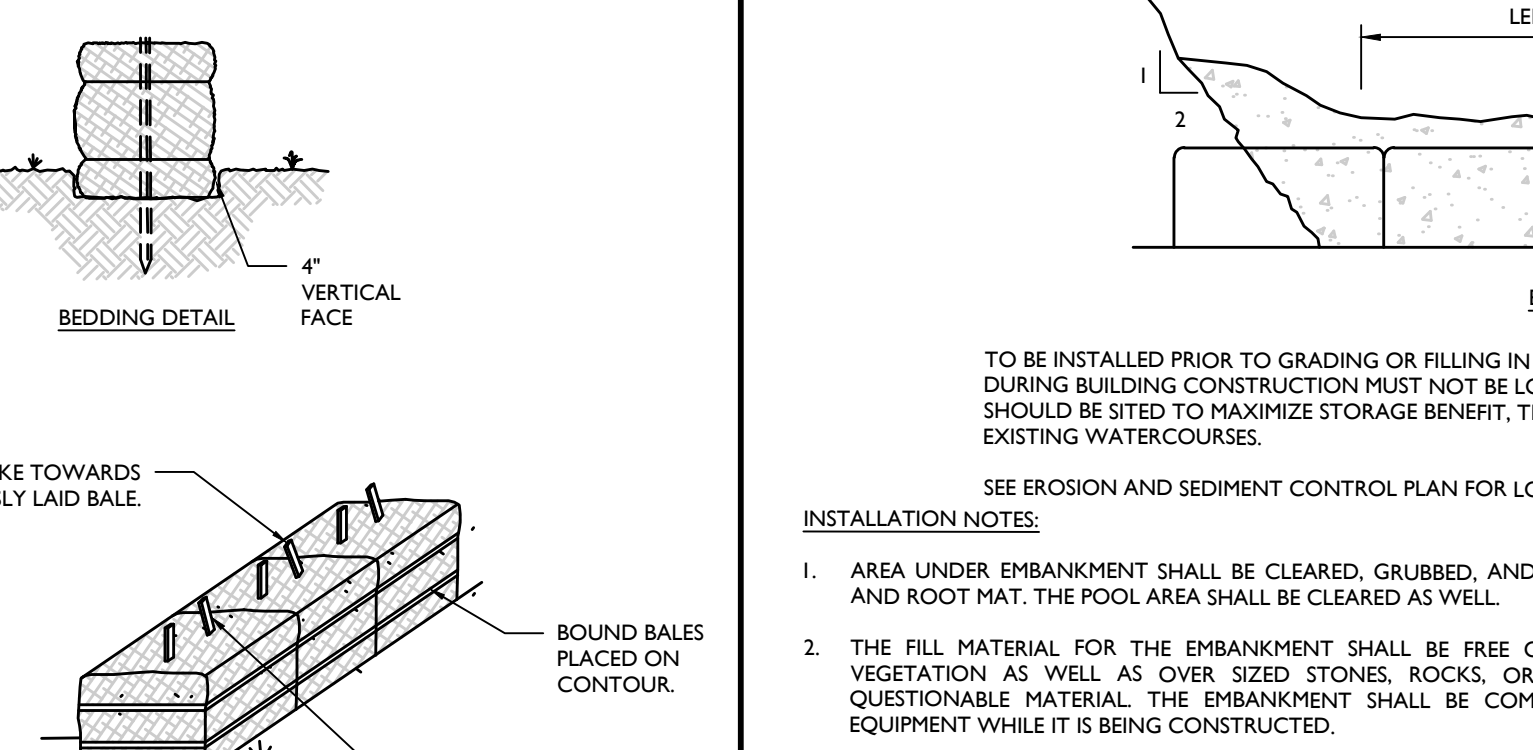
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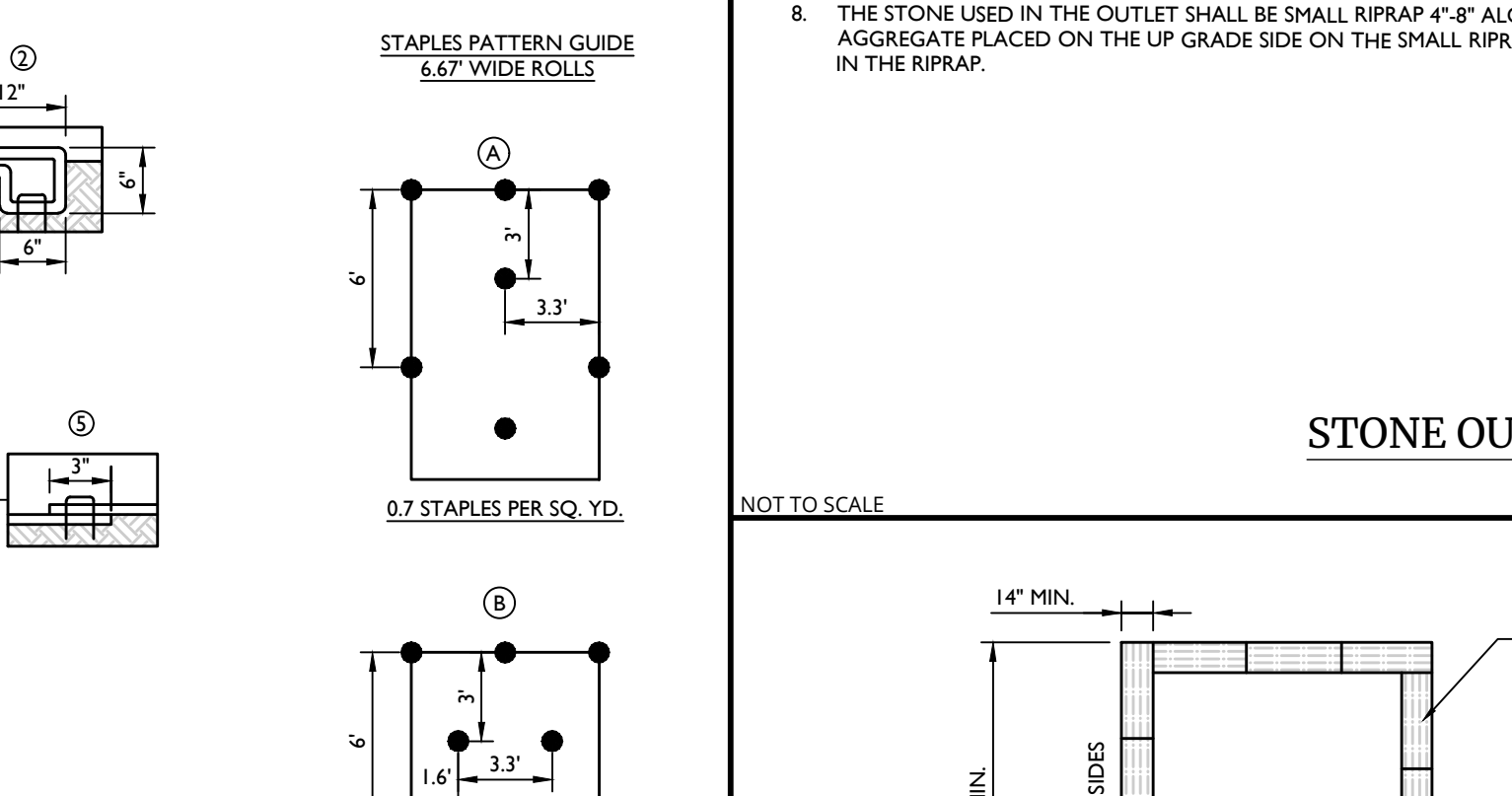
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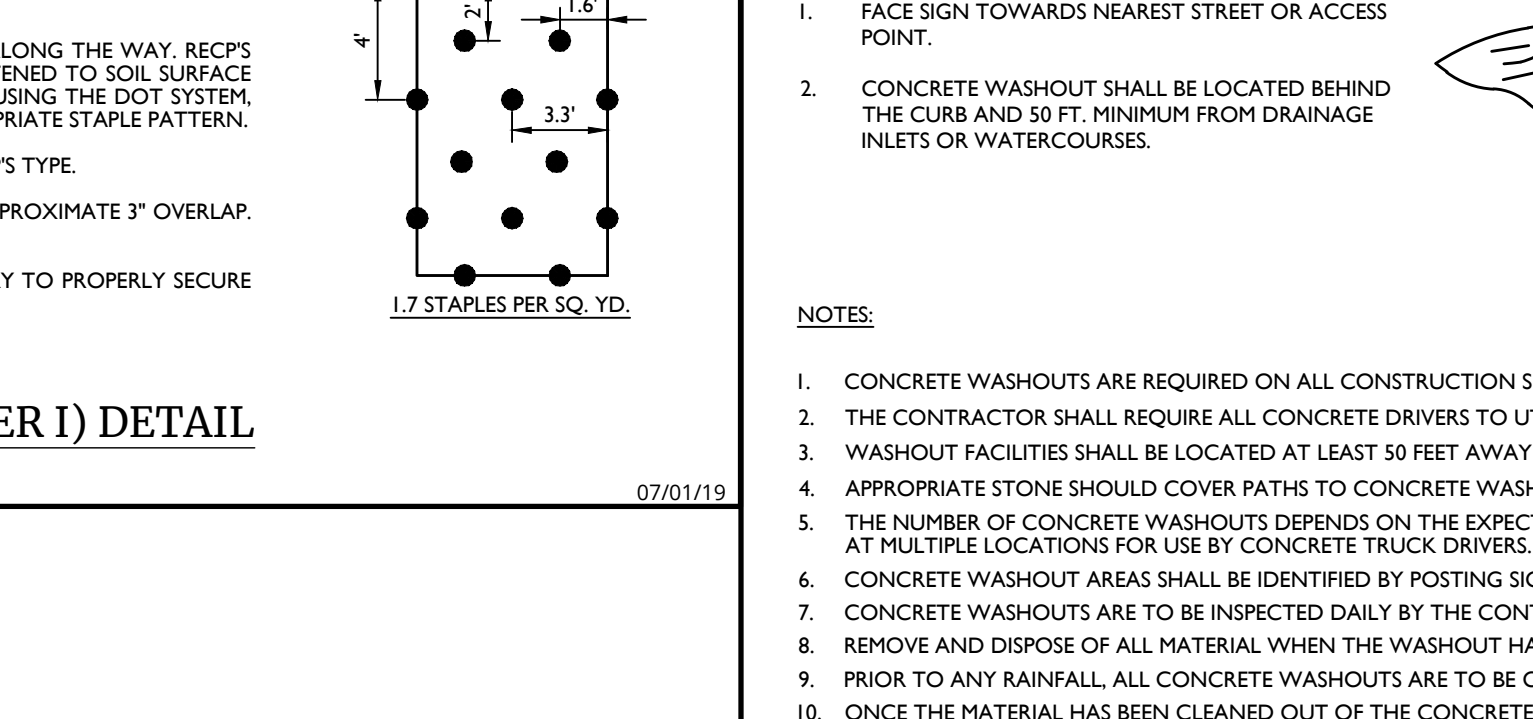
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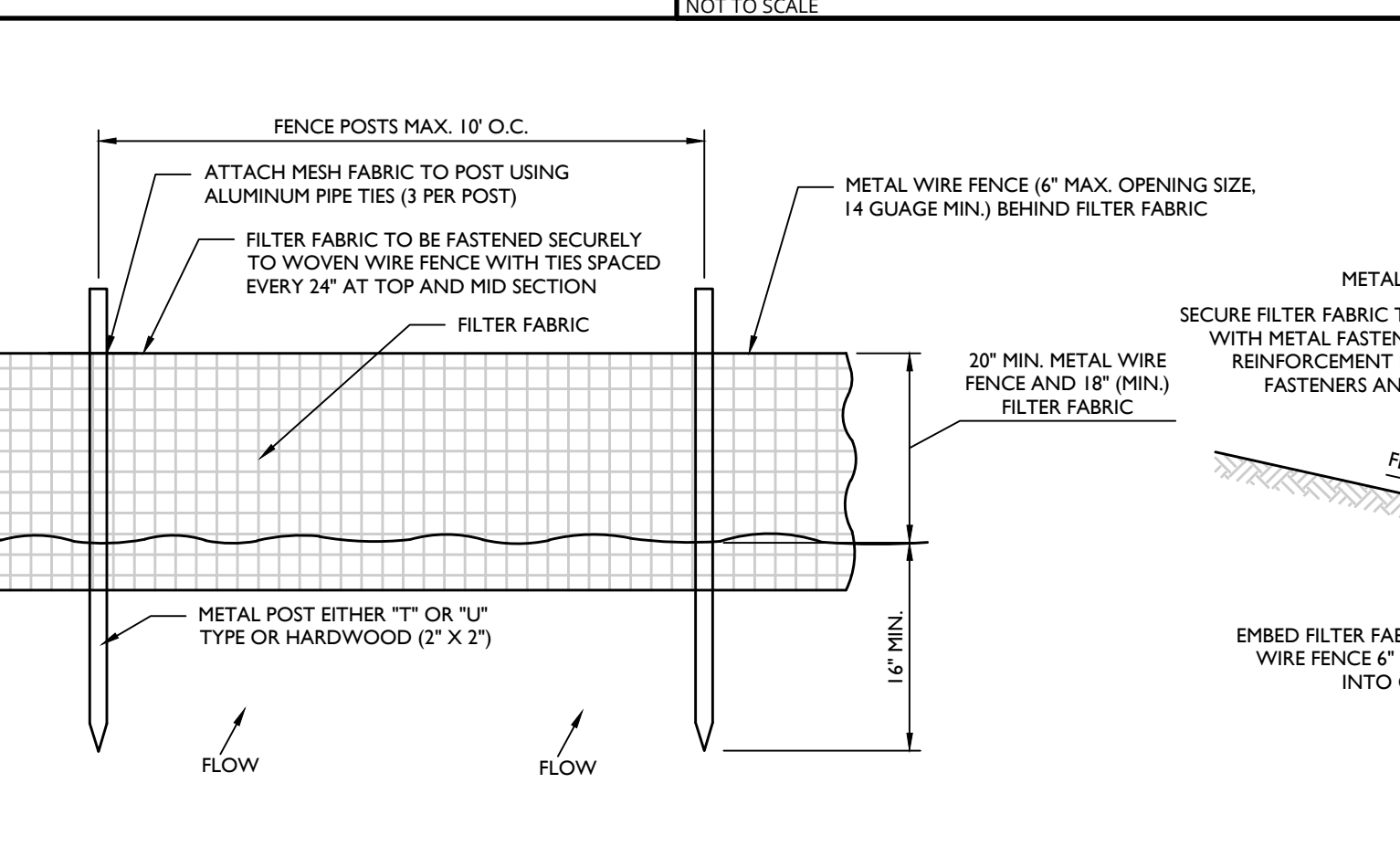
**TOPSOIL STOCKPILE DETAIL**  
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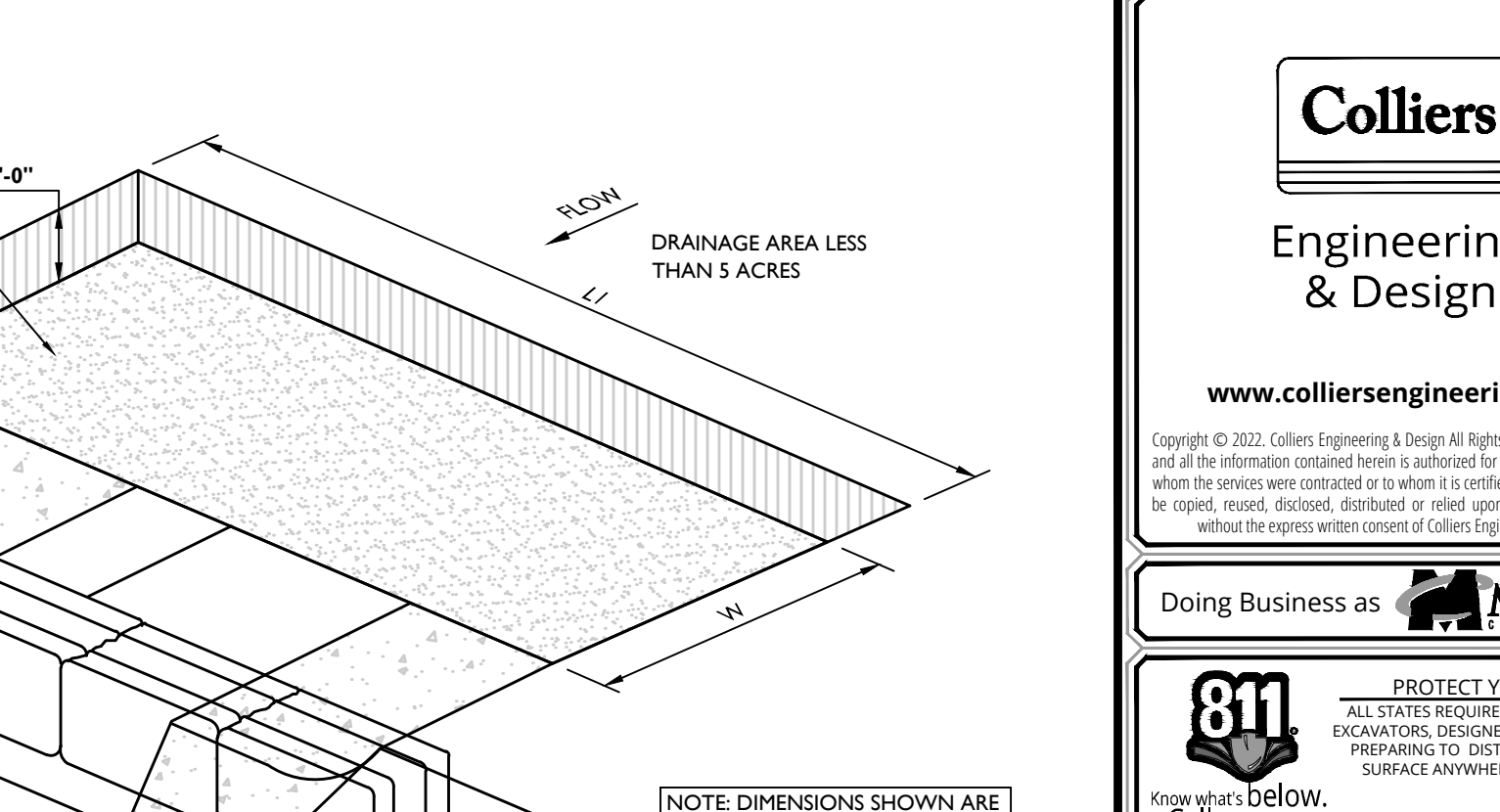
