

TOWN OF WALLKILL, NY ZONING MAP

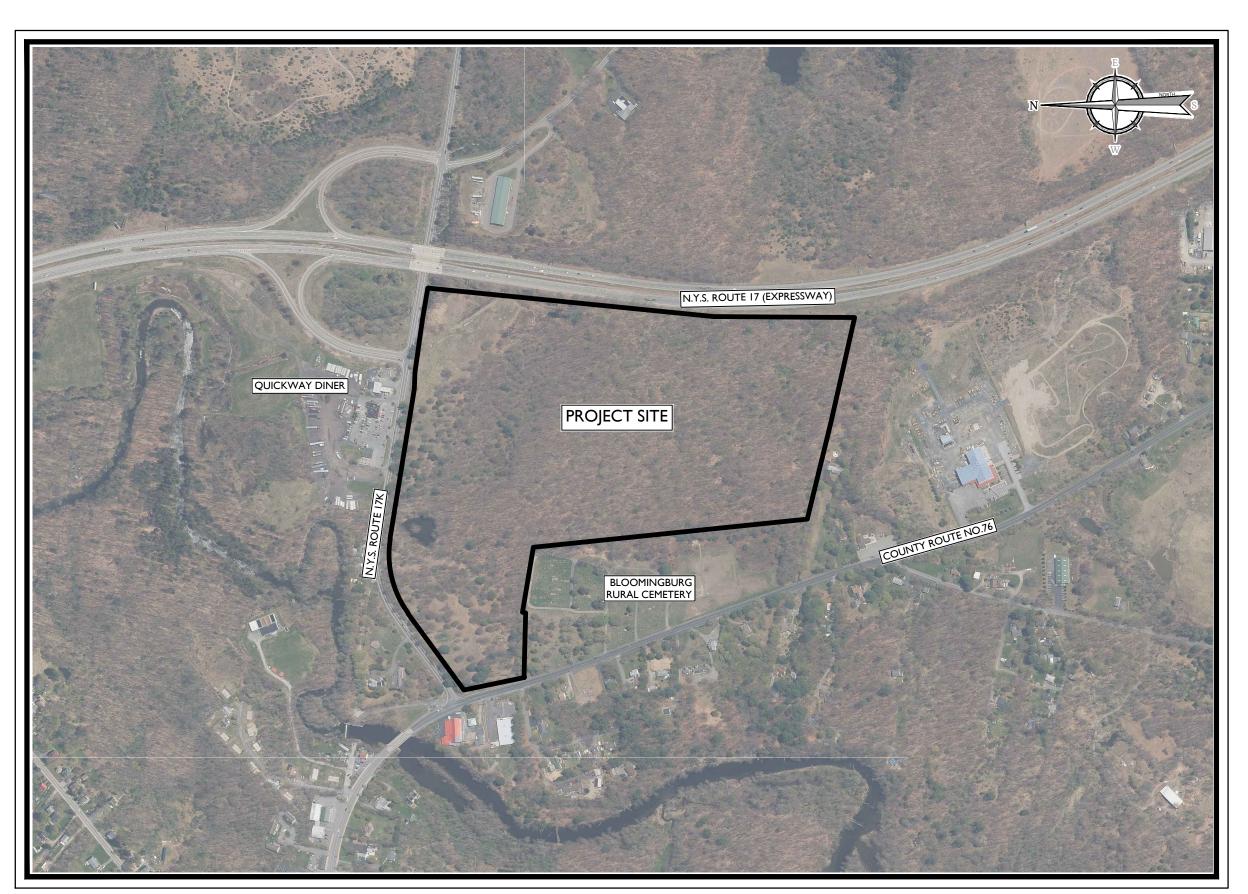
PRELIMINARY SITE PLANS

OR

89 ROUTE 17K LLC

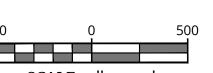
PROPOSED WAREHOUSE DEVELOPMENT SECTION 1, BLOCK 1, LOT 58.12

TOWN OF WALLKILL ORANGE COUNTY, NEW YORK STATE



PROJECT SITE

SOURCE: NEW YORK STATE CLEARING HOUSE



SHT. No. DESCRIPTION C - 100 COVER SHEET C - 200 EXISTING CONDITIONS & DEMOLITION PLAN C - 300 OVERALL SITE PLAN C - 301-303 DIMENSION PLAN C - 401-403 GRADING AND SOIL EROSION & SEDIMENT PLAN C - 501-503 UTILITY PLANS C - 601-603 SOIL EROSION & SEDIMENT CONTROL DETAILS C - 701-702 LANDSCAPE PLAN C - 801-802 LIGHTING PLAN C - 901-904 CONSTRUCTION DETAILS

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

GENERAL INFORMATION

- THE SUBJECT PROPERTY IS KNOWN AS SECTION 1, BLOCK 1, LOT 58.12 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF WALLKILL, ORANGE COUNTY, DATED MARCH 1, 2003; LAST REVISED
- THE PROPERTY IS LOCATED IN THE LIGHT ENTERPRISE (ENT-L) ZONING DISTRICT AND CONTAINS A
 TOTAL TRACT AREA OF ±3,059,654 SF, ±70.24 ACRES.

OWNER: QUICKWAY ENTERPRISES INC.
PO BOX 311
BLOOMINGBURG, NY 12721

APPLICANT: 89 ROUTE 17K LLC 21 PHILIPS PKWY MONTVALE, NJ 07645

- 3. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED ALTA/NSPS LAND TITLE SURVEY OF LANDS TO BE CONVEYED TO REAL DEAL MANAGEMENT INC. d/b/a RDM GROUP, PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP; DATED JANUARY 17,
- 4. THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON JULY 18, 2020 AND A PRECONSTRUCTION NOTIFICATION APPLICATION TO THE ARMY CORPS OF ENGINEERS TO VERIFY SAME IS PENDING.
- 5. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 36071 C0066E FOR THE MUNICIPALITY OF WALLKILL, ORANGE COUNTY COUNTY, NEW YORK STATE, DATED AUGUST 3, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- 6. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HERON, IS NOT A SURVEY.
- 8. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS
- 9. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- 11. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.
- 12. INFORMATION HEREON INCORPORATES THE CONTENT IN THE FOLLOWING REPORTS:

 A. "STORMWATER POLLUTION PREVENTION PLAN (SWPPP)" PREPARED FOR 89 ROUTE 17K LLC
 PREPARED BY COLLIERS ENGINEERING & DESIGN, DATED DECEMBER 2024.
 B. "TRAFFIC IMPACT STUDY" PREPARED FOR 89 ROUTE 17K LLC AND PREPARED BY COLLIERS ENGINEERING & DESIGN, DATED JULY 2022
 C. "GEOTECHNICAL DATA REPORT" PREPARED FOR RDM GROUP AND PREPARED BY COLLIERS

ENGINEERING & DESIGN, DATED DECEMBER 6, 2024.

SITE N

- I. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
- 3. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 4. REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE ROLL-OFF DUMPSTERS AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- 6. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
- 7. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2018; AS SUPPLEMENTED.
 B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

LITH ITY NOTES

- I. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED
- 2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH

HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.

- 3. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 4. WATER SERVICE SHALL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS TO BE INSTALLED ON EACH BUILDING LOT, SUBJECT TO THE APPLICABLE REGULATIONS AND THE APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 5. SANITARY SEWER SERVICE SHALL BE PROVIDED BY AN ON-SITE PRIVATE TREATMENT PLANT WITH A SURFACE OR SUBSURFACE DISCHARGE.
- 6. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN ENCASED IN CONCRETE OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF
- 7. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE WATER LINE SHALL BE ENCASED IN CONCRETE.
- 8. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.

Colliers

Engineering

& Design

www.colliersengineering.com

conied, reused, disclosed, distributed or relied upon for any other pur

without the express written consent of Colliers Engineering & Design

FOR STATE SPECIFIC DIRECT PHONE NUMBERS

VISIT: WWW CALL811 COM

ALL STATES REQUIRE NOTIFICATION C CAVATORS, DESIGNERS, OR ANY PERS

PRELIMINARY SITE PLAN

FOR

89 ROUTE 17K LLC

Justin Eric Dates

NEW YORK REGISTERED LANDSCAPE ARCHITECT LICENSE NUMBER: 001964-01

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

	NEWBURGH
Colliers	555 Hudson Valley Ave Suite 101
Engineering & Design	New Windsor, NY 12 Phone: 845.564.44
	COLLIERS ENGINEERING & DESI ARCHITECTURE, LANDSCAPE ARCHIT SURVEYING CT, P.C.

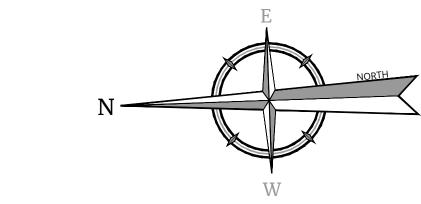
NUMBER: DRAWING NAME:
107819A C-CVER

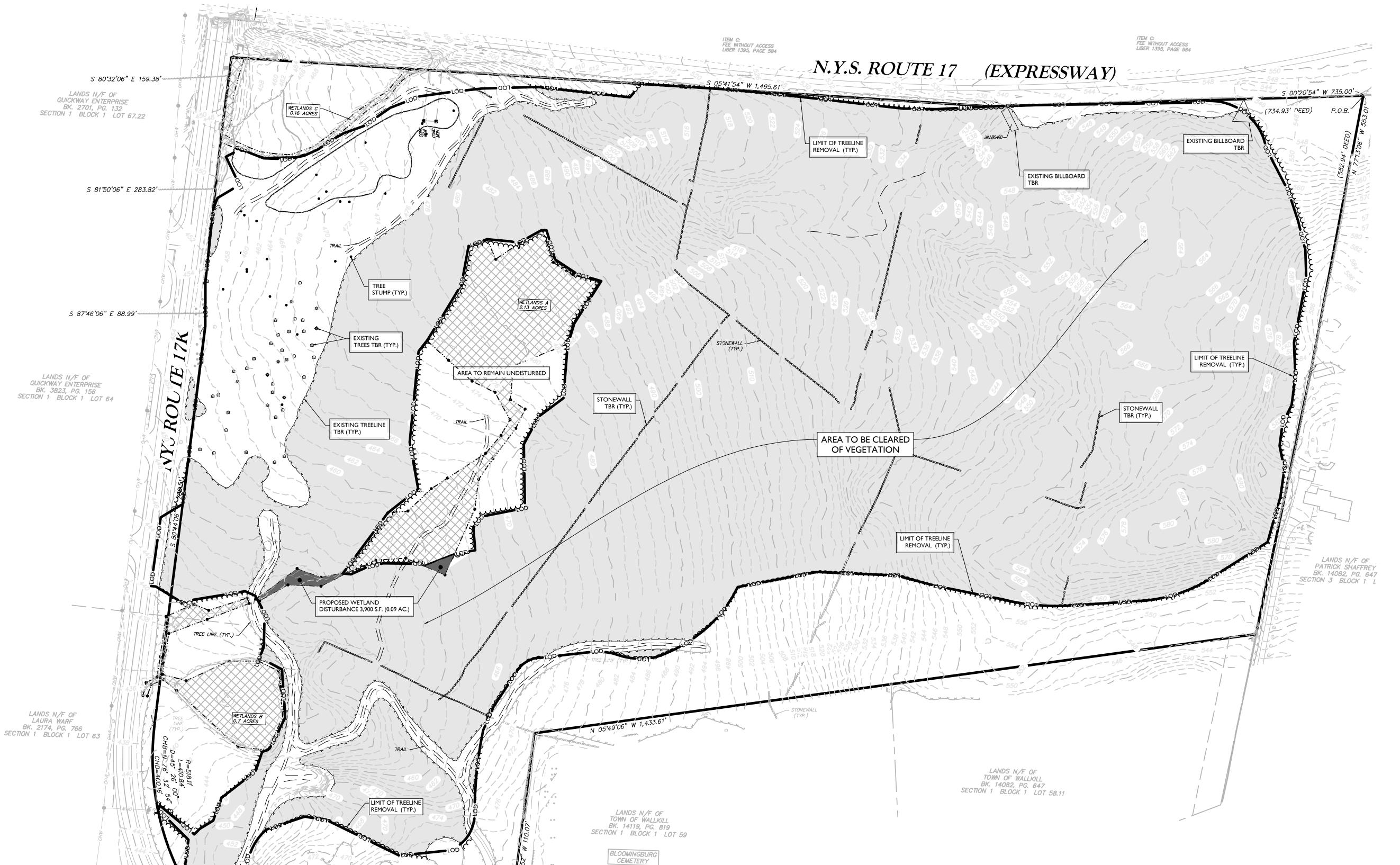
TLE:

COVER SHEET

C - 100

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION





~~S 09~11'54" W 16.73'

~S 87°13'54" W 17.22'~

DEMOLITION LEGEND

PROPERTY BOUNDARY	
EXISTING CURB DEPRESSED CURB PAVEMENT STRIPING OVERHEAD WIRES	
EASEMENTS MAJOR CONTOUR MINOR CONTOUR LIMIT OF DISTURBANCE STORMWATER PIPES TREEROW / HEDGE	LOD
TREELINE	
BOUNDARY EVIDENCE SIGN POST / BOLLARD UTILITY POLE GUY WIRE LIGHT POLE SANITARY MANHOLE SANITARY CLEANOUT DRAINAGE MANHOLE CATCH BASIN TBR = TO BE REMOVED UTP = UTILITY POLE DI = DRAIN INLET CB = CATCH BASIN GR. = GRATE CO = CLEANOUT	
WETLAND BOUNDARY	
WETLAND AREA HATCH	
WETLAND AREA DISTURBANCE	
TREE CLEARING LINE	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
TREE CLEARING AREA	

DEMOLITION NOTES:

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
- A. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED ALTA/NSPS LAND TITLE SURVEY OF LANDS TO BE CONVEYED TO REAL DEAL MANAGEMENT INC. d/b/a RDM GROUP, PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP; DATED JANUARY 17, 2022.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651 ET SEQ.) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, 16 NYCRR PART 753) AS AMENDED.
- 3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE
- 4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- 5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

 D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC
- UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.