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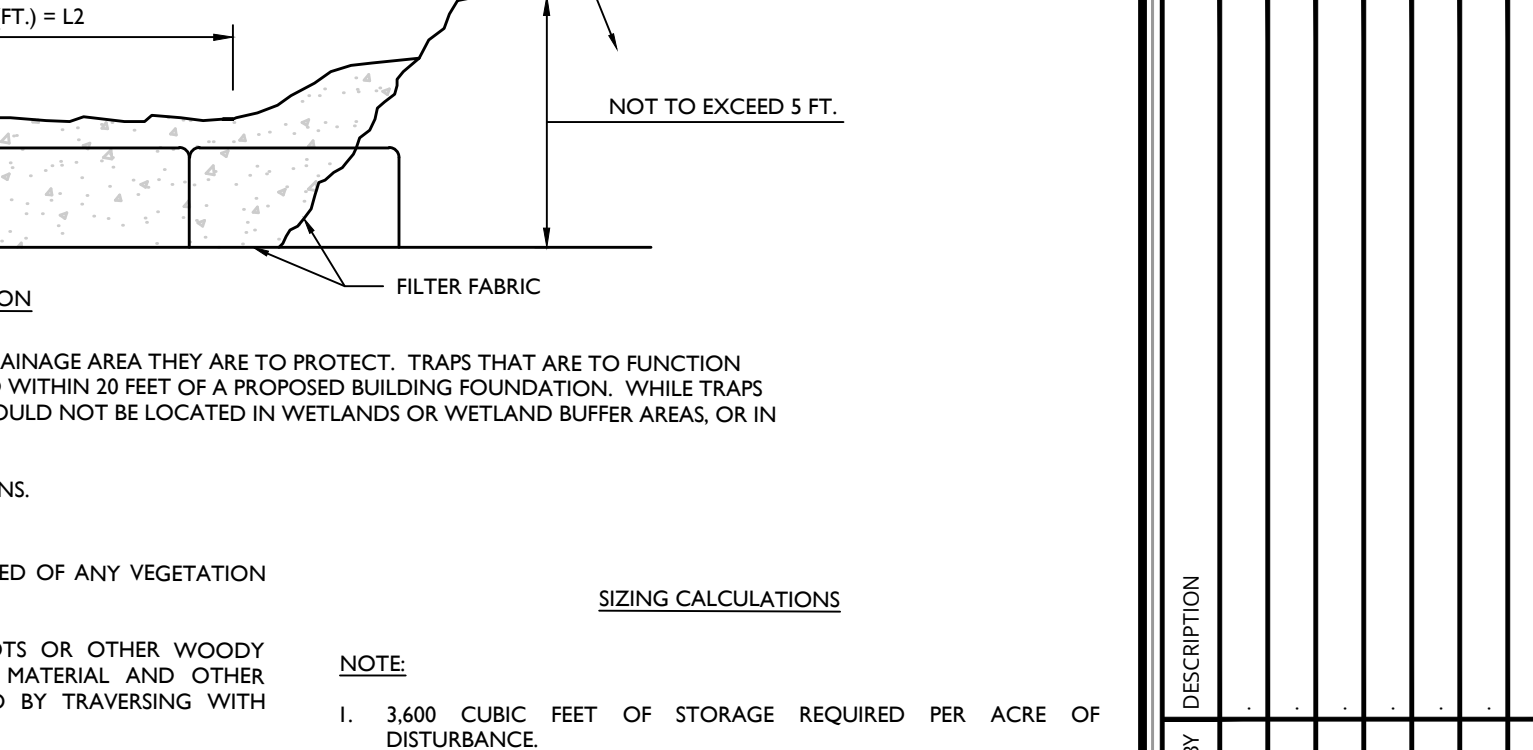
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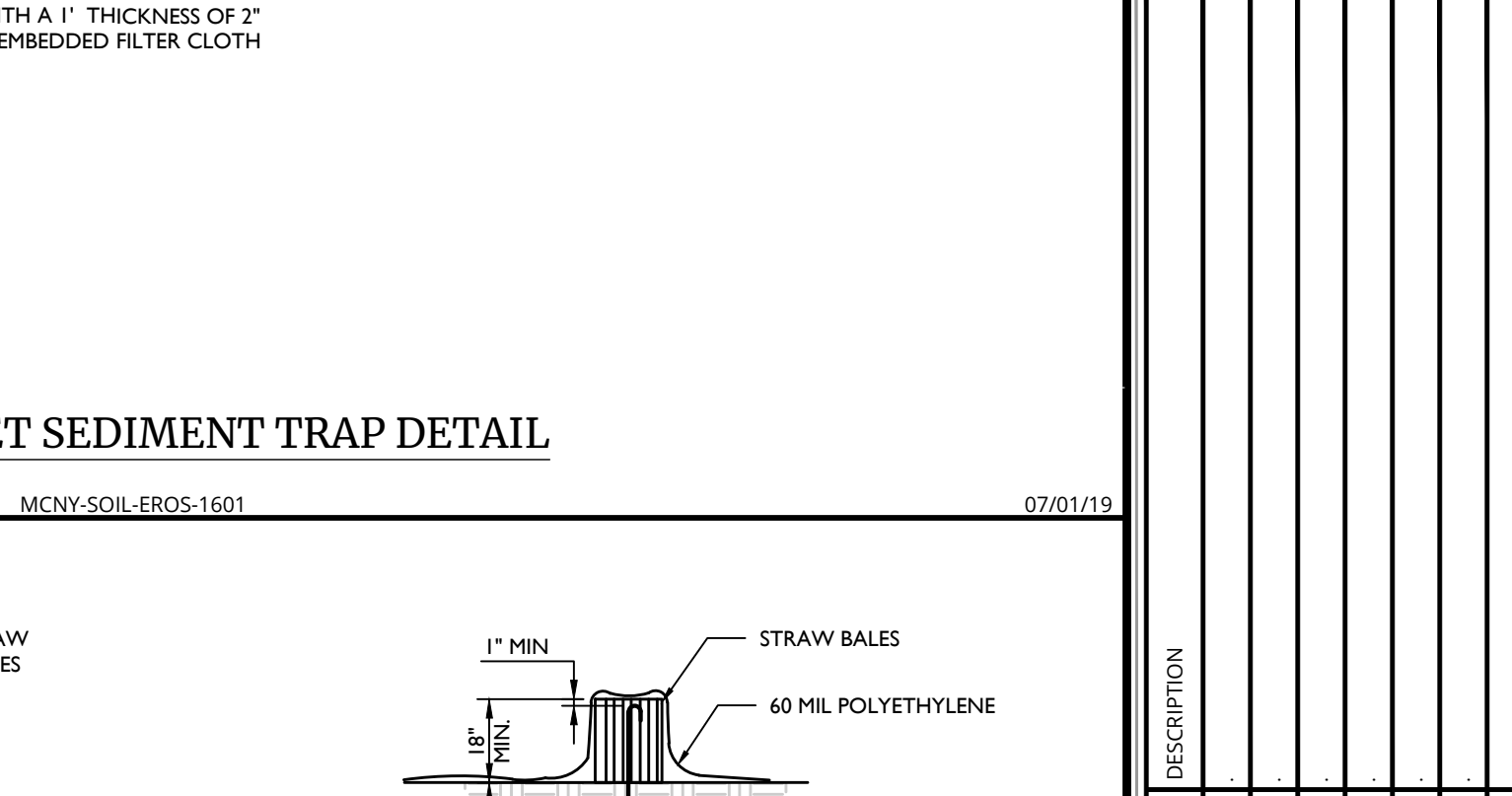
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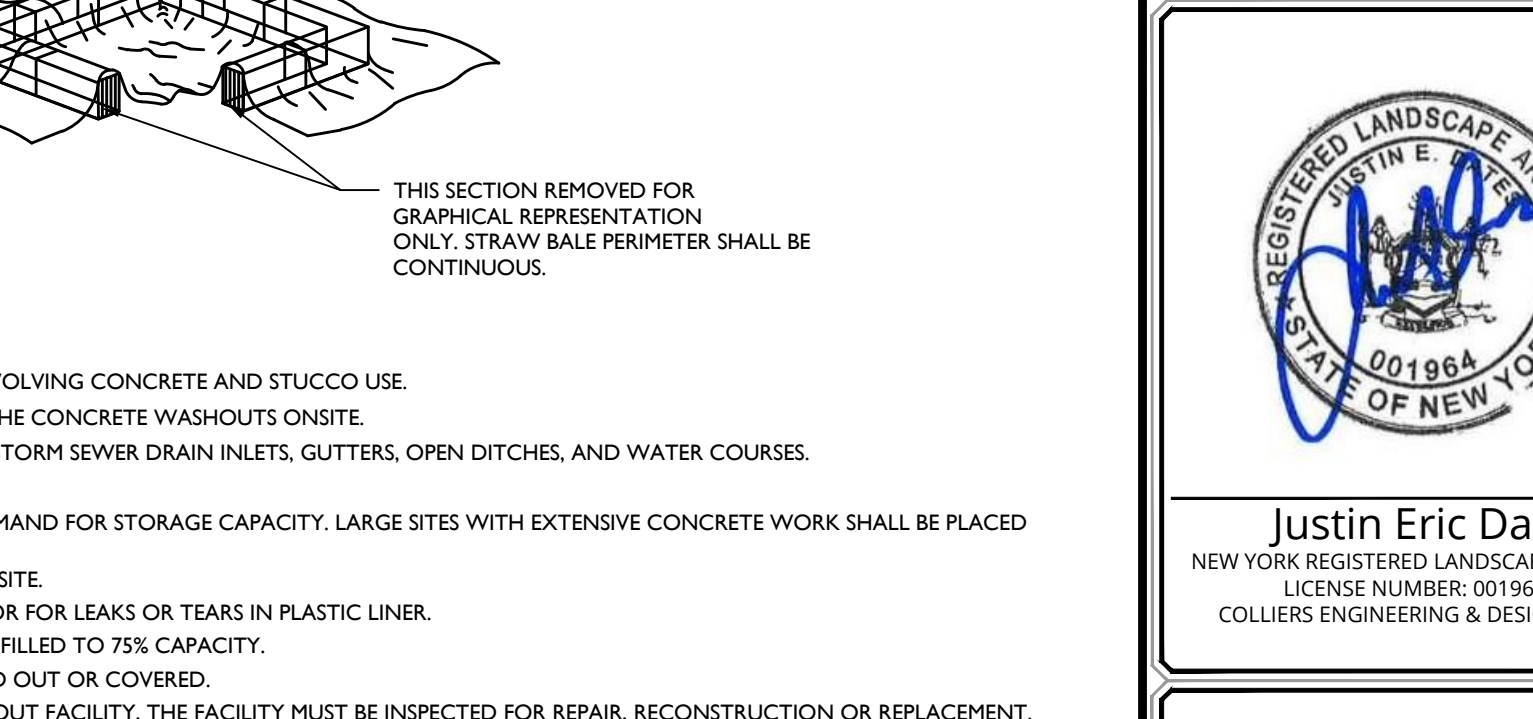
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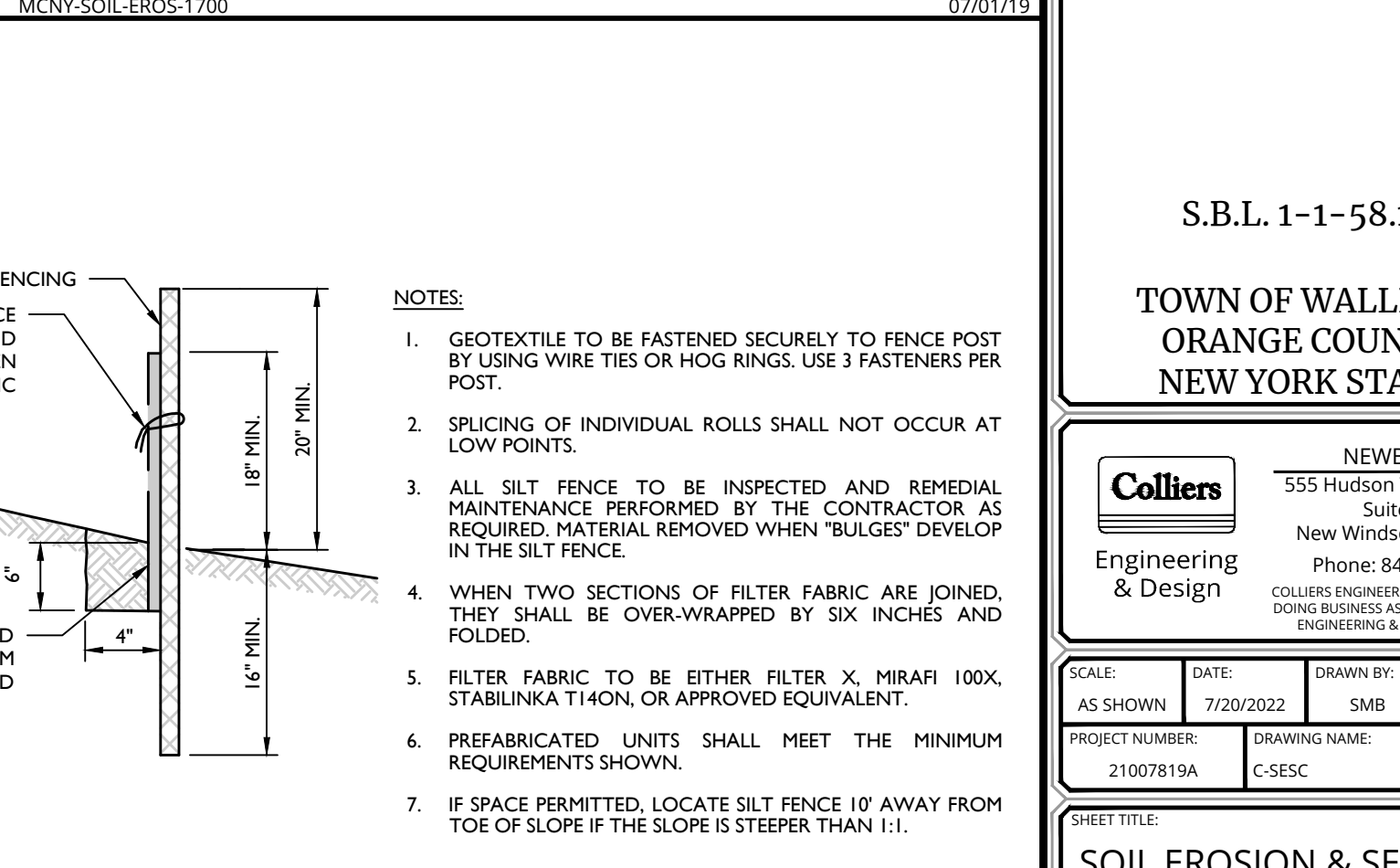
**DEWATERING PAD DETAIL**  
MCONV-SOIL-EROS-1801 07/01/19