 E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER,
- ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY

- BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

 I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT
- ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- 6. COLLIERS ENGINEERING & DESIGN IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
 7. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT.

SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION

CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.

8. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION

OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

- 9. CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- 10. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- II. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- 12. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD

OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

- 13. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE AND/OR LIMIT OF DISTURBANCE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- 14. THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 15. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- 16. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.

17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO

- ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.

 18. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE
- 18. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- 19. CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- 20. CONTRACTOR IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 21. TREE CLEARING SHALL OCCUR BETWEEN OCTOBER 1ST TO MARCH 31ST, TO MITIGATE POTENTIAL IMPACTS TO THE INDIANA BAT & NORTHERN LONG-EARED BAT.

Colliers

Engineering

& Design

whom the services were contracted or to whom it is certified. This drawing may be copied, reused, disclosed, distributed or relied upon for any other purp without the express written consent of Colliers Engineering & Design.

www.colliersengineering.com

Copyright © 2024. Colliers Engineering & Design All Rights Reserved. This drawir and all the information contained herein is authorized for use only by the party for

CY 1	PROTECT YOURSELF
} :4 1	ALL STATES REQUIRE NOTIFICATION OF
	EXCAVATORS, DESIGNERS, OR ANY PERSO
	PREPARING TO DISTURB THE EARTH'S
	SURFACE ANYWHERE IN ANY STATE
Target Colons	
Call interpretay	
FOR STATE SPE	CIFIC DIRECT PHONE NUMBERS

VISIT: WWW CALL811 COM

DATE DRAWN BY DESCRIPTION						
DKAWIN BY						
	٠				٠	
KEV						

Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01

PRELIMINARY SITE PLAN

COLLIERS ENGINEERING & DESIGN CT, P.C.

FOR 89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

Colliers

Engineering & Design

NEWBURGH

555 Hudson Valley Avenue Suite 101
New Windsor, NY 12553

Phone: 845.564.4495

COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE SURVEYING CT, P.C.

CALE: DATE: DRAWN BY: CHECKE

AS SHOWN 12/23/2024 TPS JE

ROJECT NUMBER: DRAWING NAME:

21007819A C-DEMO

EXISTING CONDITIONS &
DEMOLITION PLAN

C - 200

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

100 0 100 200

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

TOTAL AREA:

70.24 ACRES

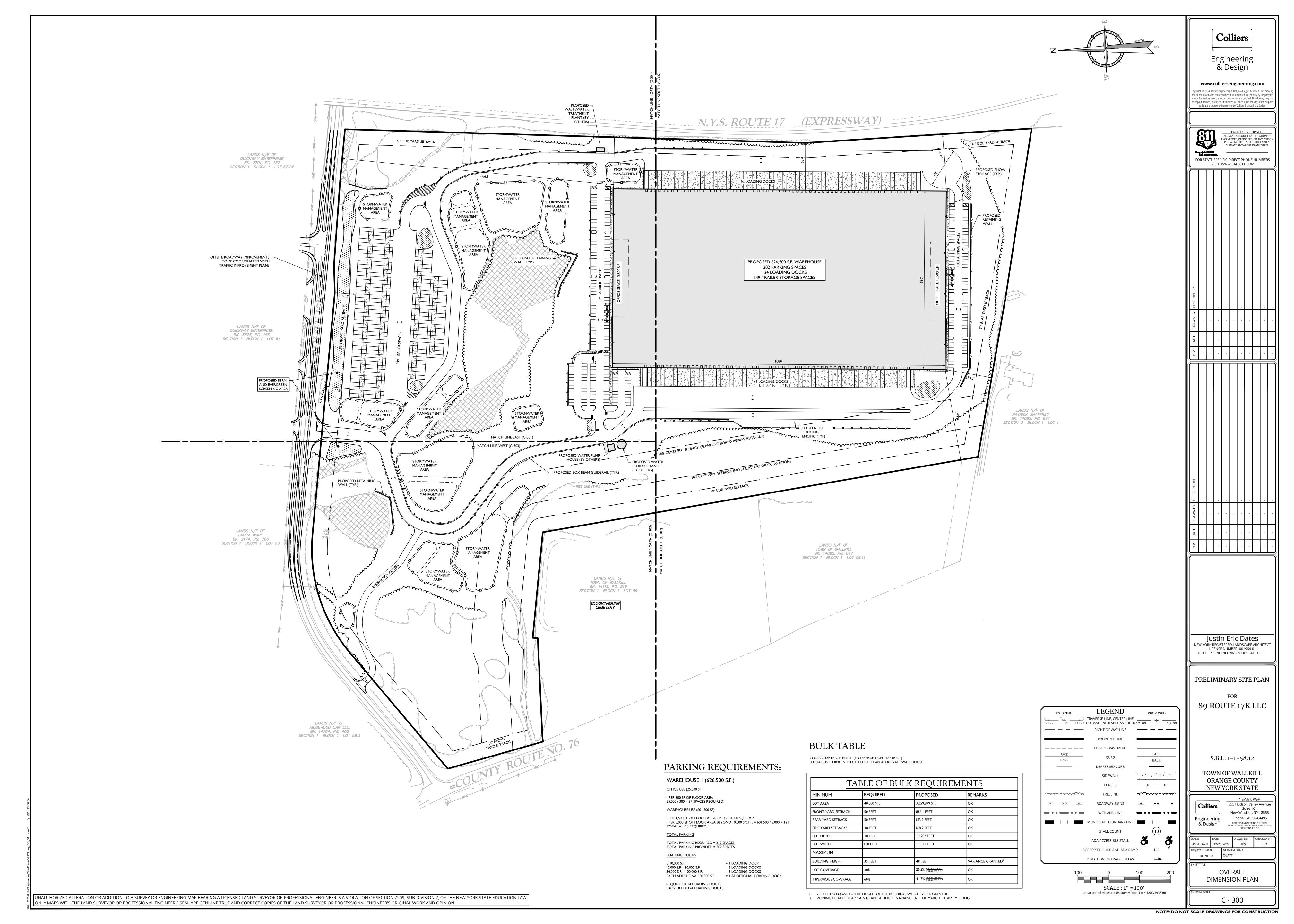
LANDS N/F OF

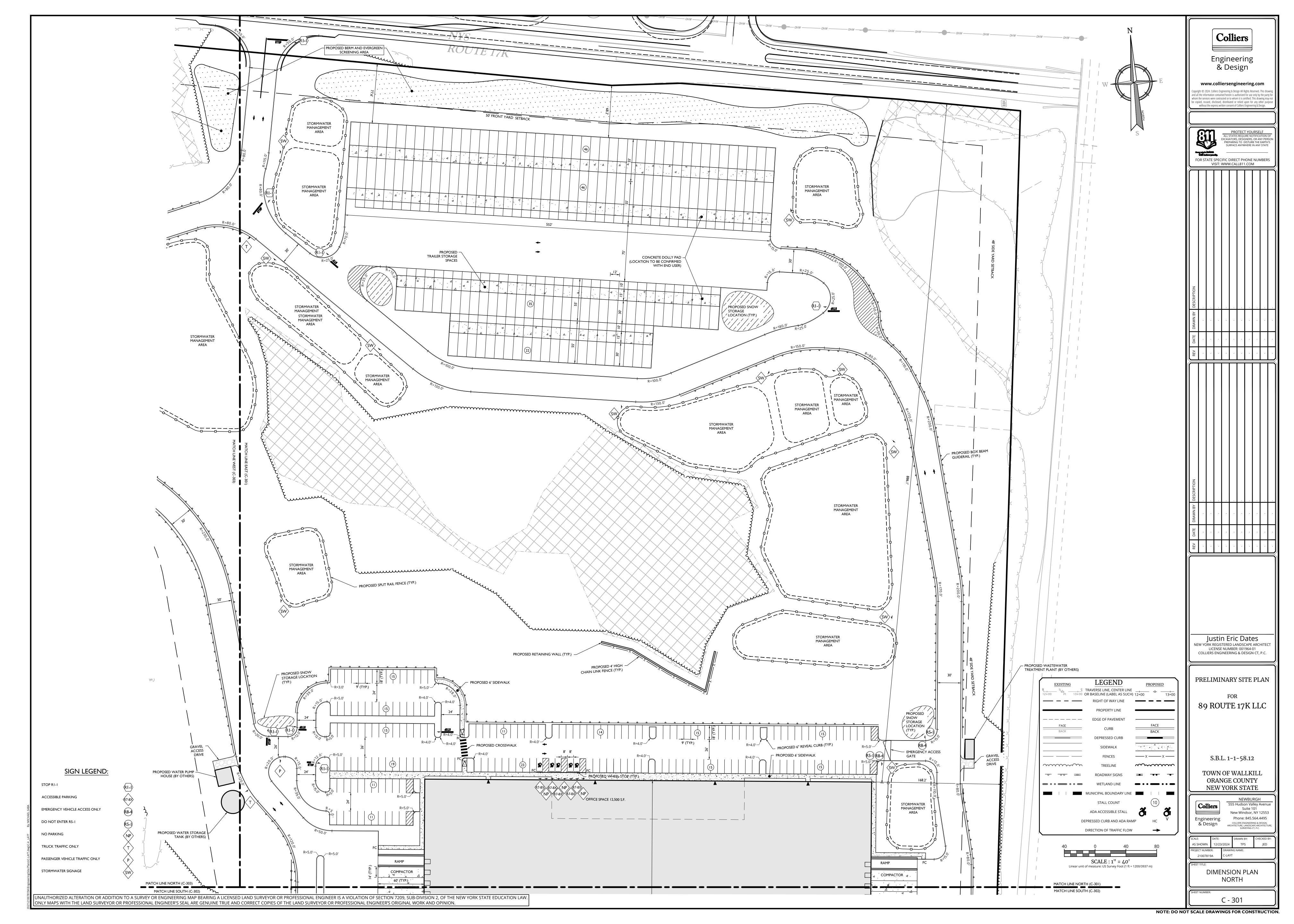
RIDGEWOOD OAK LLC. BK. 14764, PG. 408 SECTION 1 BLOCK 1 LOT 58.3