**STONE OUTLET SEDIMENT TRAP DETAIL**  
MCONV-SOIL-EROS-1601 07/01/19



**CONCRETE WASHOUT DETAIL**  
MCONV-SOIL-EROS-1700 07/01/19



**REINFORCED SILT FENCE (WITH WIRE FENCE) DETAIL**  
MCONV-SOIL-EROS-1101 07/01/19

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NO.	DATE	BY	DESCRIPTION

**REGISTERED LANDSCAPE ARCHITECT**  
JUSTIN ERIC DATES  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY SITE PLAN**  
FOR  
**89 ROUTE 17K LLC**  
S.B.L. 1-1-58.12  
**TOWN OF WALLKILL**  
ORANGE COUNTY  
NEW YORK STATE

**Colliers** Engineering & Design  
555 Hudson Valley Avenue, Suite 101, New Windsor, NY 12553  
Phone: 845-564-4495  
Colliers Engineering & Design CT, P.C.  
Doing Business as Maser Consulting Engineers & Landscape Architects  
DATE: 7/20/2022  
PROJECT NUMBER: 21007818A  
DRAWING NAME: C-SEDC  
SHEET NUMBER: 8 of 16  
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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REV	DATE	DRAWN BY	DESCRIPTION



Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-DT  
COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY  
SITE PLAN  
FOR  
89 ROUTE 17K LLC

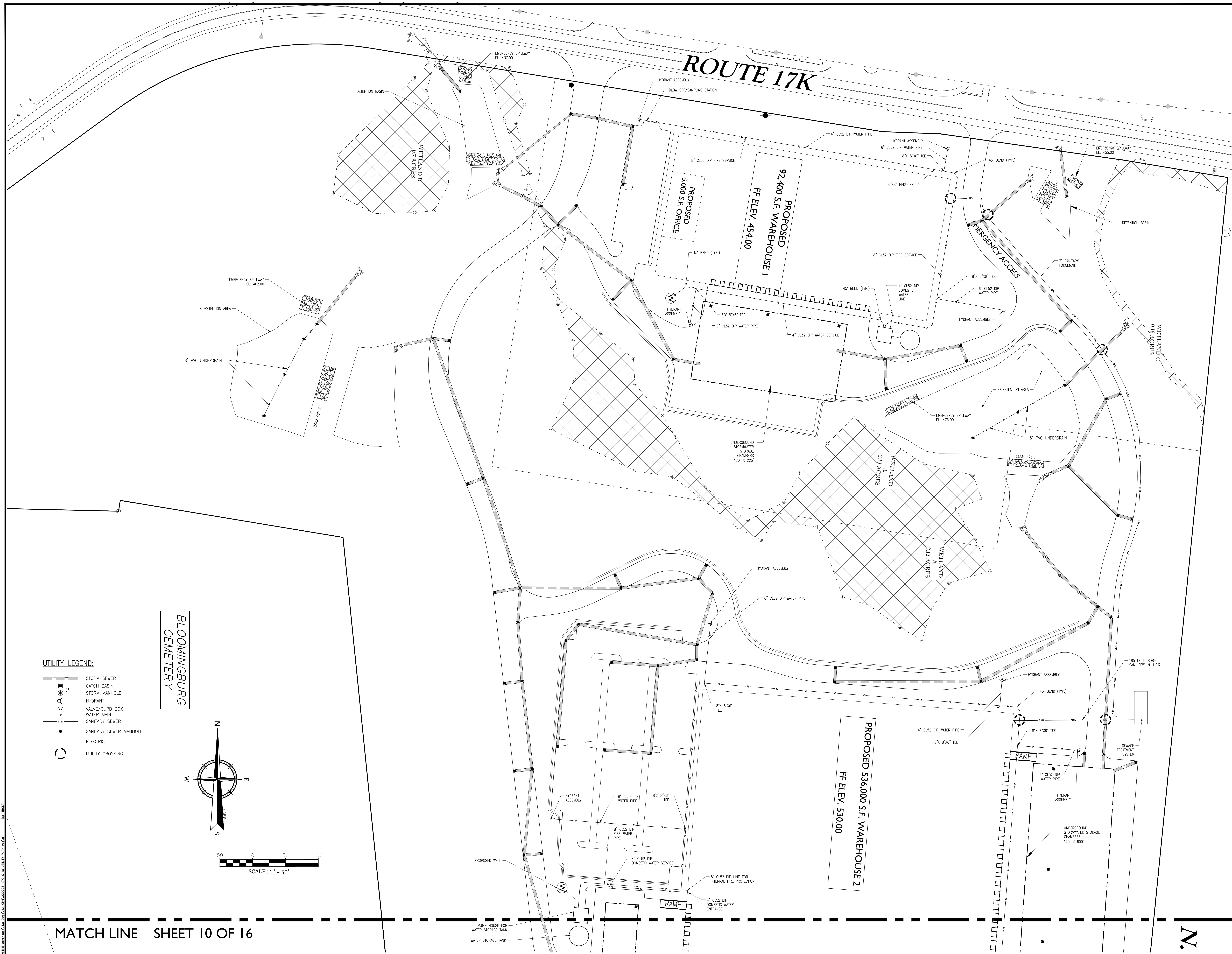
S.B.L. 1-1-58.12

TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

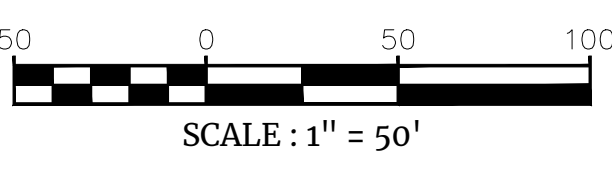
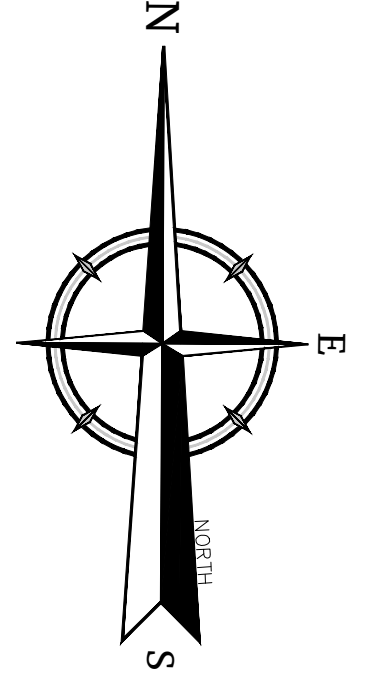
NEWBURGH  
555 HUDSON VALLEY AVENUE  
Suite 101  
NEW WINDSOR, NY 12553  
Phone: 845.564.4495  
Colliers Engineering & Design  
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SCALE: DATE: DRAWN BY: CHECKED BY:  
AS SHOWN 07/20/2022 KRM JED  
PROJECT NUMBER: DRAWING NAME:  
21007819A 220705\_17K\_G110  
UTILITY PLAN

SHEET NUMBER:  
9 of 16



BLOOMINGBURG  
CEMETERY

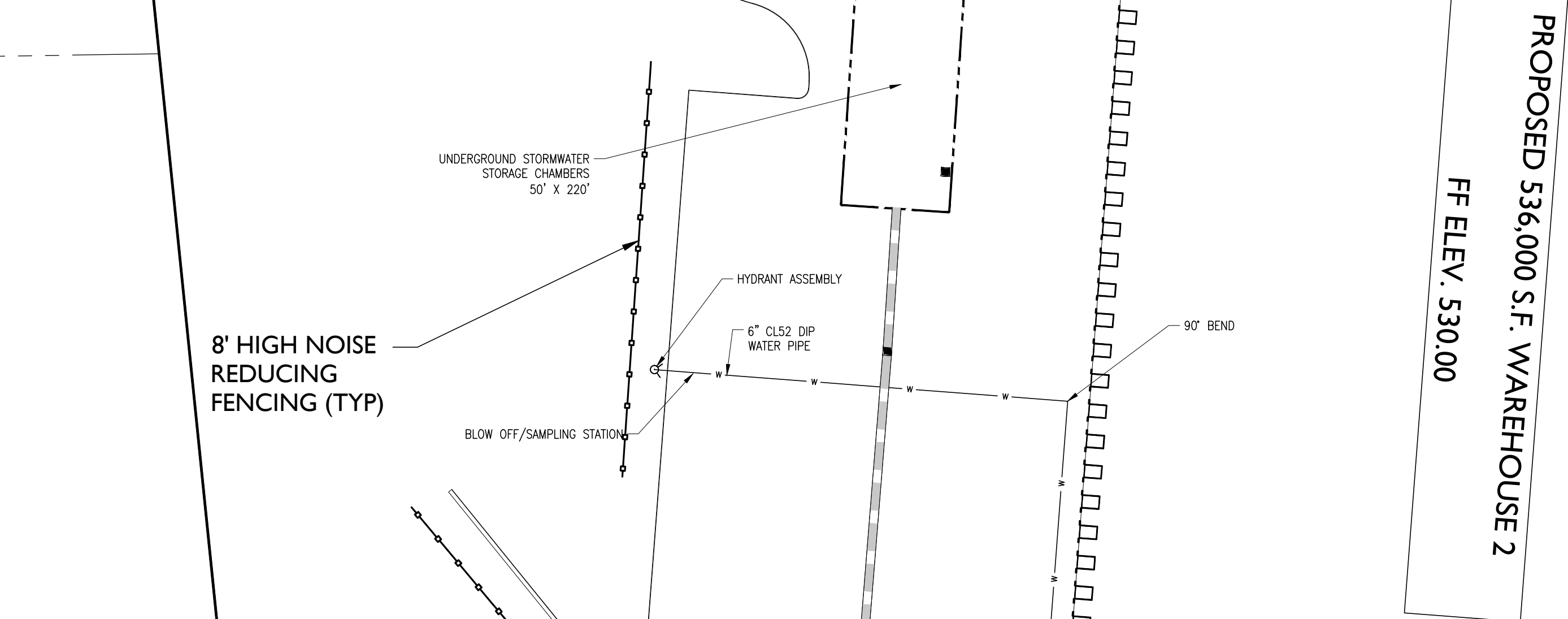
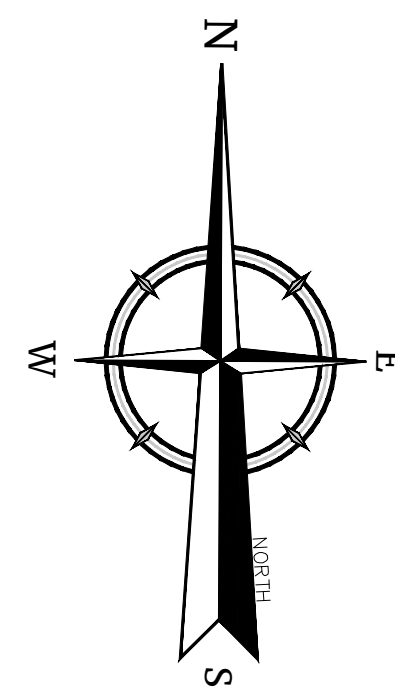


- UTILITY LEGEND:
- STORM SEWER
  - CATCH BASIN
  - STORM MANHOLE
  - HYDRANT
  - VALVE/CURB BOX
  - WATER MAIN
  - SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - ELECTRIC
  - UTILITY CROSSING

MATCH LINE SHEET 10 OF 16

N

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**GENERAL:**

- ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF WALLKILL OR THE AGENCY HAVING JURISDICTION OVER THE APPLICABLE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THE CONFLICT IS DISCOVERED.
- TOPS OF EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE UTILITY OWNERS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING, BENCHING, AND OTHER MEANS OF PROTECTION, THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND INVERT ELEVATIONS BEFORE CROSSING MANHOLE AND CATCH BASIN STRUCTURES.
- ALL UTILITIES BELOW PAVED AREAS SHALL BE BACKFILLED WITH 100% GRANULAR MATERIAL (OR APPROVED OTHER) AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.
- ALL RIM ELEVATIONS IN OUTLAIN AREAS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED BY THE CONTRACTOR AFTER FINAL GRADES ARE ESTABLISHED.
- ALL WATER/TOWN AND SANITARY UTILITIES ARE TO BE CONSTRUCTED AND TESTED WITH APPROVED MATERIALS IN ACCORDANCE WITH THE TOWN OF WALLKILL SPECIFICATIONS AND REGULATIONS AS AMENDED OR AS OTHERWISE APPROVED.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, ALL WORK SHALL STOP AND THE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OBTAINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- CONTRACTOR SHALL USE SPECIAL CARE TO MAINTAIN A MINIMUM OF ONE FOOT OF COVER ABOVE ALL PIPES AT ALL TIMES DURING ALL CONSTRUCTION STAGES.
- CONTRACTOR SHALL CONSULT WITH THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- THE WATER MAINS AND HYDRANTS SHALL BE INSTALLED AND IN PROPER OPERATING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY ABOVE GROUND CONSTRUCTION.
- ALL OPP STORM SEWER PIPE SHALL BE SMOOTH FLOW INTERIOR.