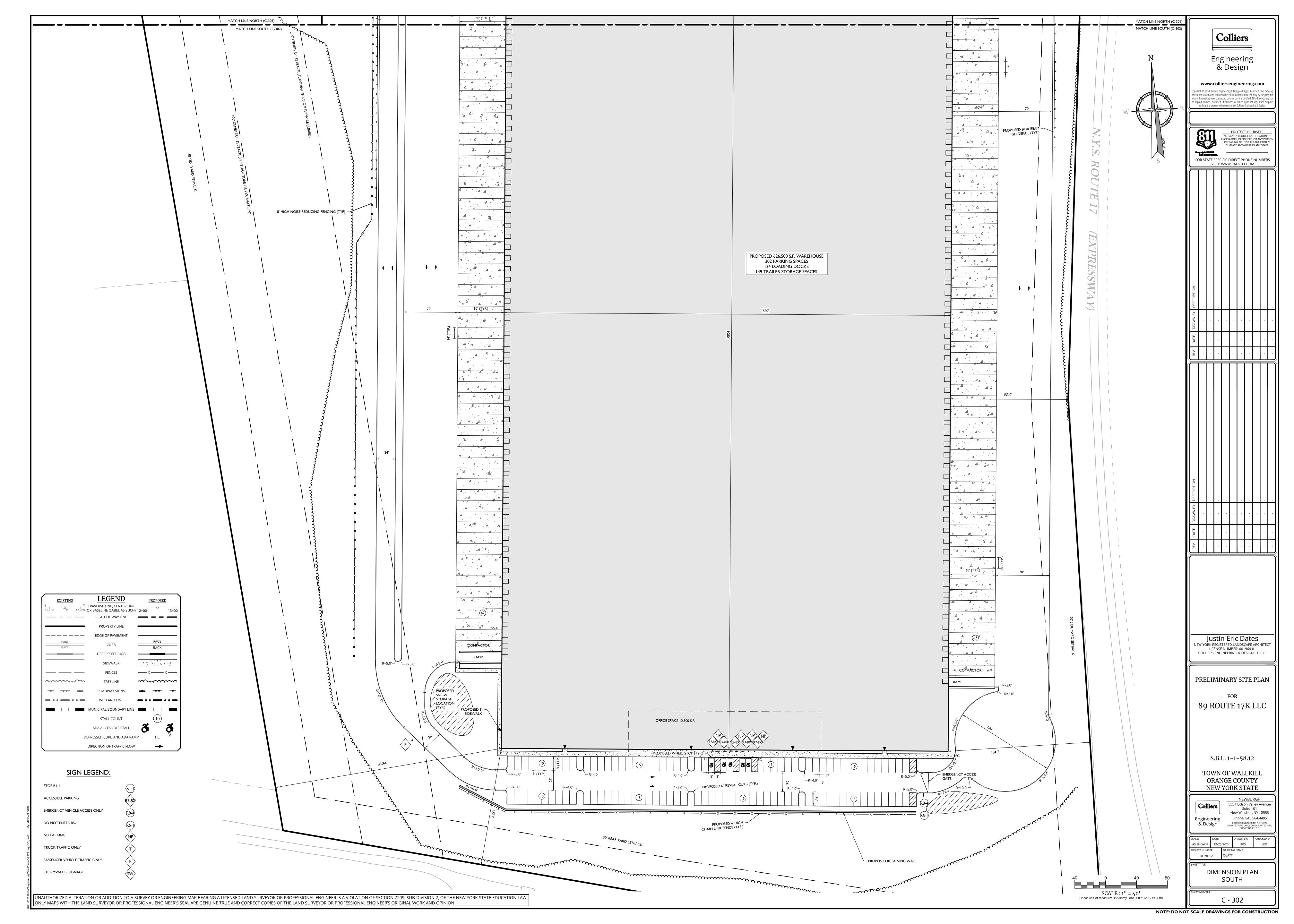
WETLANDS:

TOTAL EXISTING WETLANDS: 2.99 ACRES PROPOSED WETLAND DISTURBANCE: 0.07 ACRES

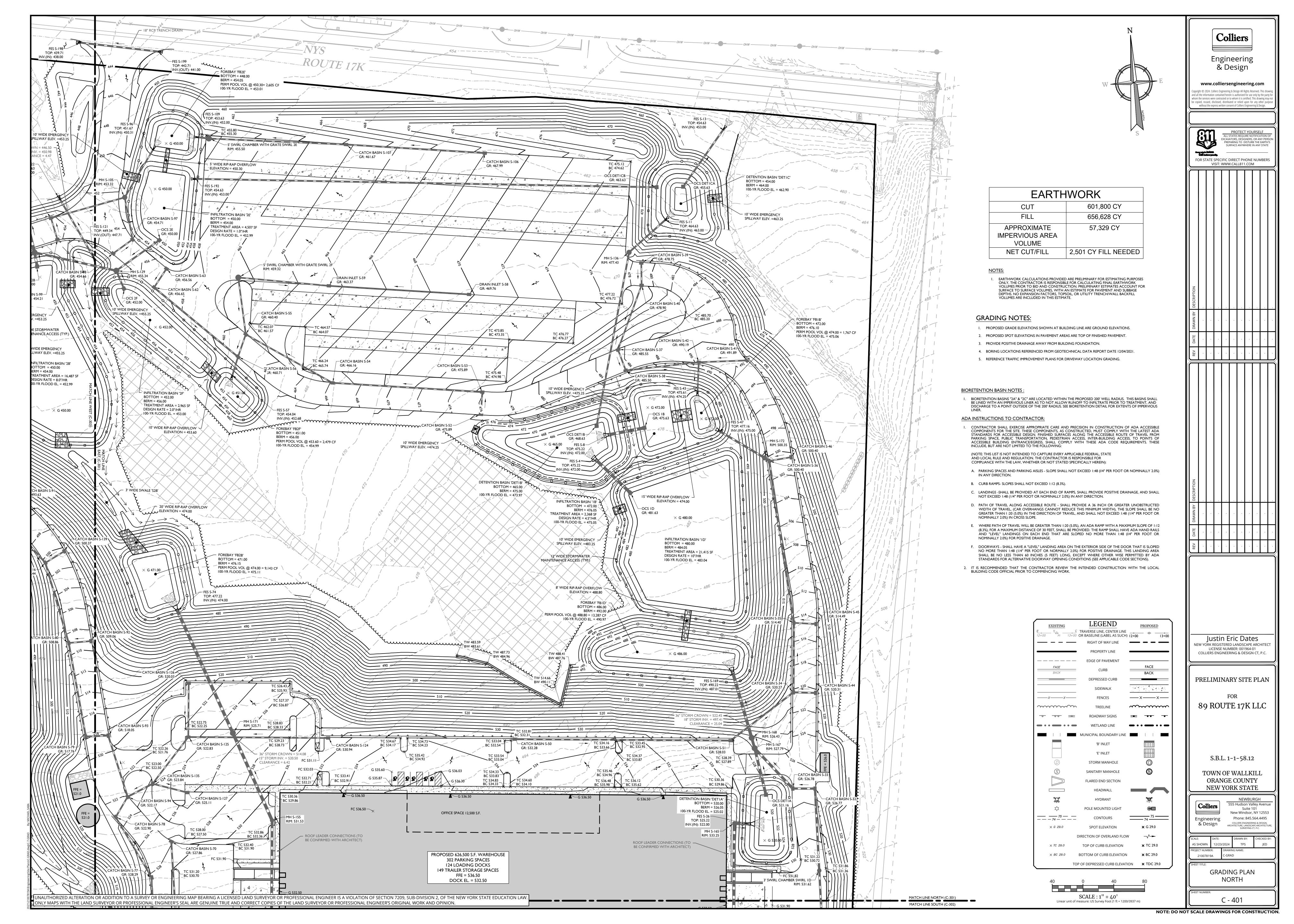
TOTAL WETLANDS TO REMAIN UNDISTURBED: 2.92 ACRES