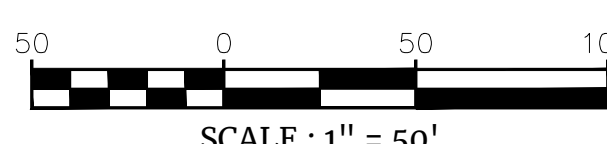
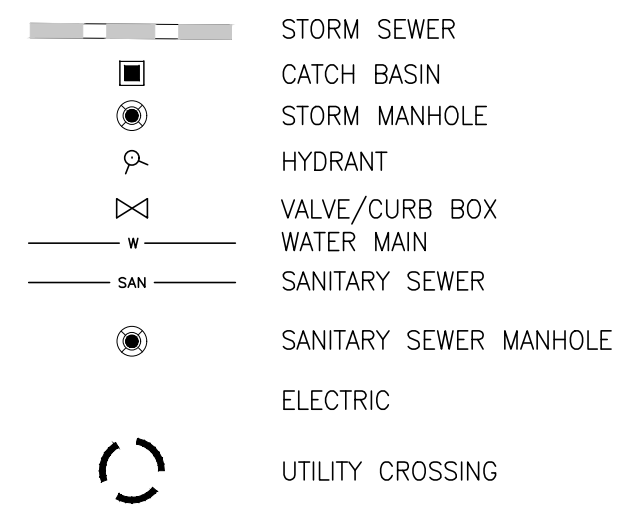
**STANDARD WATER MAIN EXTENSION NOTES:**

- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS (RESISTANCE TEST) (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE SAMPLING POINTS MUST BE DECONTAMINATED BY FLAMING.
- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE ORANGE COUNTY DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(a) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING, AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI), AND TURBIDITY.
- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE DEPARTMENT OF HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LIVING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (CONCRETE OR SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND WALLS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (LATEST REVISION).
- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SIZED 4" OR GREATER SHALL BE:
  - PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE HEALTH DEPARTMENT. A HEALTH DEPARTMENT REPRESENTATIVE MUST WITNESS THIS TEST.
  - DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE HEALTH DEPARTMENT APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE ACTIVATED.

**SANITARY SEWER NOTES:**

- ONLY DOMESTIC WASTE FROM THE PROJECT SHALL BE DISCHARGED INTO THE SANITARY SEWER.
- ALL SANITARY SEWER SHALL BE 8" PVC SDR-35 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- A MINIMUM OF 4 FEET OF COVER SHALL BE PROVIDED OVER ENTIRE LENGTH OF ALL SANITARY LATERALS.
- SANITARY SEWER LATERAL (S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE TOWN OF WALLKILL.
- FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. MAXIMUM SPACING BETWEEN CLEANOUTS ON SANITARY LATERALS MAY NOT EXCEED SEVENTY-FIVE (75) FEET.

**UTILITY LEGEND:**



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REV	DATE	DRAWN BY	DESCRIPTION

Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

**PRELIMINARY  
SITE PLAN**  
FOR  
**89 ROUTE 17K LLC**

S.B.L. 1-1-58.12  
**TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE**

**Colliers** 555 HUDSON VALLEY AVENUE  
NEWBURGH, NY 12553  
Suite 101  
NEW WINDSOR, NY 12553  
Phone: 845.564.4495  
Colliers Engineering & Design  
MASER CONSULTING ENGINEERING & LAND SURVEYING

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AS SHOWN	07/20/2022	KRI	ED
PROJECT NUMBER:	DRAWING NAME:		
21007819A	220705_17K-C110	UTILITY PLAN	

SHEET FILE:  
**UTILITY PLAN**

SHEET NUMBER:  
**10 of 16**

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION



Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001984-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN

FOR  
89 ROUTE 17K LLC

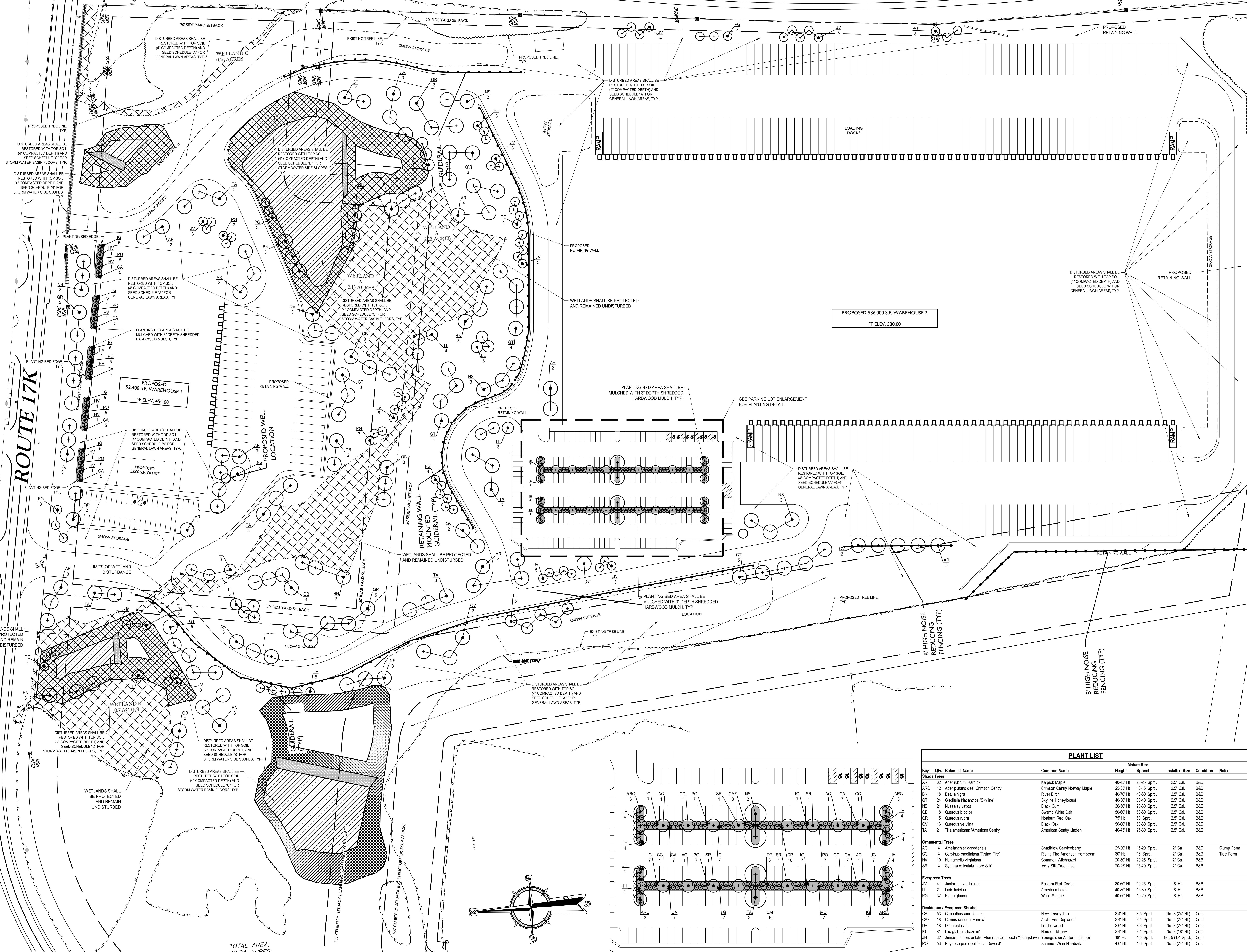
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TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

Colliers 555 Hudson Valley Avenue Suite 101  
New Windsor, NY 12553  
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Colliers Engineering & Design M.A.S.E.R. PROJECT SERVICES

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PROJECT NUMBER:	DRAWING NAME:	SHEET TITLE:	SHEET NUMBER:
21007819A	89ROUTE17K LANDSCAPE PLAN	LANDSCAPING PLAN	11 of 16

LANDSCAPING PLAN



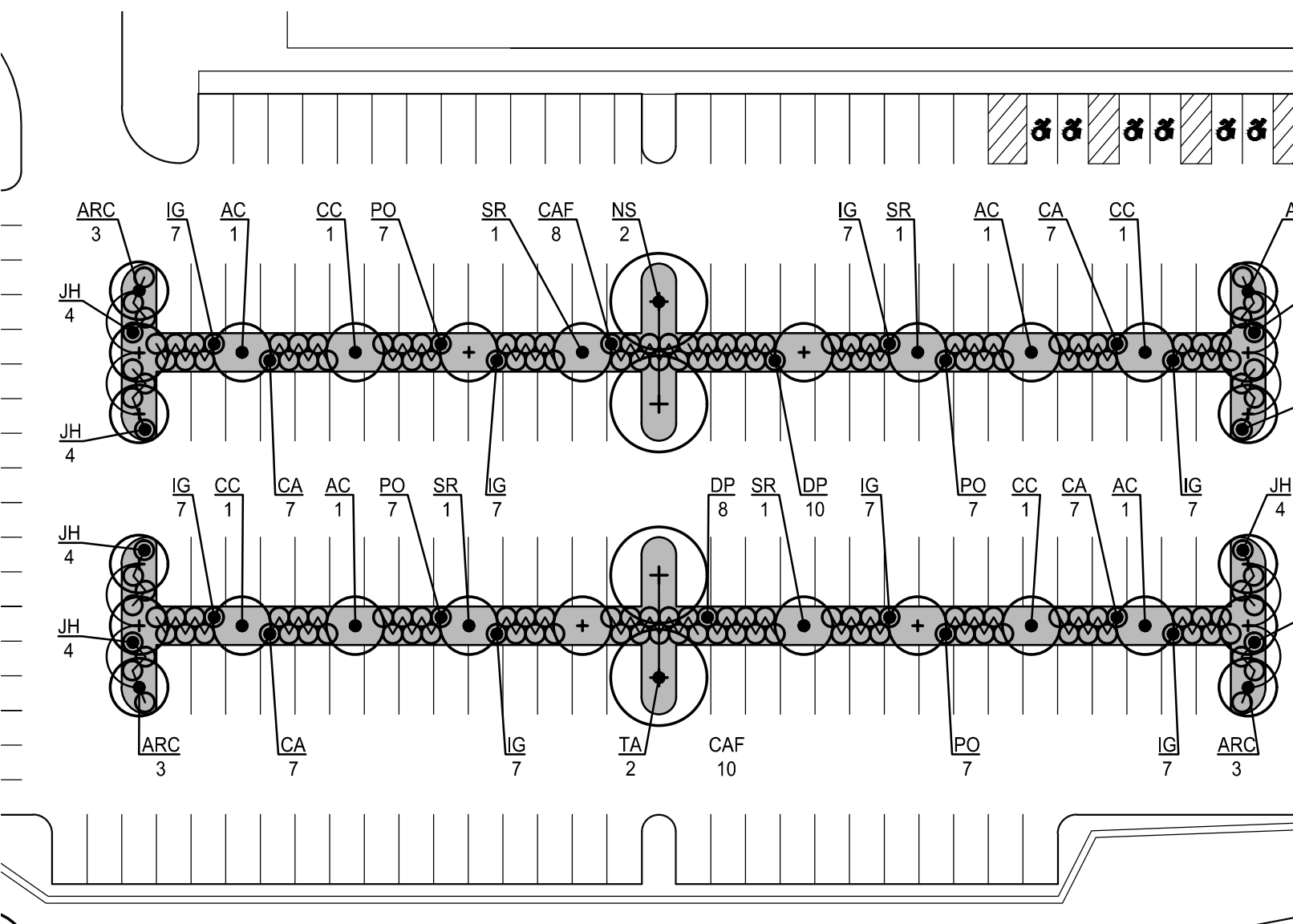
ROUTE 17K

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FF ELEV. 530.00

PROPOSED 92,400 S.F. WAREHOUSE 1  
FF ELEV. 454.00

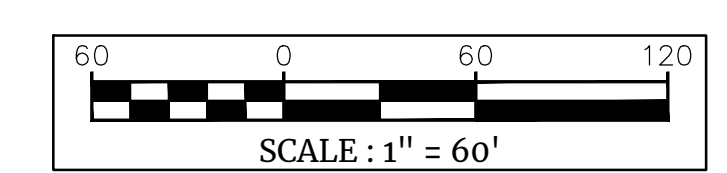
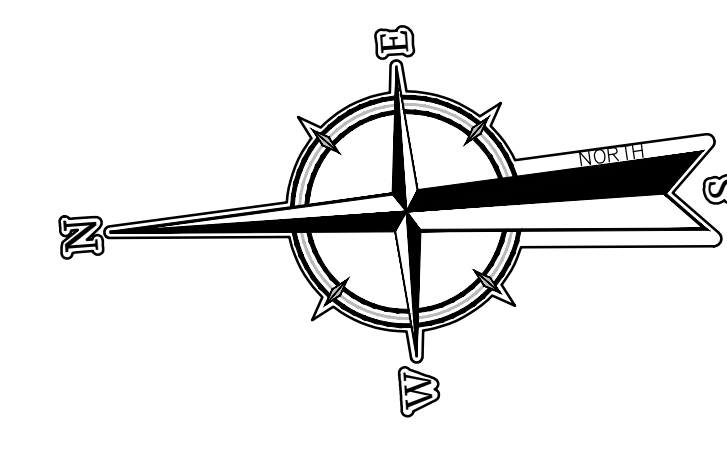
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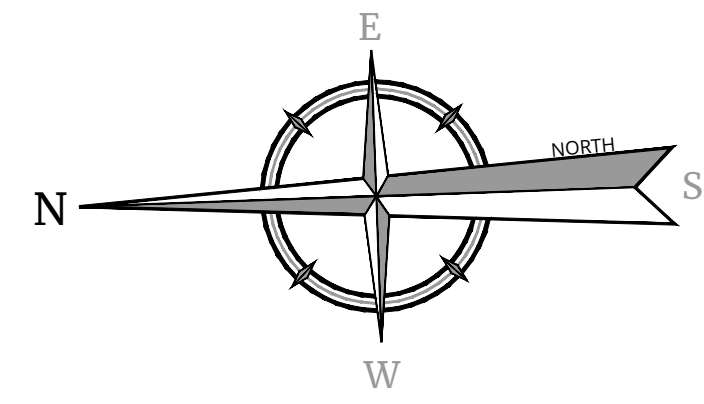
TOTAL AREA:  
70.24 ACRES



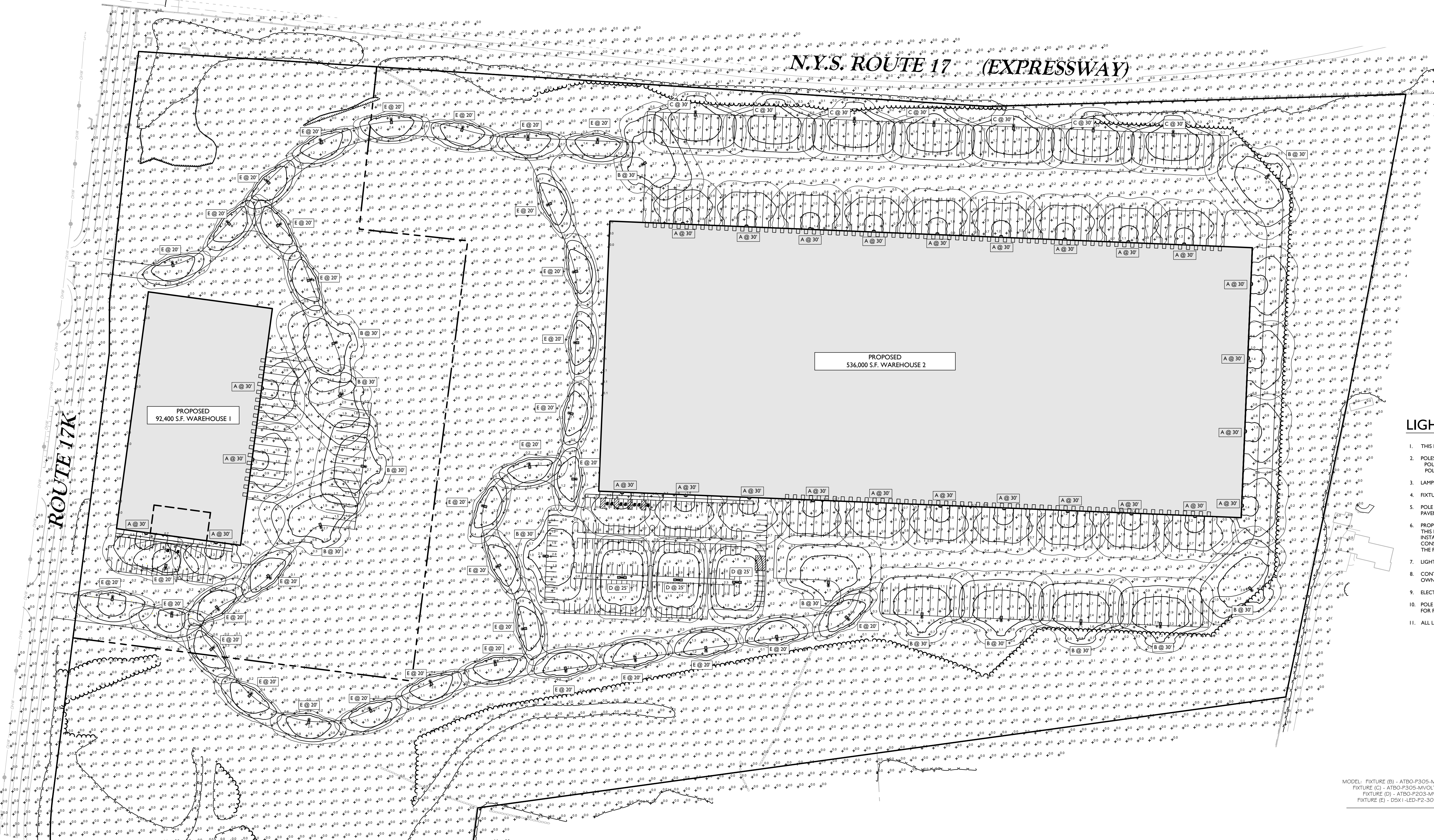
**PLANT LIST**

Key	Qty.	Botanical Name	Common Name	Mature Size Height Spread	Installed Size	Condition	Notes
<b>Shade Trees</b>							
AR	32	Acer rubrum 'Karpick'	Karpick Maple	40-45 Ht. 20-25 Sprd.	2.5' Cal.	B&B	
ARC	12	Acer platanoides 'Crimson Century'	Crimson Century Norway Maple	25-35 Ht. 10-15 Sprd.	2.5' Cal.	B&B	
BN	18	Betula nigra	River Birch	40-70 Ht. 40-60 Sprd.	2.5' Cal.	B&B	
GT	24	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	40-50 Ht. 30-40 Sprd.	2.5' Cal.	B&B	
NS	21	Nyssa sylvatica	Black Gum	30-50 Ht. 20-30 Sprd.	2.5' Cal.	B&B	
QB	18	Quercus bicolor	Swamp White Oak	50-60 Ht. 50-60 Sprd.	2.5' Cal.	B&B	
QR	15	Quercus rubra	Northern Red Oak	75 Ht. 60' Sprd.	2.5' Cal.	B&B	
QV	16	Quercus velutina	Black Oak	60-80 Ht. 50-60 Sprd.	2.5' Cal.	B&B	
TA	21	Tilia americana 'American Sentry'	American Sentry Linden	40-45 Ht. 25-30 Sprd.	2.5' Cal.	B&B	
<b>Ornamental Trees</b>							
AC	4	Amenlaular canadensis	Shadbowl Serviceberry	25-30 Ht. 15-20 Sprd.	2' Cal.	B&B	Clump Form
CC	4	Carpinus caroliniana 'Rising Fire'	Rising Fire American Hornbeam	30 Ht. 15' Sprd.	2' Cal.	B&B	Tree Form
HV	10	Hamelis virginiana	Common Witchhazel	20-30 Ht. 20-25 Sprd.	2' Cal.	B&B	
SR	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	20-25 Ht. 15-20 Sprd.	2' Cal.	B&B	
<b>Evergreen Trees</b>							
JV	41	Juniperus virginiana	Eastern Red Cedar	30-60 Ht. 10-25 Sprd.	8' Ht.	B&B	
LL	21	Larix laricina	American Larch	40-80 Ht. 15-30 Sprd.	8' Ht.	B&B	
PG	37	Picea glauca	White Spruce	40-60 Ht. 10-20 Sprd.	8' Ht.	B&B	
<b>Deciduous / Evergreen Shrubs</b>							
CA	53	Ceanothus americanus	New Jersey Tea	3-4 Ht. 3-5 Sprd.	No. 3 (24" Ht.)	Cont.	
CAP	18	Cornus sericea 'Farrow'	Arctic Fire Dogwood	3-4 Ht. 3-4 Sprd.	No. 5 (24" Ht.)	Cont.	
DP	18	Dicentra pasilloides	Leatherwood	3-6 Ht. 3-6 Sprd.	No. 3 (24" Ht.)	Cont.	
IG	81	Ilex glabra 'Chazmin'	Nordic Inkberry	3-4 Ht. 3-4 Sprd.	No. 3 (18" Ht.)	Cont.	
JH	32	Juniperus horizontalis 'Plumosa Compacta Youngtown'	Youngtown Andorra Juniper	18" Ht. 4-5 Sprd.	No. 5 (18" Sprd.)	Cont.	
PO	53	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	4-6 Ht. 4-6 Sprd.	No. 5 (24" Ht.)	Cont.	

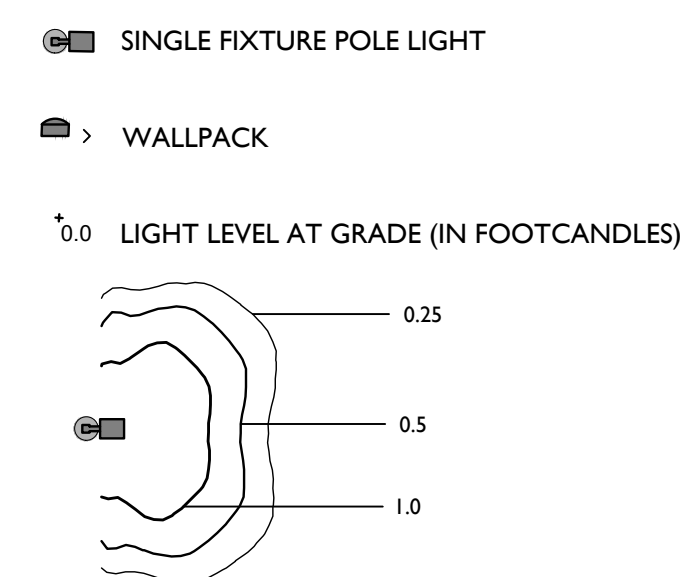




# N.Y.S. ROUTE 17 (EXPRESSWAY)

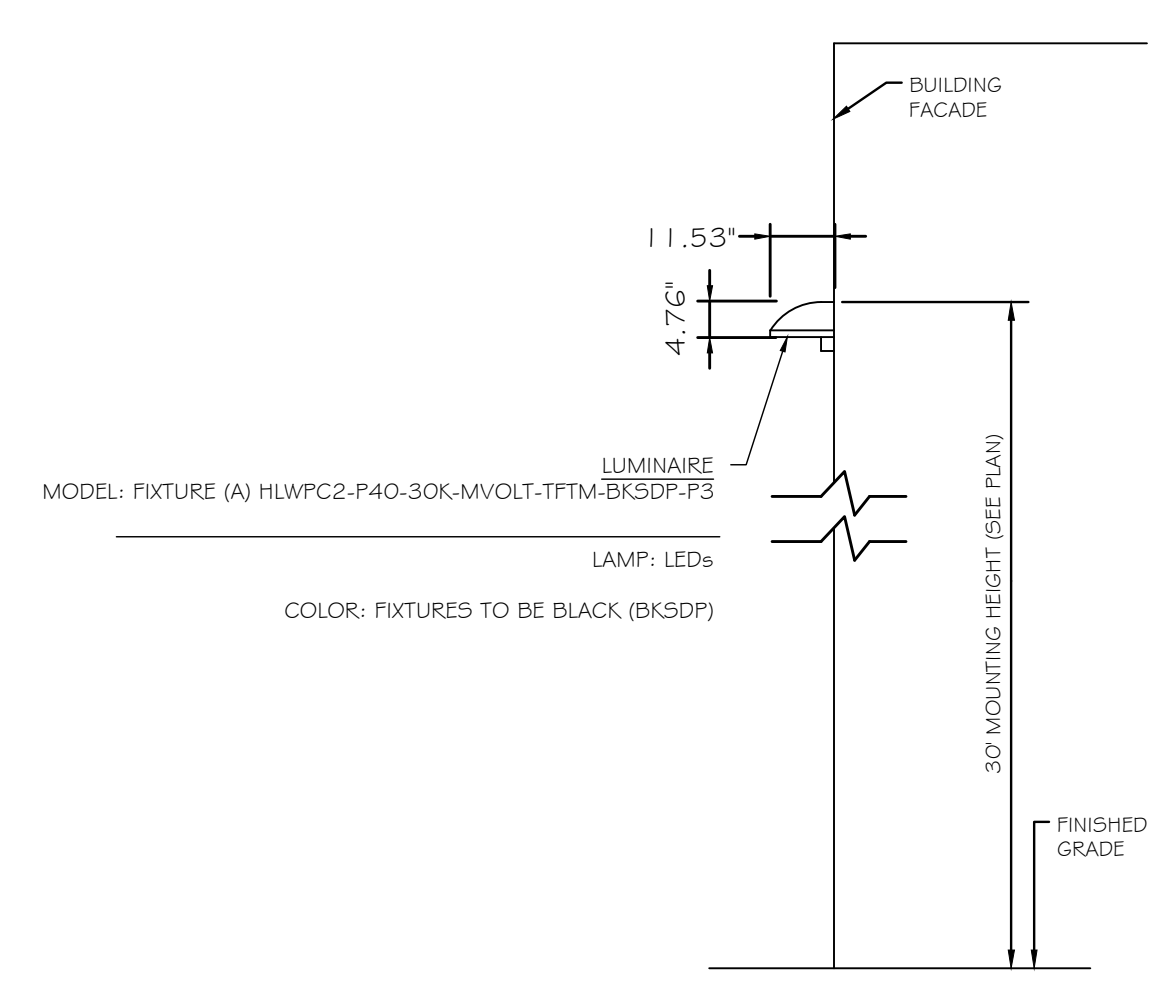
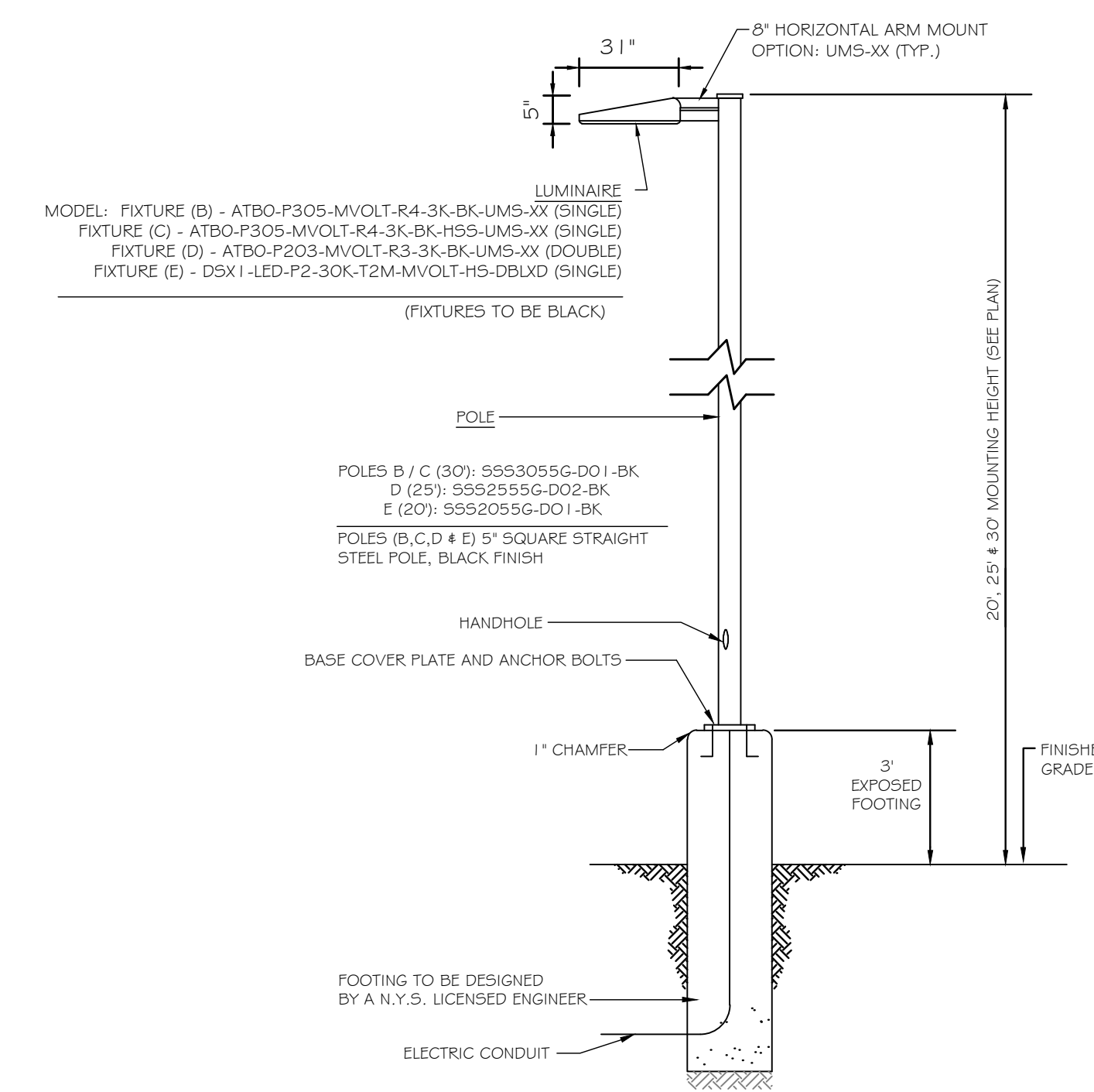


## LIGHTING LEGEND:



## LIGHTING NOTES:

- THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
- POLES AND FIXTURES AS SUPPLIED BY: POLES & WALL FIXTURES - HOLOPHANE POLE FIXTURES - AMERICAN ELECTRIC LIGHTING & LITHONIA LIGHTING
- LAMPS ARE TO BE LED. A LIGHT LOSS FACTOR (LLF) WAS USED AS SHOWN IN THE LUMINAIRES SCHEDULE.
- FIXTURES AND POLES ARE TO BE BLACK.
- POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF TWO (2) FEET BEHIND CURBS, EDGE OF PAVEMENT OR RETAINING WALLS IN CAR PARKING AREAS.
- PROPOSED LIGHT FIXTURE LOCATIONS ARE CRITICAL TO PROVIDE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY FIXTURE LOCATIONS PRIOR TO INSTALLATION. IF ADJUSTMENT TO ANY LIGHT FIXTURE LOCATION IS REQUIRED DUE TO FINAL CONSTRUCTION OF UTILITIES AND SITE IMPROVEMENTS, THE LIGHTING CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE OWNER OR PROJECT LANDSCAPE ARCHITECT.
- ELECTRICAL PLANS FOR WIRING LAYOUT BY OTHERS.
- POLE BASE INSTALLATION SHALL INCLUDE A SUPPLEMENTARY GROUND ROD AND WIRE LEAD TO BASE FOR POWER CONNECTION. DETAILS PER PROJECT ELECTRICAL ENGINEER.
- ALL LIGHTING FIXTURES WILL BE DARK SKY COMPLIANT.