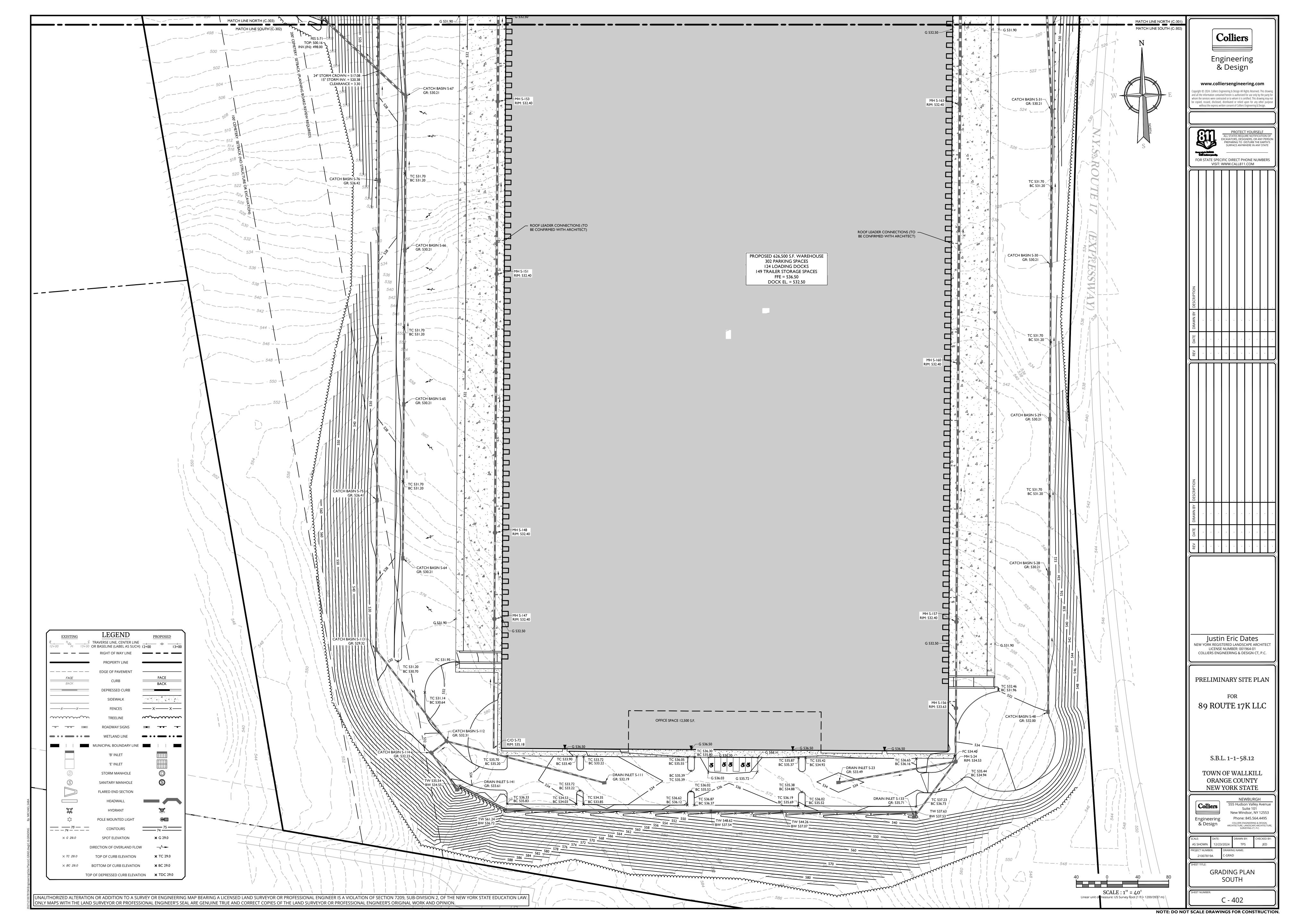


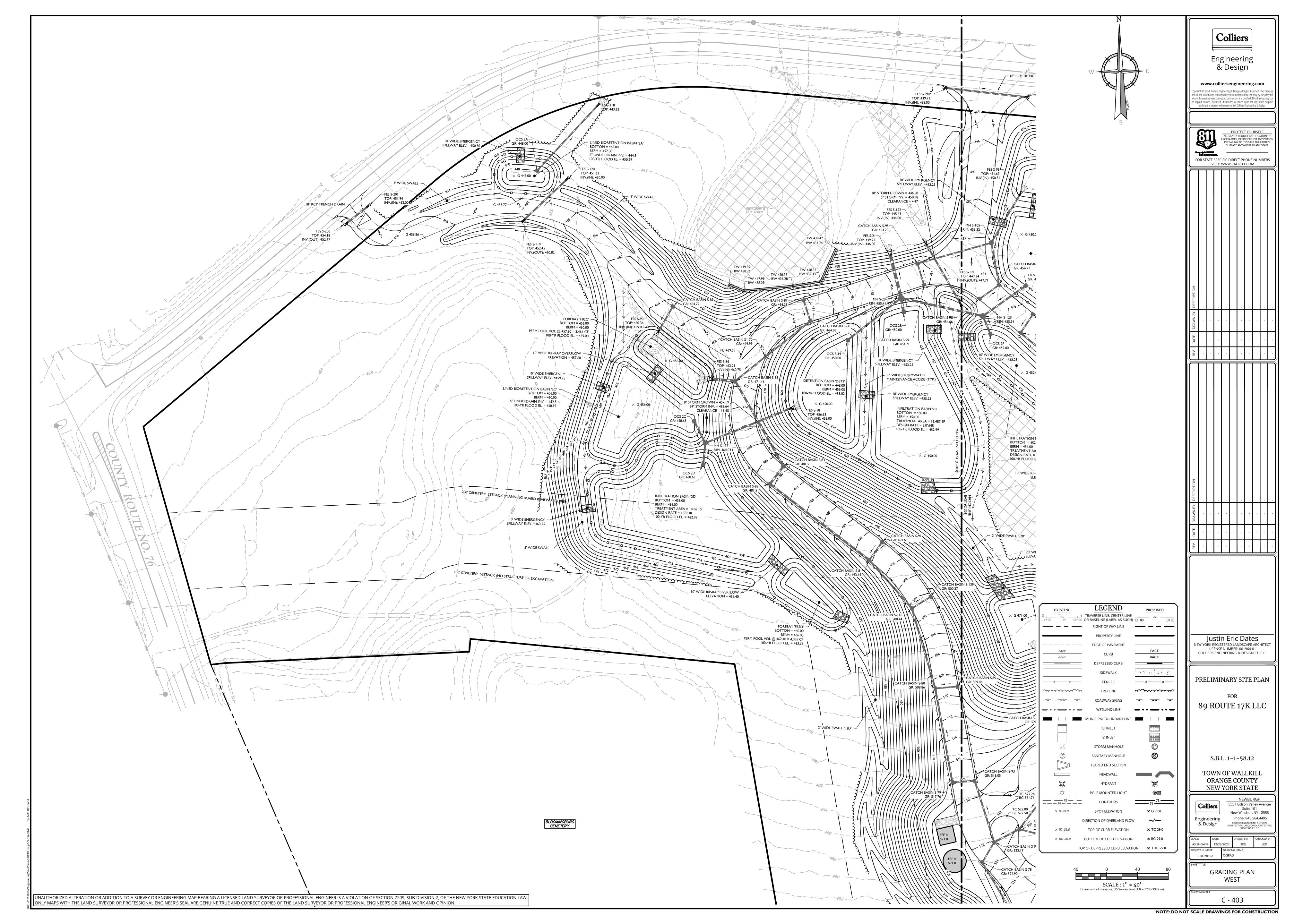


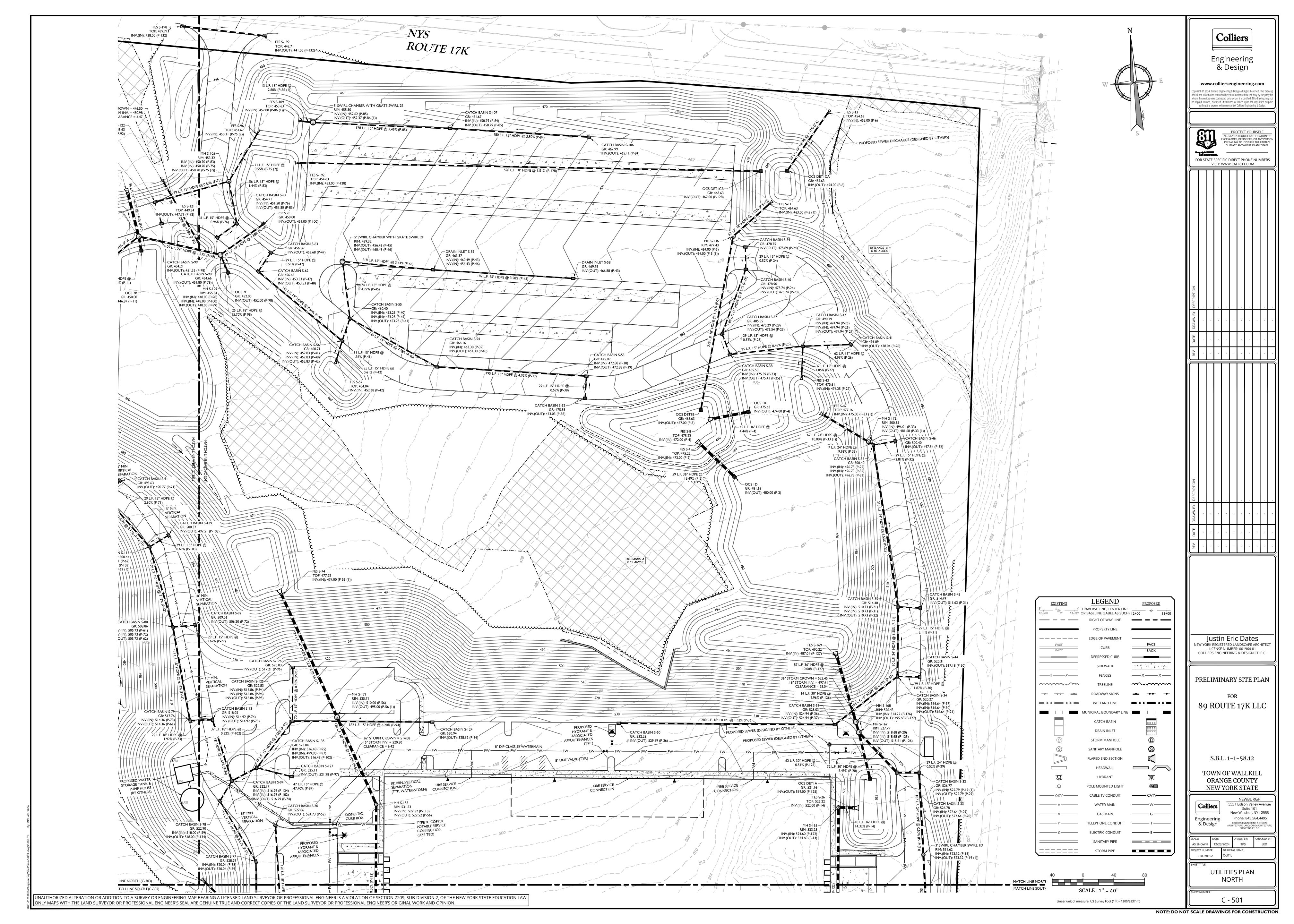


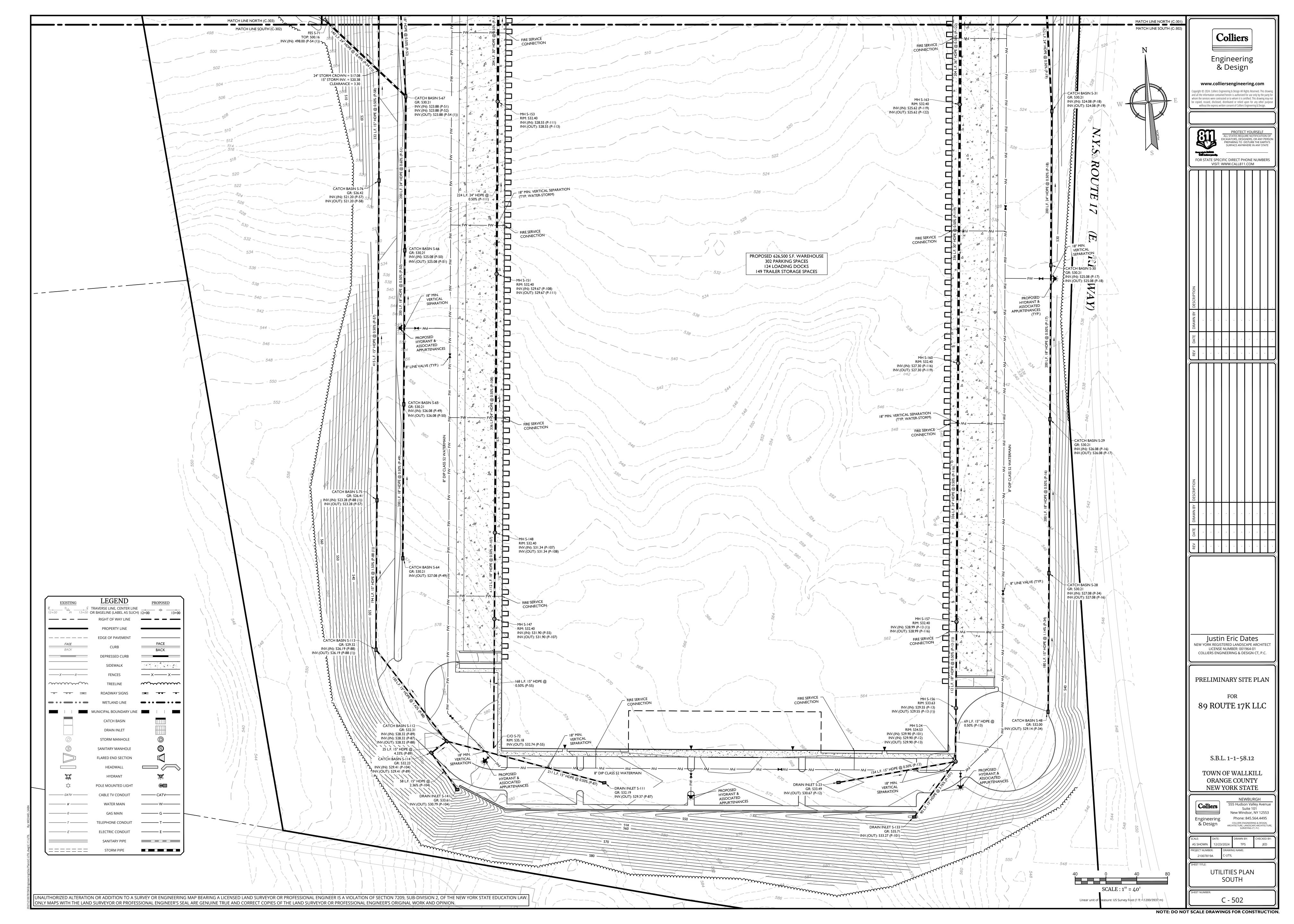


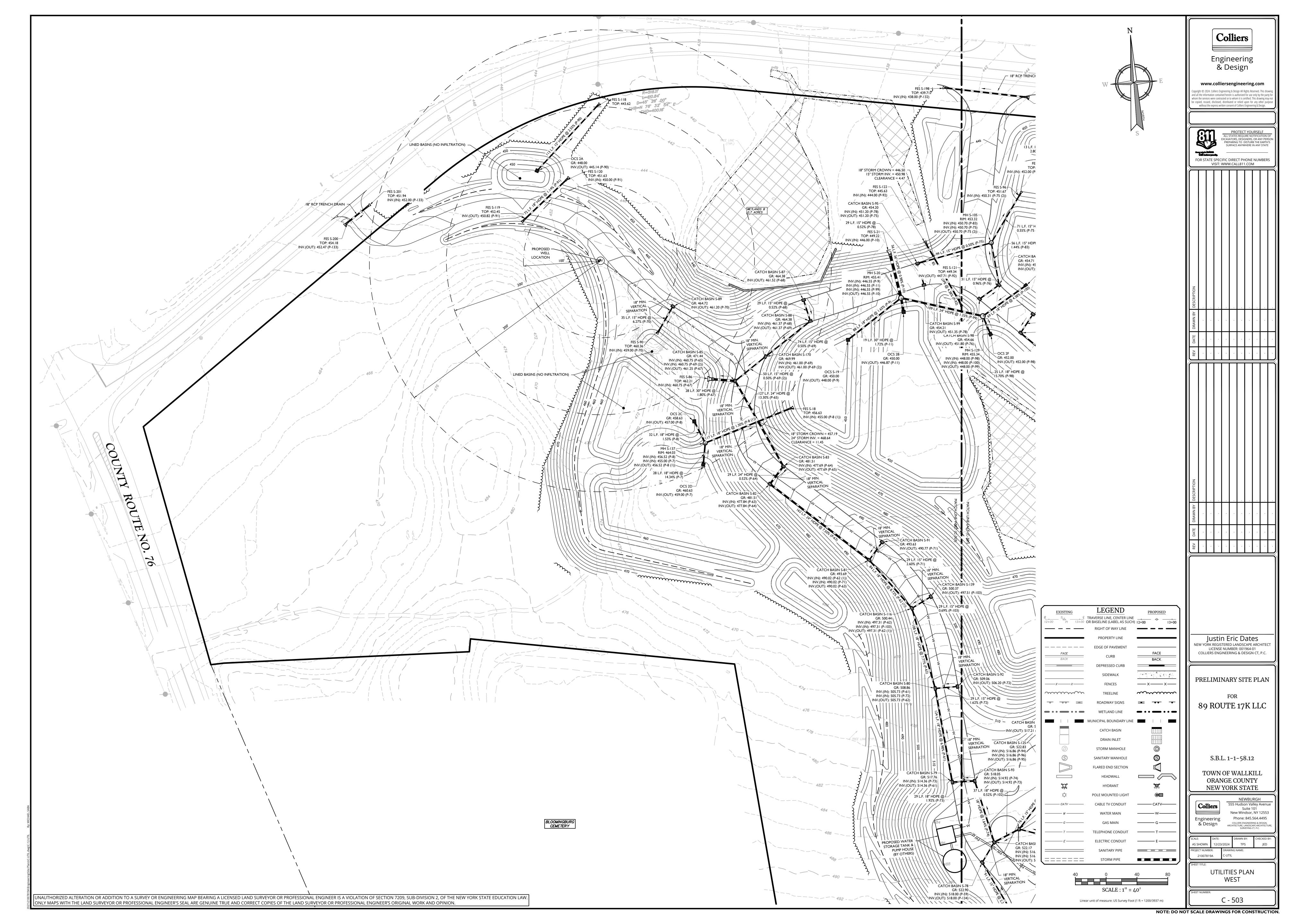


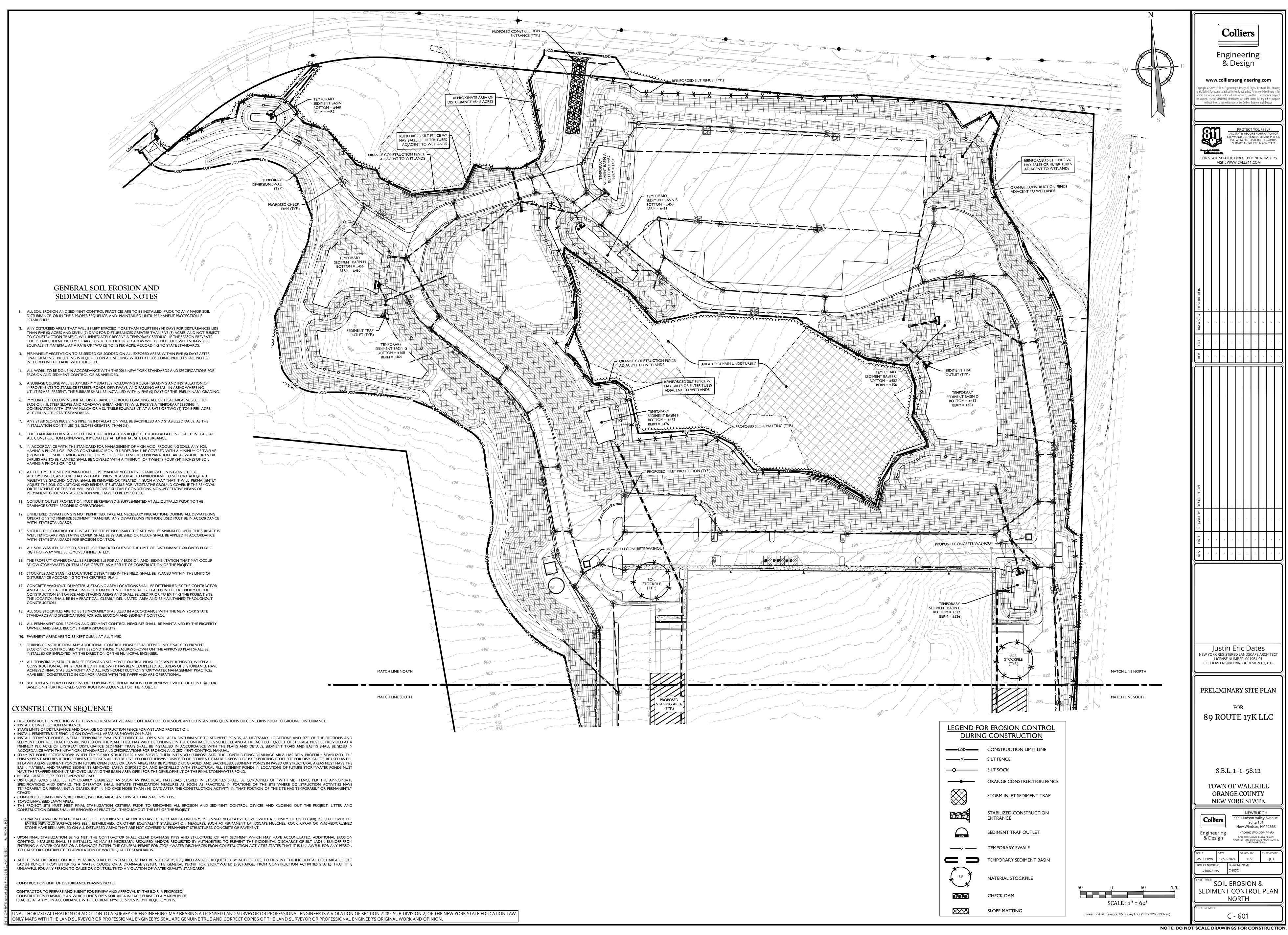


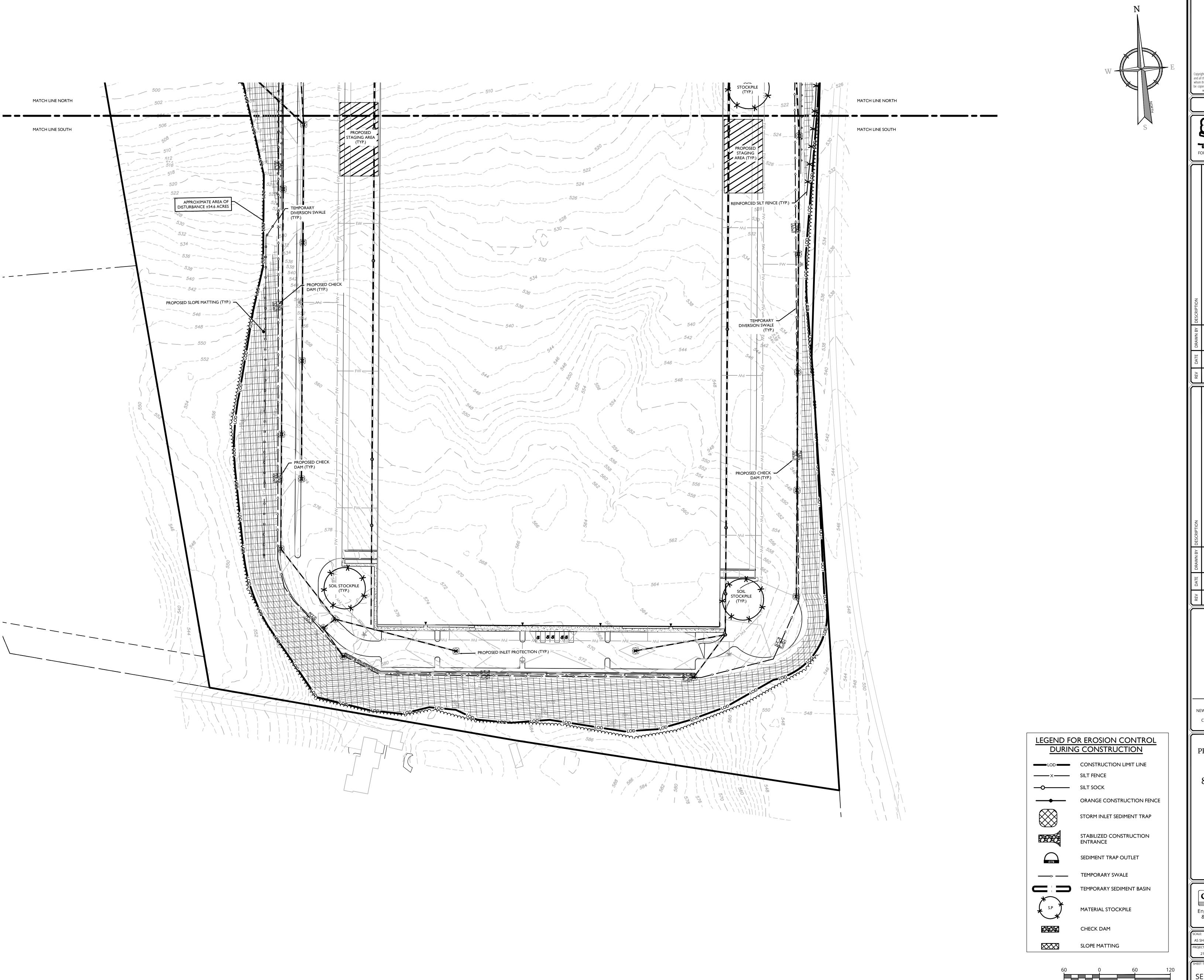












UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

Colliers

Engineering

& Design

www.colliersengineering.com

Copyright © 2024. Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

PROTECT YOURSEL

ALL STATES REQUIRE NOTIFICAT

EXCAVATORS, DESIGNERS, OR AN'
PREPARING TO DISTURB THE E
SURFACE ANYWHERE IN ANY S

FOR STATE SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM

 DATE
 DRAWN BY
 DESCRIPTION

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .

Justin Eric Dates

NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN

FOR

89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY

NEW YORK STATE

NEWBURGH

555 Hudson Valley Avenual Suite 101

Colliers

555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN,
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

ARCHITECTORE, LANDSCAPE ARCHITECTORE, SURVEYING CT, P.C.

ALE: DATE: DRAWN BY: CHECKED BY: JED

DJECT NUMBER: DRAWING NAME:

21007819A C-SESC

SHEET TITLE:

SOIL EROSION &

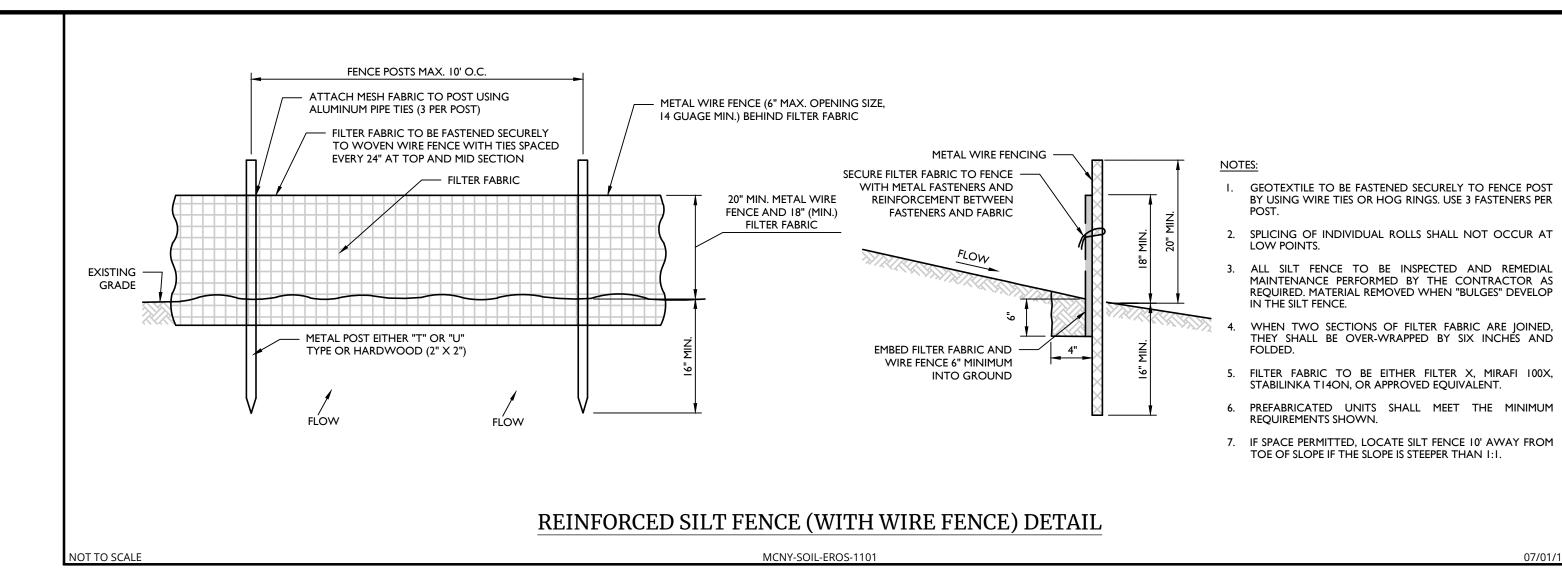
SEDIMENT CONTROL PLAN

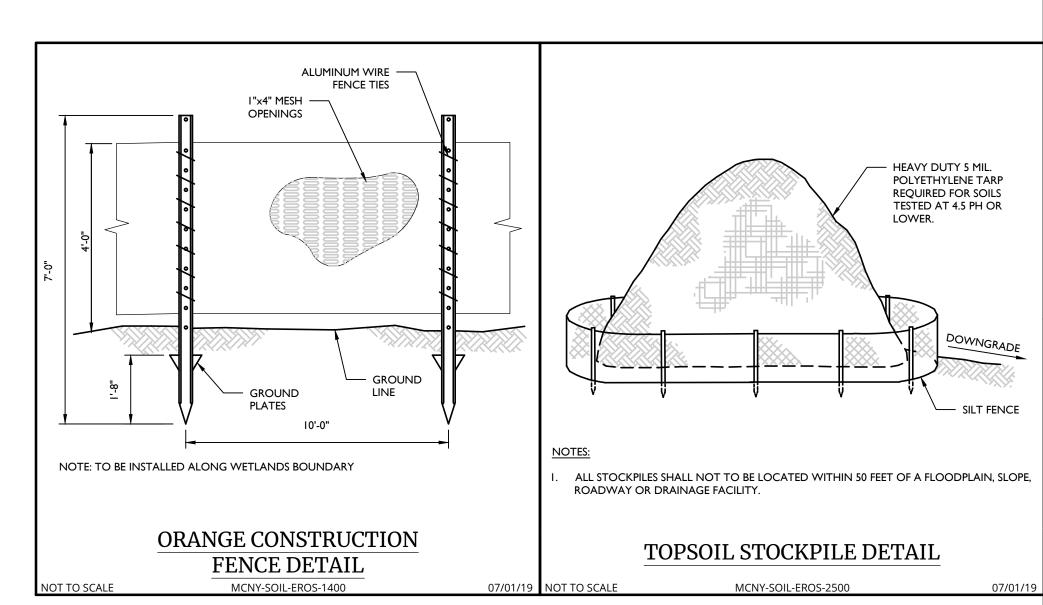
NORTH

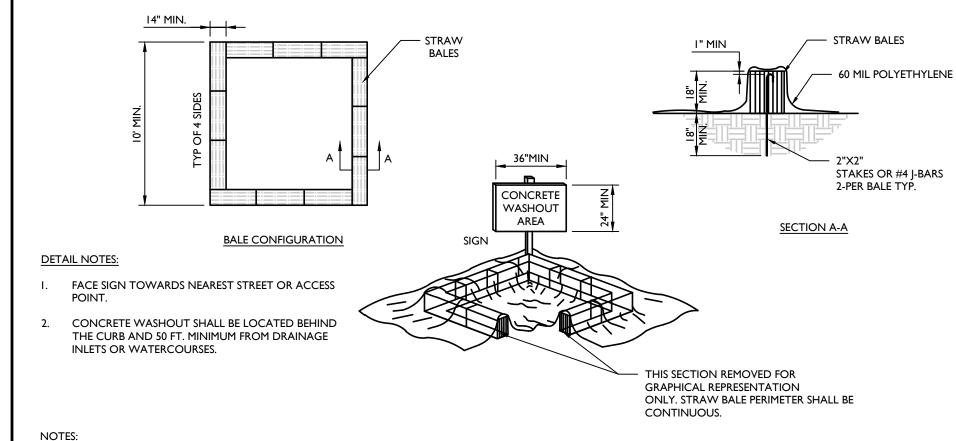
Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