LUMINAIRE SCHEDULE							
KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS/LAMP	LLF	CATALOG #
A	27	HOLOPHANE WALL PACK FULL CUTOFF LED	SINGLE	30'	9,883	0.95	HLWPC2-P40-30K-MVOLT-TFTM-BKSDP-P3
B	13	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	SINGLE	30'	20,070	0.95	ATB0-P305-MVOLT-R4-3K-BK-UMS-XX
C	7	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	SINGLE	30'	20,070	0.95	ATB0-P305-MVOLT-R4-3K-BK-HSS-UMS-XX
D	3	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	DOUBLE	25'	9,471	0.95	ATB0-P203-MVOLT-R3-3K-BK-UMS-XX
E	35	LITHONIA LIGHTING D-SERIES LED AREA	SINGLE	20'	8,283	0.95	DSX1-LED-P2-30K-T2M-MVOLT-HS-DBLXD

1. LIGHT FIXTURE VOLTAGE REQUIREMENTS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING.

CALCULATION SUMMARY						
DESCRIPTION	CALC. TYPE	UNITS	AVG.	MAX.	MIN.	AVG. / MIN.
DRIVE AISLE PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.3	2.7	0.1	13.0:1
LOT 1 TRAILER STORAGE/DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.1	3.1	0.3	3.7:1
LOT 2 TRAILER STORAGE/DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	0.9	2.7	0.3	3.0:1
LOT 1 CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.2	2.3	0.4	5.8:1
LOT 2 CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.1	3.1	0.3	3.7:1

REV	DATE	DRAWN BY	DESCRIPTION



Justin Eric Dates  
NEW YORK REGISTERED LANDSCAPE ARCHITECT  
LICENSE NUMBER: 001964-01  
COLLIERS ENGINEERING & DESIGN CT, P.C.

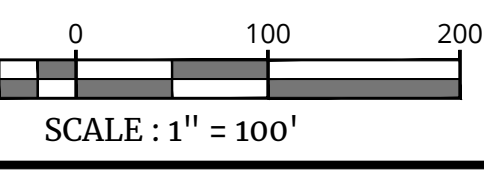
## PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC

S.B.L. 1-1-58.12  
TOWN OF WALLKILL  
ORANGE COUNTY  
NEW YORK STATE

NEWBURGH  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
DOING BUSINESS AS MASER CONSULTING  
ENGINEERING & LAND SURVEYING

SCALE: AS SHOWN 7/20/2022 SMB JED  
PROJECT NUMBER: 21007819A DRAWING NAME: C-LIGHT

## LIGHTING PLAN





WATER NOTES:

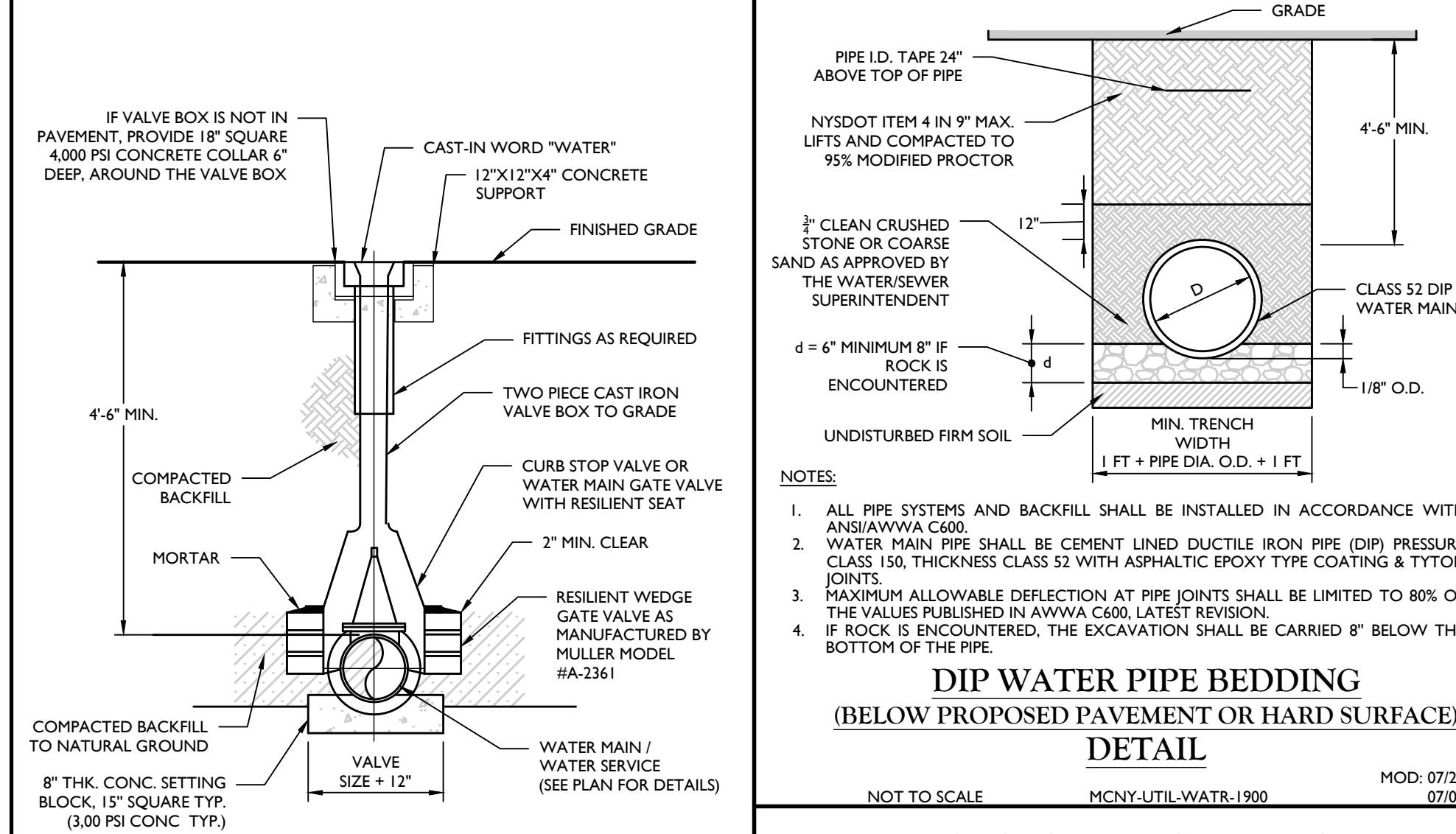
- 1. ALL METHODS, MATERIALS, FITTINGS, DEVICES, DIMENSIONAL REQUIREMENTS AND PROCEDURES NECESSARY TO COMPLETE THE WORK SHOWN HEREON SHALL MEET THE APPROPRIATE CURRENT AWWA SPECIFICATIONS IN EFFECT AS WELL AS ALL REQUIREMENTS DERIVED APPLICABLE BY THE MUNICIPALITY OR ANY OTHER GOVERNMENTAL BODY HAVING JURISDICTION OVER SAID WORK.

THE CONTINUOUS-FEED METHOD SHALL BE IMPLEMENTED FOR CHLORINATION, AS DESCRIBED IN AWWA C61, LATEST REVISION. AFTER CHLORINATION, THE CONTRACTOR SHALL FLUSH THE MAINS AS PER FINAL FLUSHING REQUIREMENTS OF AWWA C61, LATEST REVISION.