C - 602

SCALE: 1" = 60'



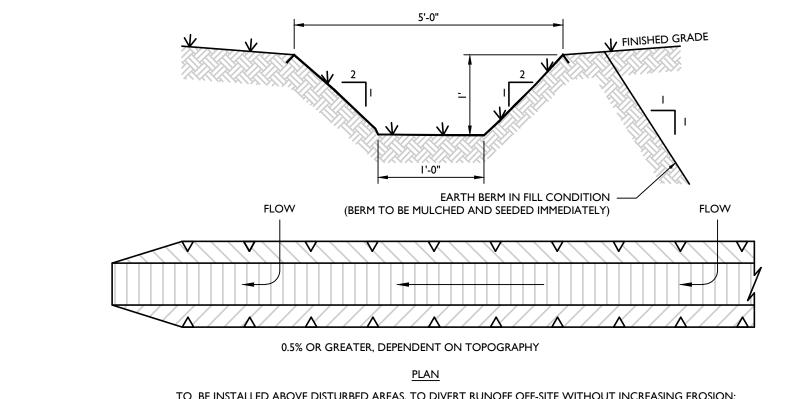




. CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.

- 2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE. 3. WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 FEET AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
- 4. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.
- THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY. LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS.
- 6. CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ONSITE.
- 7. CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER. 8. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
- 9. PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR COVERED.
- 10. ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
- II. PRE-FABRICATED OR ONSITE FABRICATED CONCRETE WASHOUTS MAY BE USED. 12. OPTIONS FOR ONSITE CONCRETE WASHOUTS:
- A. DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING. B. CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS WITH 10 MIL PLASTIC LINING.

CONCRETE WASHOUT DETAIL



TO BE INSTALLED ABOVE DISTURBED AREAS, TO DIVERT RUNOFF OFF-SITE WITHOUT INCREASING EROSION; INTERMITTENTLY ACROSS DISTURBED AREAS, TO SHORTEN OVERLAND FLOW DISTANCES; BELOW DISTURBED AREAS, TO DIVERT SEDIMENT-LADEN WATER TO A SEDIMENT TRAPPING DEVICE; AND TO SAFELY TRANSPORT RUNOFF ALONG ROADWAYS.

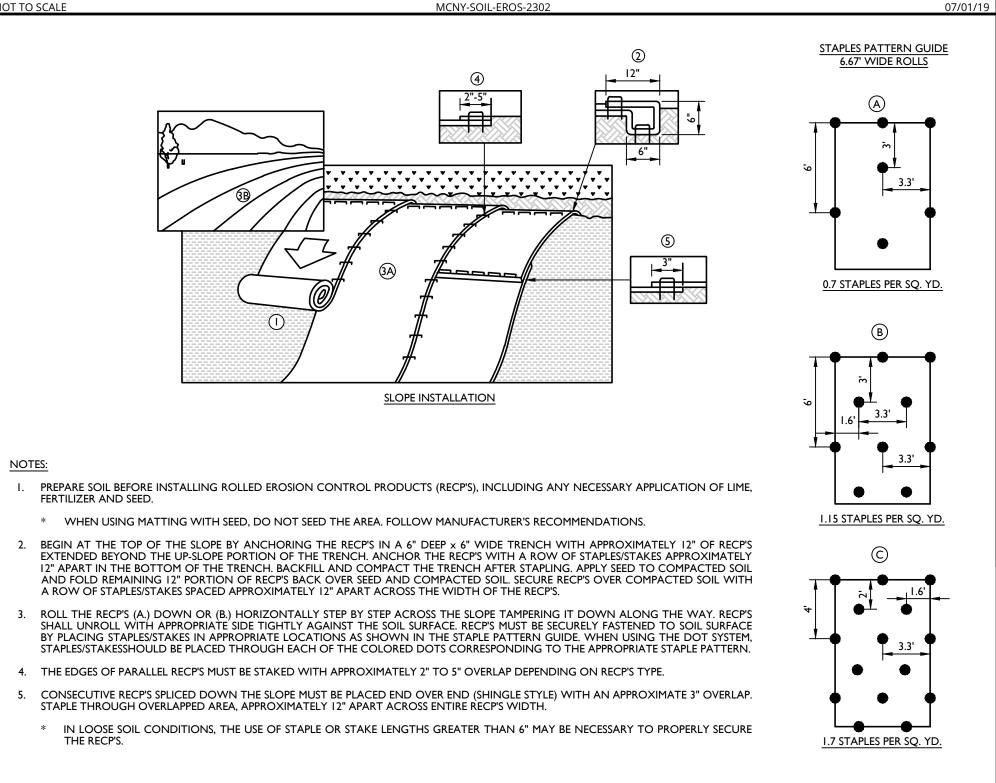
* WHERE SWALE TRAVERSES CONSTRUCTION VEHICLE PATH, DEPTH TO BE 6". SEE PLAN FOR

INSTALLATION NOTES:

- I. ALL SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY. 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- 6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- 7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- 8. INSPECTION AND MAINTENANCE MUST BE PROVIDED BY THE CONTRACTOR AS REQUIRED 9. STABILIZATION SHALL BE SEED AND STRAW MULCH.

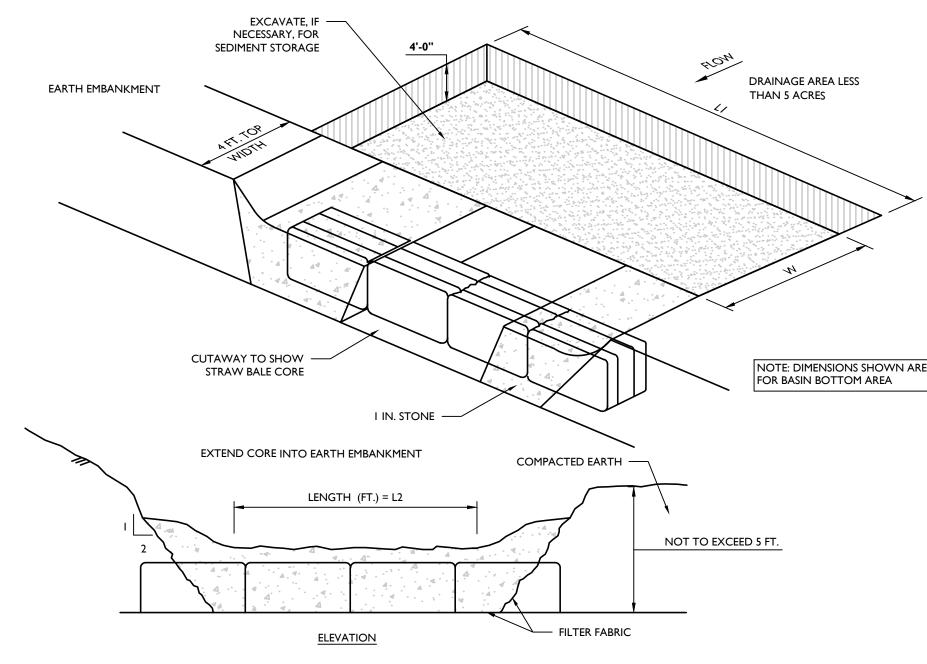
TEMPORARY SWALE &

EARTH BERM DETAIL



EROSION MATTING (CURLEX ENFORCER I) DETAIL

MCNY-SOIL-EROS-2200



TO BE INSTALLED PRIOR TO GRADING OR FILLING IN THE DRAINAGE AREA THEY ARE TO PROTECT. TRAPS THAT ARE TO FUNCTION DURING BUILDING CONSTRUCTION MUST NOT BE LOCATED WITHIN 20 FEET OF A PROPOSED BUILDING FOUNDATION. WHILE TRAPS SHOULD BE SITED TO MAXIMIZE STORAGE BENEFIT, THEY SHOULD NOT BE LOCATED IN WETLANDS OR WETLAND BUFFER AREAS, OR IN EXISTING WATERCOURSES.

INSTALLATION NOTES:

SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER SIZED STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED
- TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. 4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- . CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS
- 6. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

THE UP GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.

7. ALL CUT AND FILL SLOPES SHALL BE I: 2 OR FLATTER. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1' THICKNESS OF 2" AGGREGATE PLACED ON

SEDIMENT TRAPS, ADDITIONAL MAY BE REQUIRED BASED UPON OTHER ON-SITE CONDITIONS AND CONTRACTOR SCHEDULE AND PHASING ACTIVITIES.

SIZING CALCULATIONS

3,600 CUBIC FEET OF STORAGE

REQUIRED PER ACRE OF

*THIS IS THE MINIMUM AMOUNT OF

DISTURBANCE.

Colliers

Engineering

& Design

www.colliersengineering.com

om the services were contracted or to whom it is certified. This drawing may

e copied, reused, disclosed, distributed or relied upon for any other purp

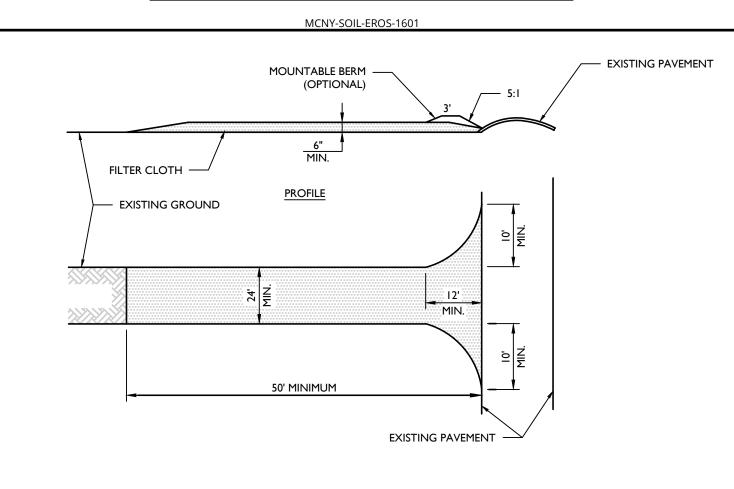
without the express written consent of Colliers Engineering & Design.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW CALL811 COM

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
XCAVATORS, DESIGNERS, OR ANY PERSO

PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

STONE OUTLET SEDIMENT TRAP DETAIL



OT TO SCALE

. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. LENGTH: NOT LESS THAN 50 FEET. THICKNESS: NOT LESS THAN (6) INCHES. 2. WIDTH - 24'

PLAN VIEW

FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.

- SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A
- MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

COLLIERS ENGINEERING & DESIGN CT, P.C.

Justin Eric Dates

NEW YORK REGISTERED LANDSCAPE ARCHITECT LICENSE NUMBER: 001964-01

PRELIMINARY SITE PLAN

89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

NEWBURGH 555 Hudson Valley Avenue New Windsor, NY 12553 Phone: 845.564.4495 Engineering & Design

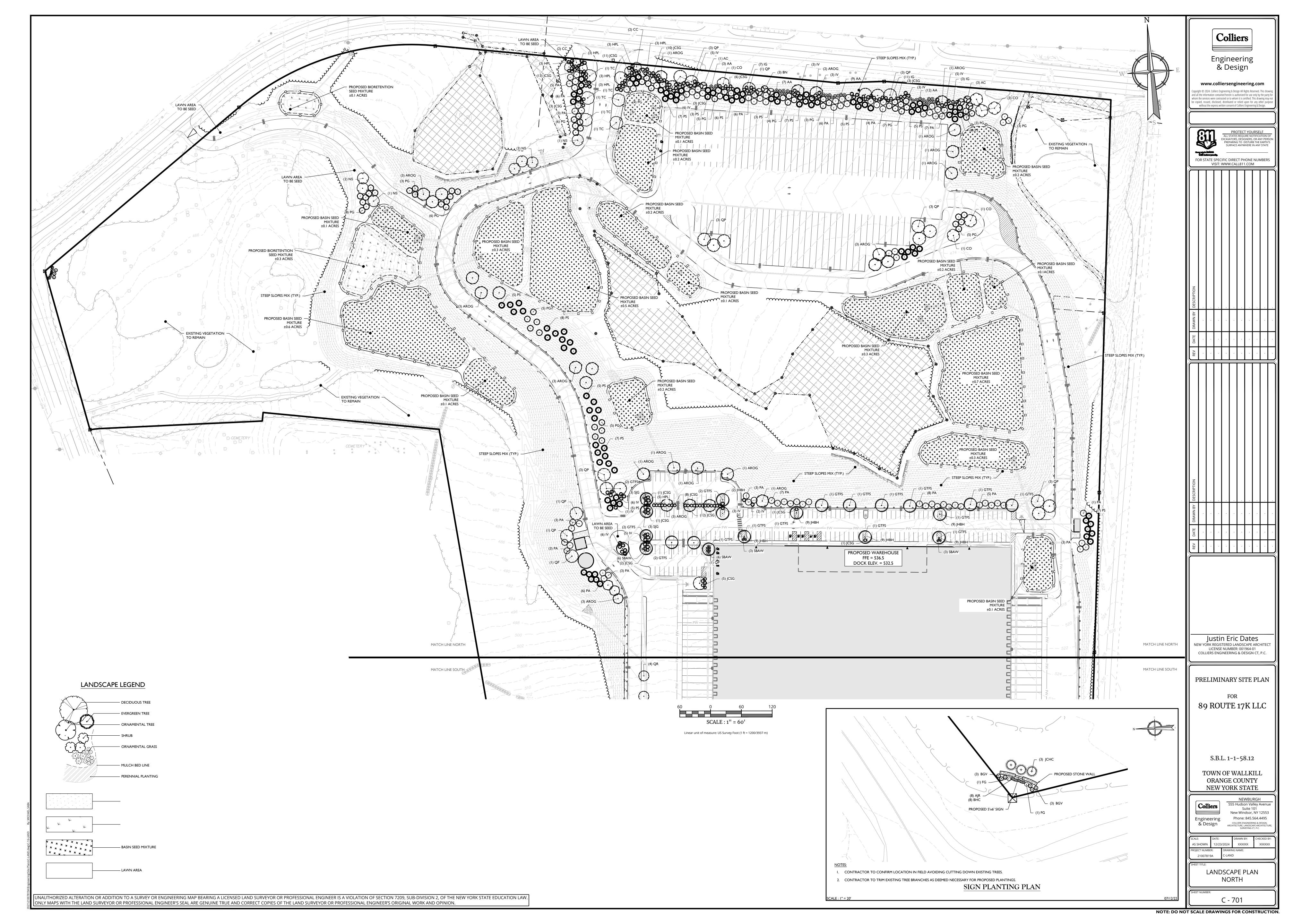
21007819A

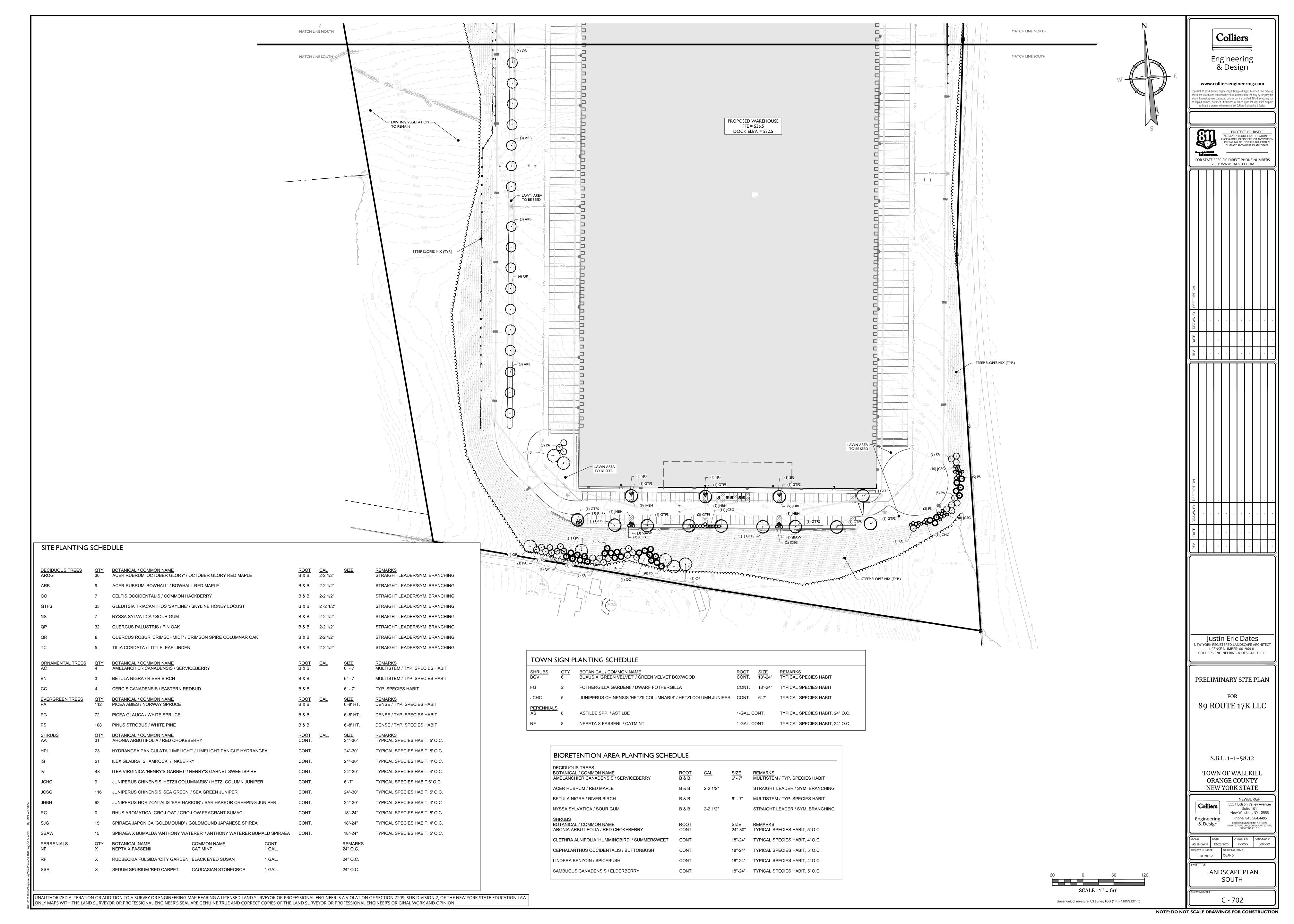
SOIL EROSION & SEDIMENT CONTROL DETAILS

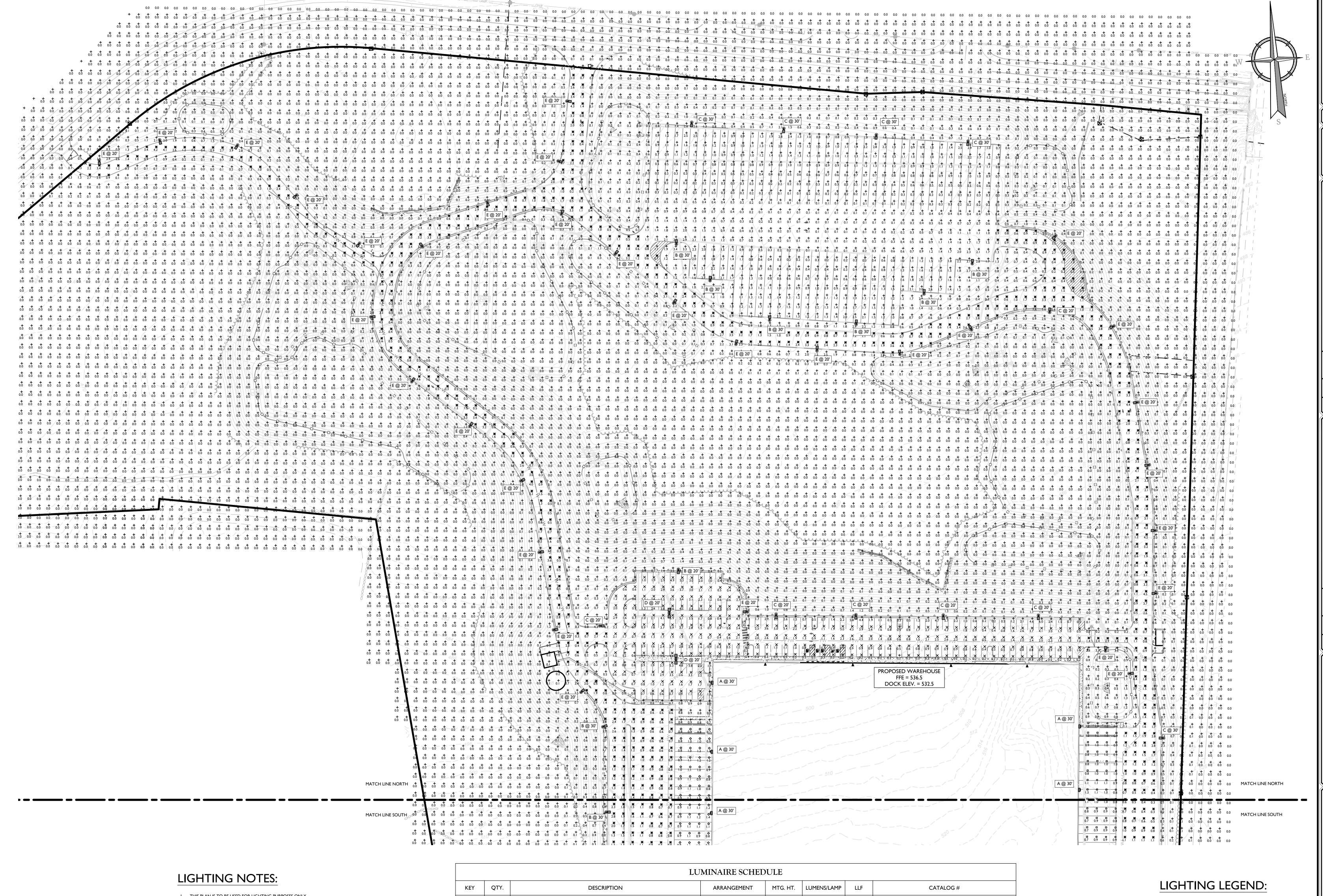
C - 603

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION







- I. THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
- 2. POLES AND FIXTURES AS SUPPLIED BY: POLES & WALL FIXTURES HOLOPHANE
- 3. LAMPS ARE TO BE LEDs. A LIGHT LOSS FACTOR (LLF) WAS USED AS SHOWN IN THE LUMINARIES SCHEDULE.
- 4. FIXTURES AND POLES ARE TO BE BLACK.
- 5. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF TWO (2) FEET BEHIND CURBS, EDGE OF PAVEMENT OR RETAINING WALLS IN CAR PARKING AREAS.
- 6. PROPOSED LIGHT FIXTURE LOCATIONS ARE CRITICAL TO PROVIDE THE LIGHTING LEVELS DEPICTED ON THIS PLAN. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY FIXTURE LOCATIONS PRIOR TO INSTALLATION. IF ADJUSTMENT TO ANY LIGHT FIXTURE LOCATION IS REQUIRED DUE TO FINAL CONSTRUCTION OF UTILITIES AND SITE IMPROVEMENTS, THE LIGHTING CONTRACTOR SHALL NOTIFY
- THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. 7. LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- 8. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE
- OWNER OR PROJECT LANDSCAPE ARCHITECT. 9. ELECTRICAL PLANS FOR WIRING LAYOUT BY OTHERS.
- 10. POLE BASE INSTALLATION SHALL INCLUDE A SUPPLEMENTARY GROUND ROD AND WIRE LEAD TO BASE FOR POWER CONNECTION. DETAILS PER PROJECT ELECTRICAL ENGINEER.
- II. ALL LIGHTING FIXTURES WILL BE DARK SKY COMPLIANT.