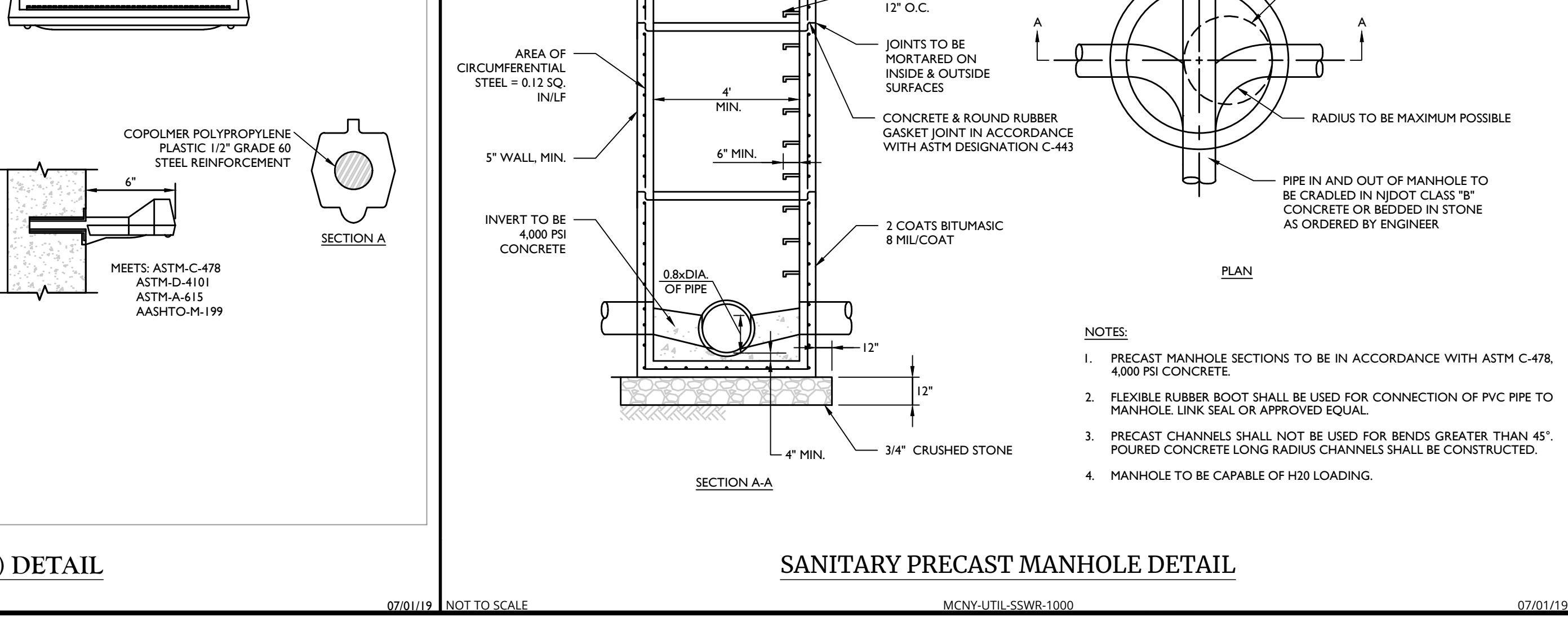
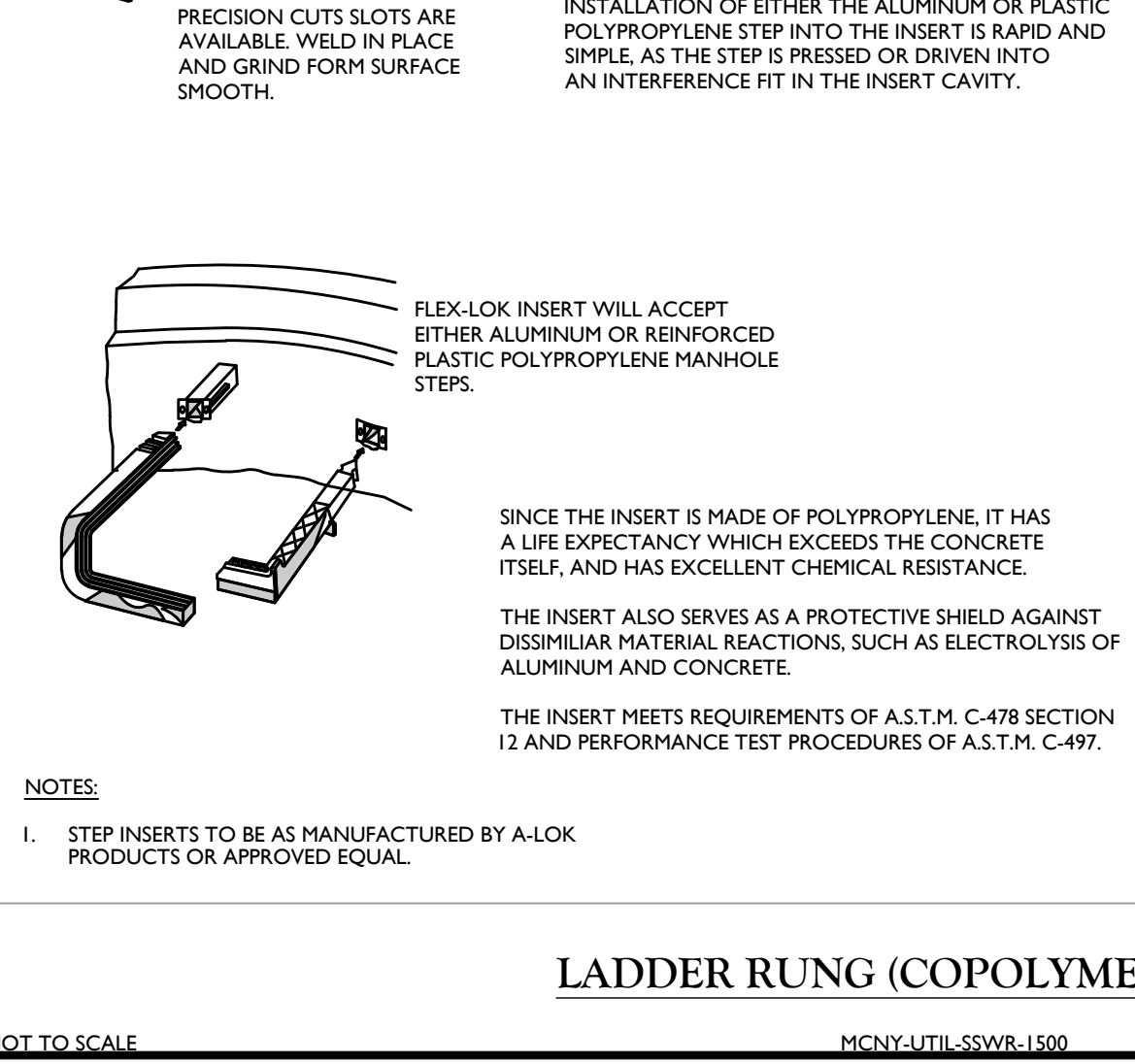
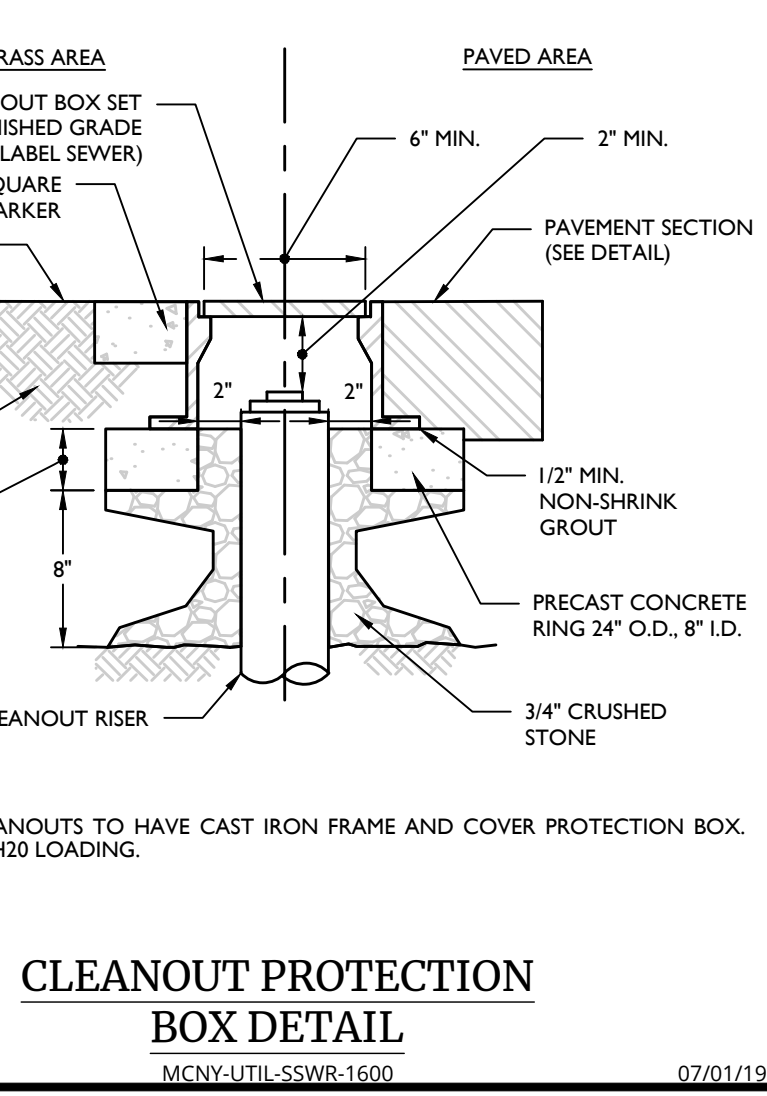
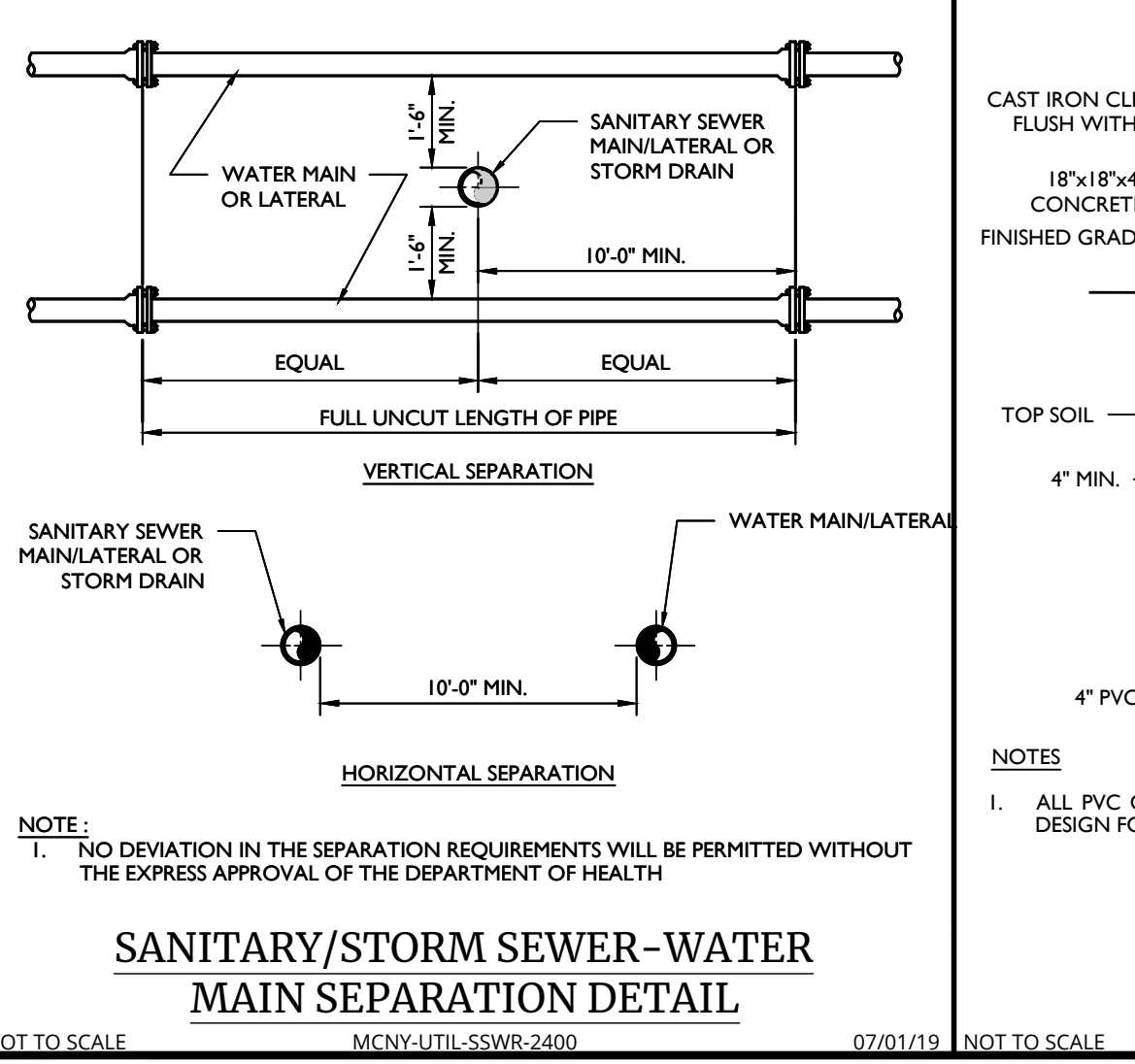
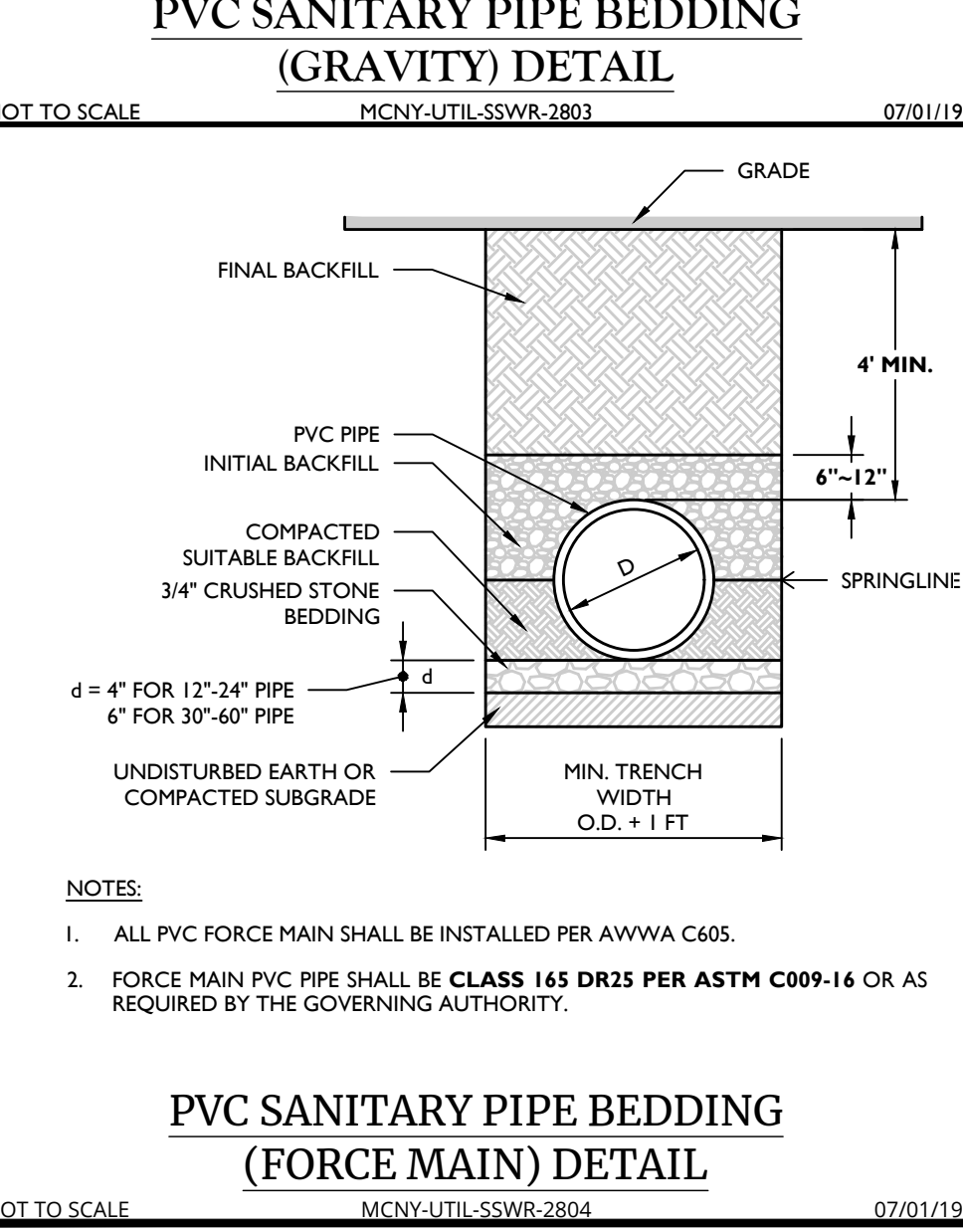
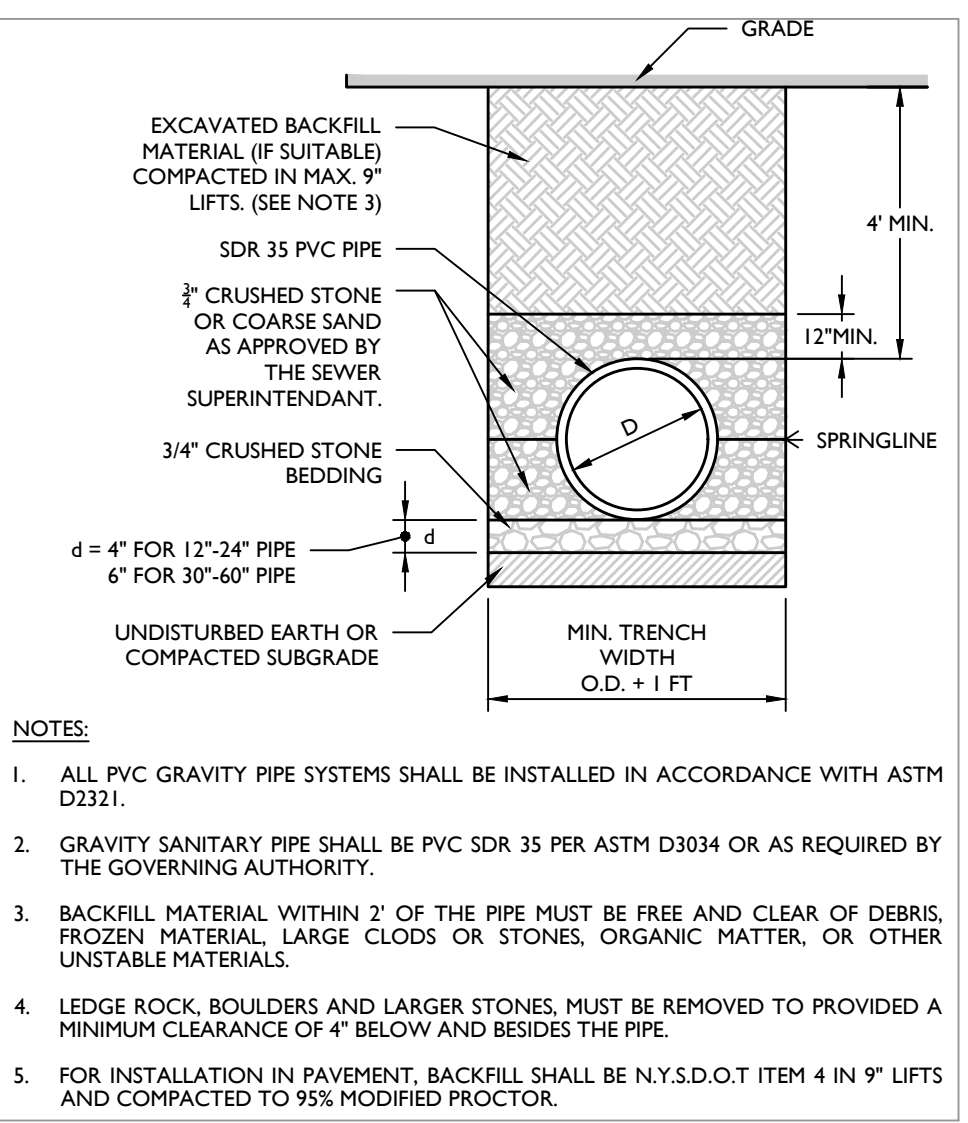
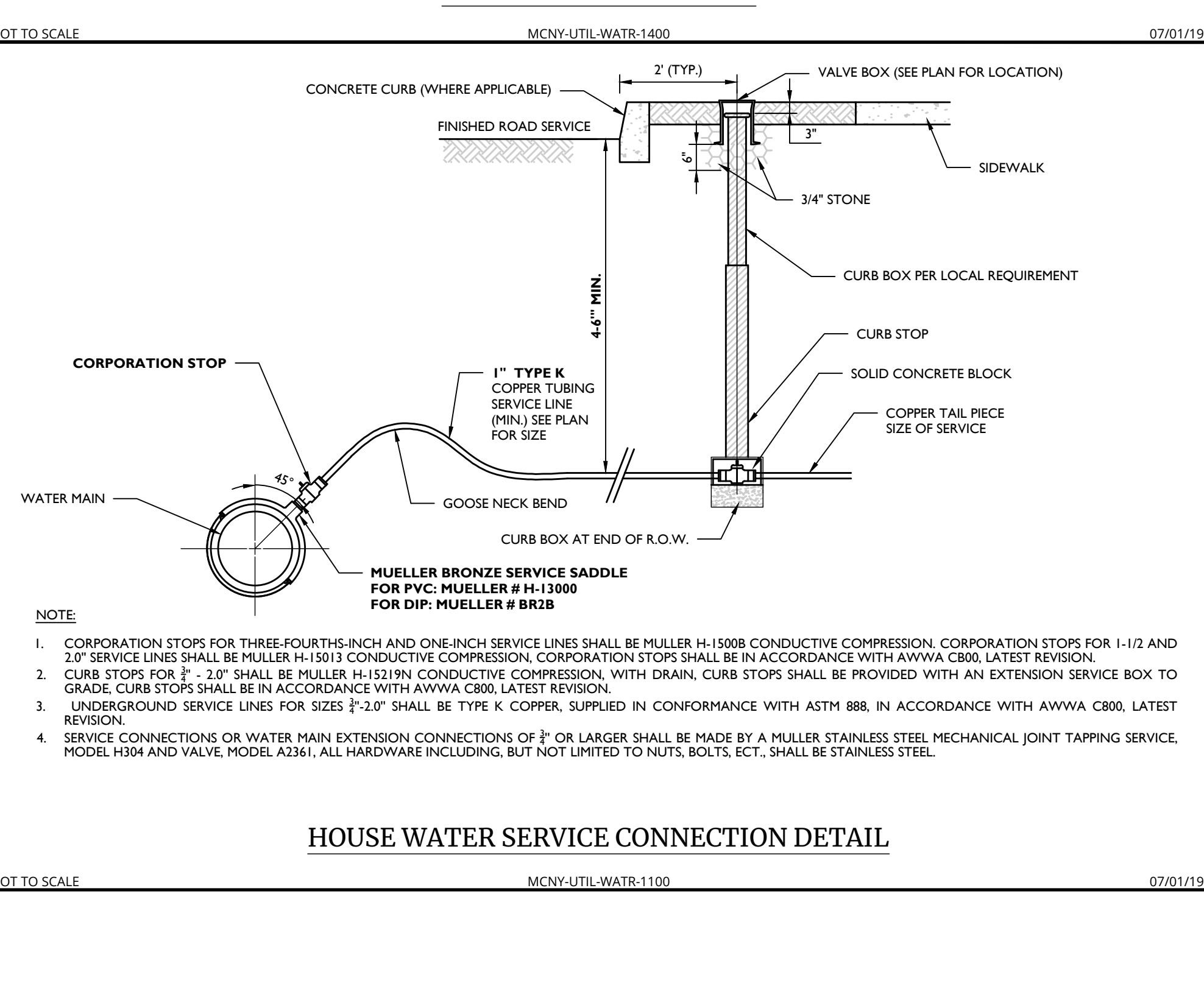
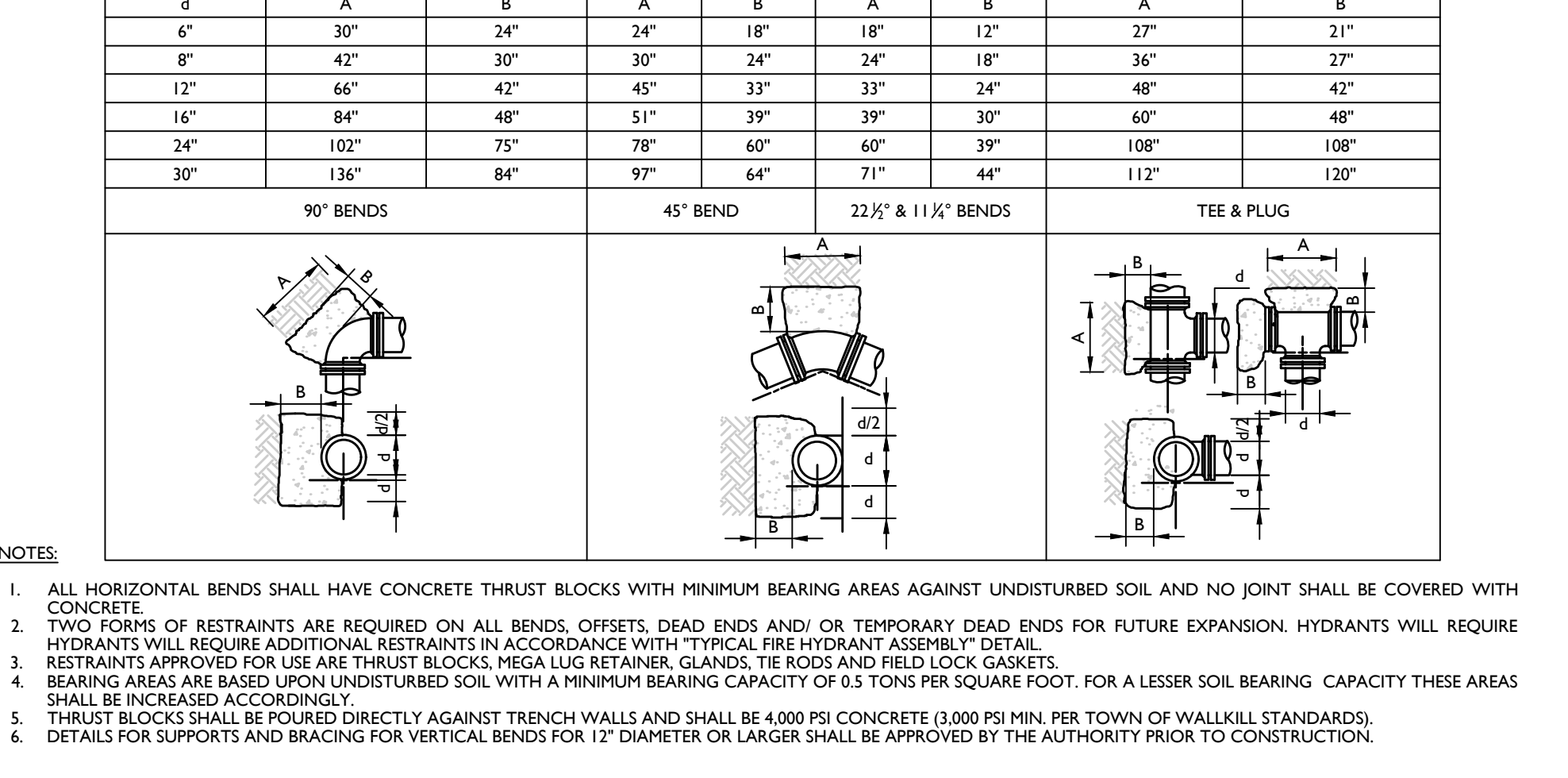
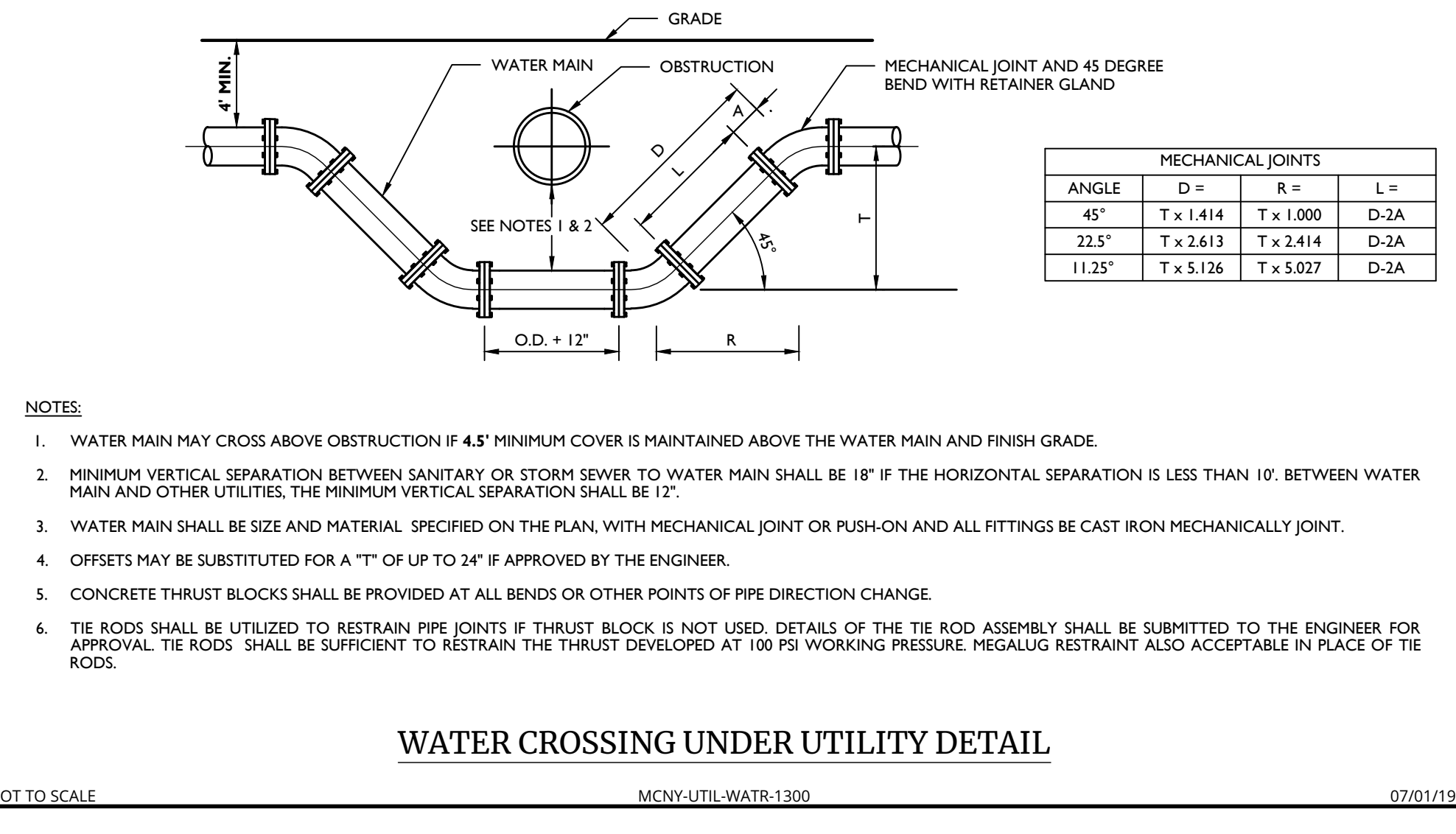
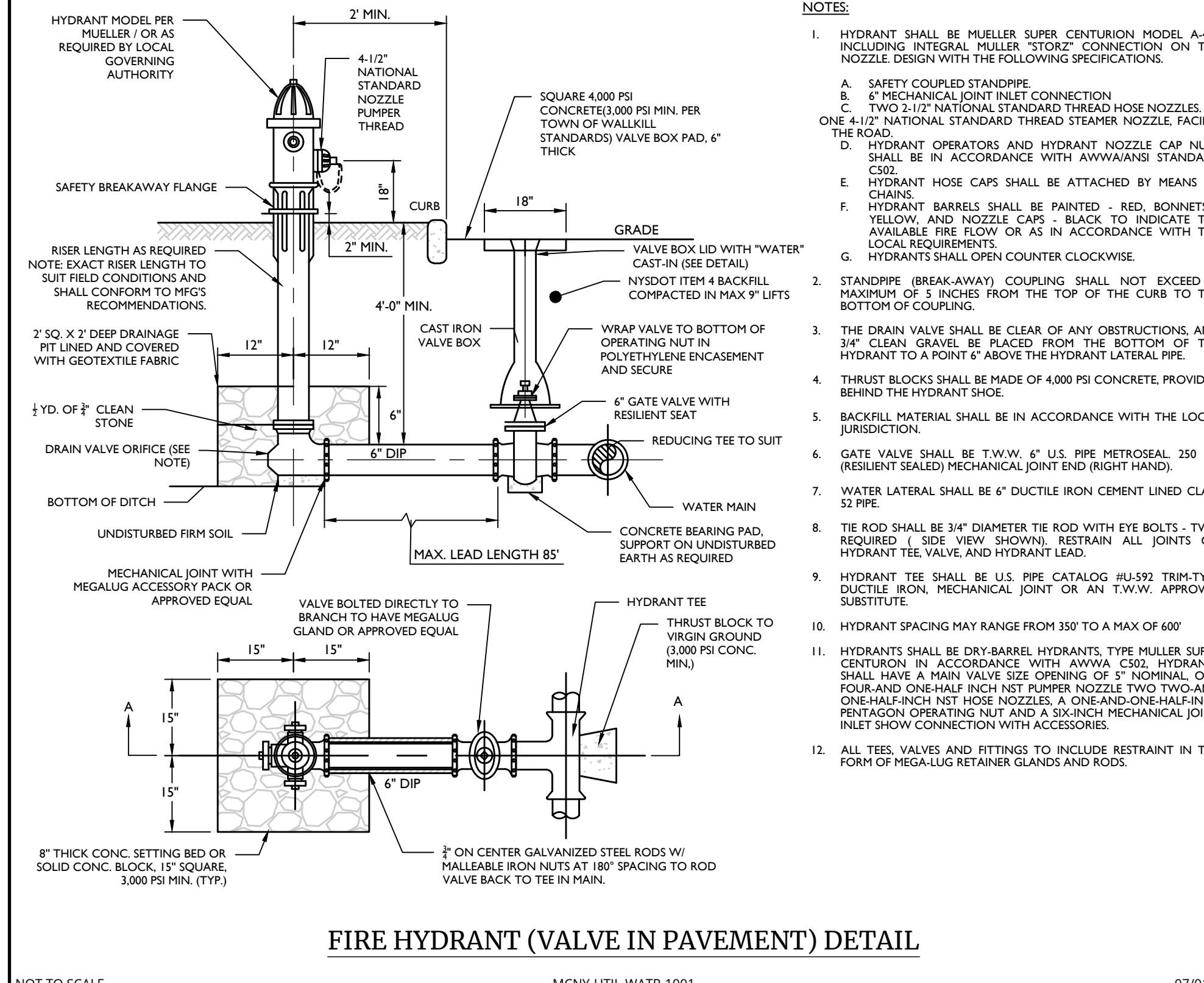
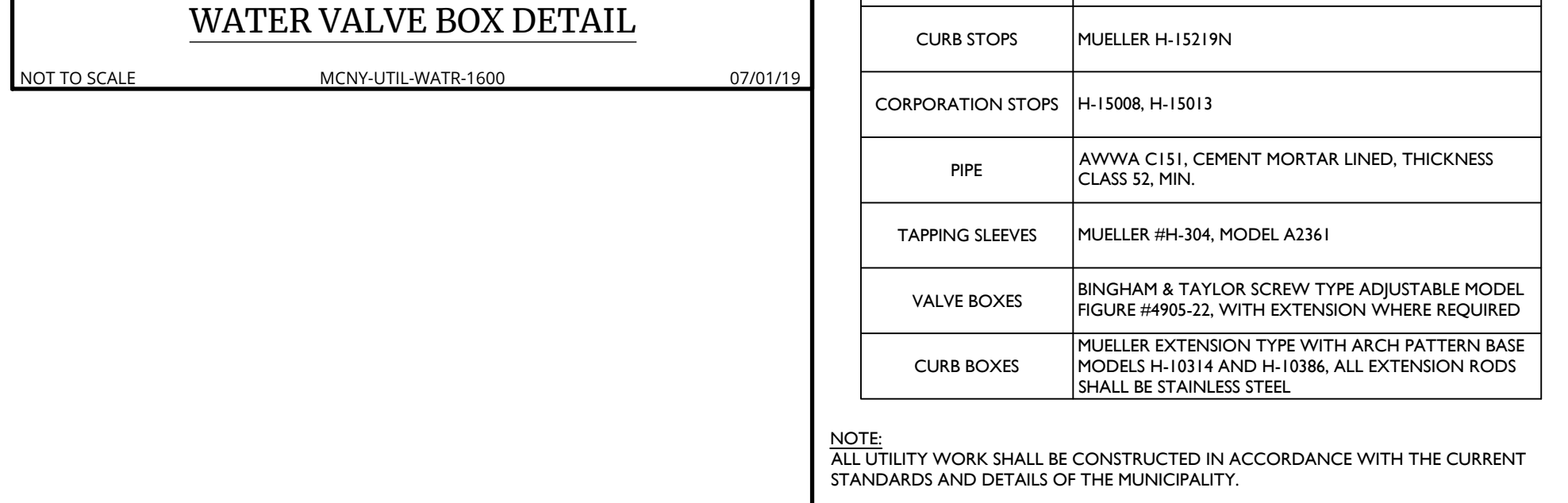
VERIFICATION SHALL BE ACCOMPLISHED VIA BACTERIOLOGICAL TESTS. AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HR APART, SHALL BE COLLECTED FROM THE NEW MAIN.

ALL OTHER REQUIREMENTS OF AWWA C61, LATEST REVISION, SHALL BE OBSERVED.

- 10. WATER SERVICE CROSSING SEWER OR STORM SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER OR STORM. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER.



LIST OF STANDARD WATER SUPPLY MATERIALS table with columns for item, description, and quantity.



Colliers Engineering & Design logo and contact information.

Doing Business as MASER logo.

811 logo and call before you dig information.

Table with columns for revision number, date, and description.

Professional seal and signature of Justin Eric Dates, Registered Landscape Architect.

PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC.

TOWN OF WALKKILL ORANGE COUNTY NEW YORK STATE.

Colliers Engineering & Design logo and sheet information.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