LUMINAIRE SCHEDULE							
KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS/LAMP	LLF	CATALOG #
Α	26	HOLOPHANE WALL PACK FULL CUTOFF LED	SINGLE	20' & 30'	9,561	0.95	HLWPC2-P40-30K-MVOLT-TFTM-BKSDP-P3
В	16	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	SINGLE	20' & 30'	20,049	0.95	ATB0-P305-MVOLT-R4-3K-BK-UMS-XX
С	15	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	SINGLE	20' & 30'	16,557	0.95	ATB0-P305-MVOLT-R4-3K-BK-HSS-UMS-XX
D	2	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	DOUBLE	20'	9,470	0.95	ATB0-P203-MVOLT-R3-3K-BK-UMS-XX
E	34	AMERICAN ELECTRIC LIGHTING ATB0 SERIES LED	SINGLE	20'	8,395	0.95	ATB0-P203-MVOLT-R2-3K-BK-HSS-UMS-XX

I. LIGHT FIXTURE VOLTAGE REQUIREMENTS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING.

CALCULATION SUMMARY							
DESCRIPTION	CALC. TYPE	UNITS	AVG.	MAX.	MIN.	AVG. / MIN.	
DRIVE AISLE PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.2	5.9	0.1	12.0:1	
EAST LOADING DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.0	1.3	0.7	1.4:1	
WEST LOADING DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.0	1.4	0.5	2.0:1	
SOUTH CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.2	4.7	0.2	6.0:1	
NORTH CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.6	5.9	0.2	8.0:I	
TRAILER STORAGE AREA SUMMARY	ILLUMINANCE	FC	0.9	3.1	0.1	9.0:1	

SINGLE FIXTURE POLE LIGHT

DOUBLE FIXTURE POLE LIGHT

→ WALLPACK

†0.0 LIGHT LEVEL AT GRADE (IN FOOTCANDLES)

NEW YORK STATE NEWBURGH 55 Hudson Valley Avenue **Colliers** Suite 101 New Windsor, NY 12553 Phone: 845.564.4495 Engineering COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTUR SURVEYING CT, P.C. & Design 21007819A LIGHTING PLAN NORTH

Justin Eric Dates

LICENSE NUMBER: 001964-01 COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN

FOR

89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL

ORANGE COUNTY

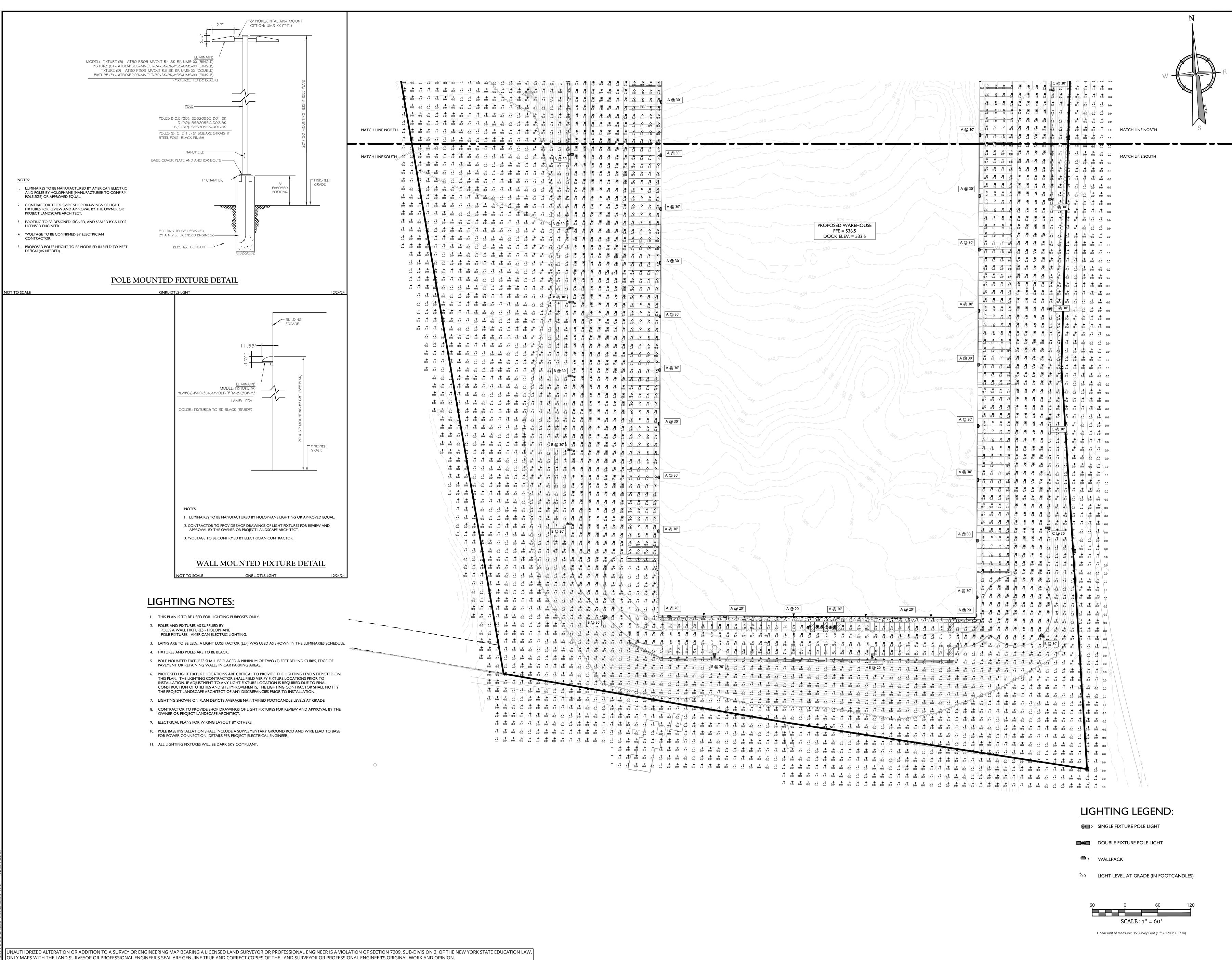
Colliers

Engineering & Design

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. DNLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

Linear unit of measure: US Survey Foot (1 ft = 1200/3937 m)

C - 801 NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



Colliers

Engineering

& Design

ne conied, reused, disclosed, distributed or relied upon for any other pur without the express written consent of Colliers Engineering & Design

www.colliersengineering.com

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
XCAVATORS, DESIGNERS, OR ANY PERSO PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Justin Eric Dates NEW YORK REGISTERED LANDSCAPE ARCHITECT LICENSE NUMBER: 001964-01 COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN

89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

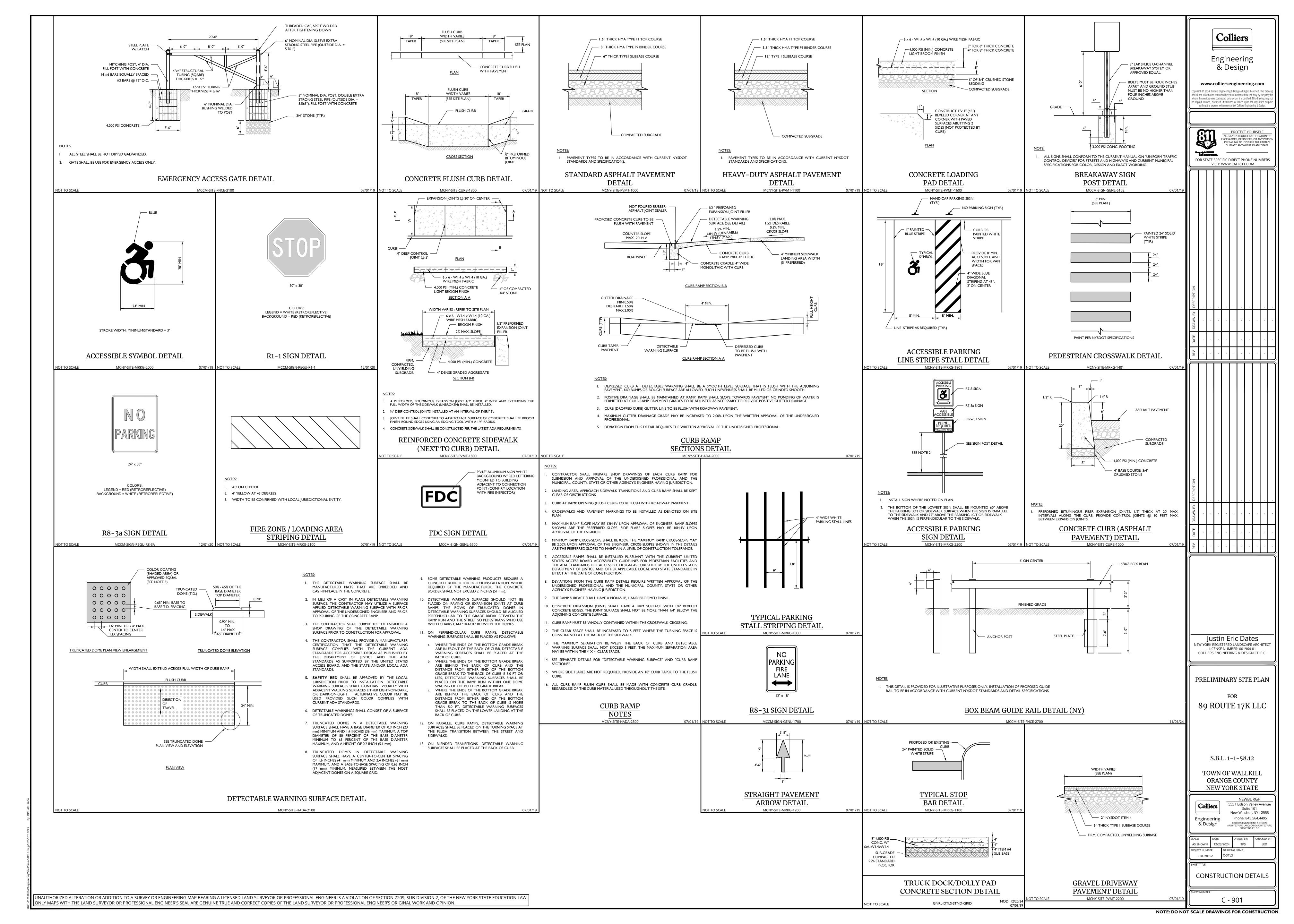
NEWBURGH 555 Hudson Valley Avenue & Design

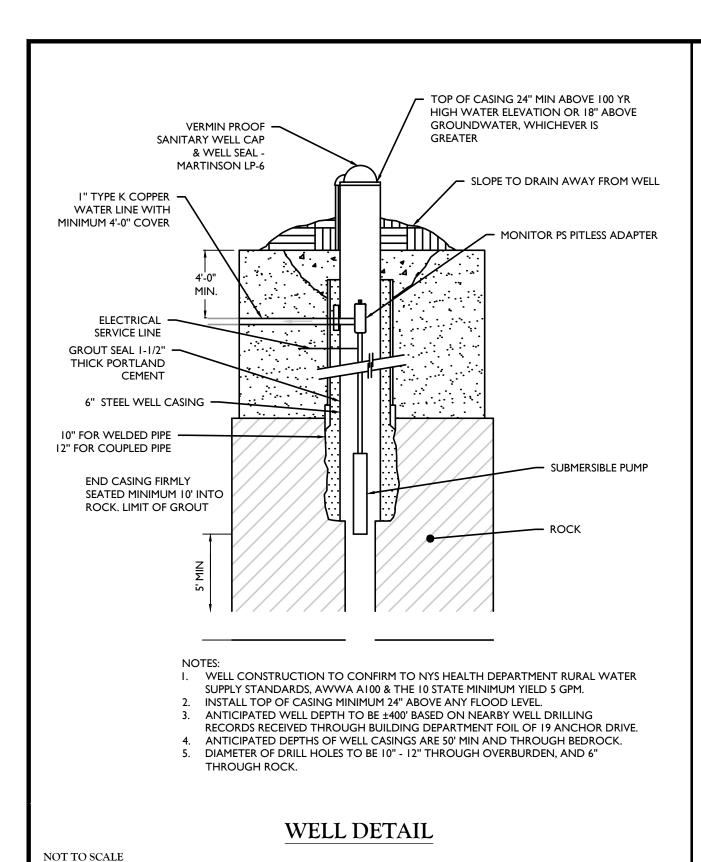
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

New Windsor, NY 12553 Phone: 845.564.4495

LIGHTING PLAN SOUTH

C - 802





ALL METHODS, MATERIALS, FITTINGS, DEVICES, DIMENSIONAL REQUIREMENTS AND PROCEDURES NECESSARY TO COMPLETE THE WORK

WATER NOTES:

SHOWN HEREON SHALL MEET THE APPROPRIATE CURRENT AWWA SPECIFICATIONS IN EFFECT AS WELL AS ALL REQUIREMENTS DEEMED APPLICABLE BY THE MUNICIPALITY OR ANY OTHER GOVERNMENTAL BODY HAVING JURISDICTION OVER SAID WORK. ALL WATER MAIN PIPE SHALL BE AWWA C151/A21.51-02 THICKNESS CLASS FIFTY-TWO (52) CEMENT LINED DUCTILE IRON PUSH-ON

(RUBBER GASKET) TYPE; AND INSTALLED WITH THREE (3) BRONZE WEDGES PER JOINT. JOINT INSTALLATION SHALL BE "TYPE 2" AS

PRESCRIBED IN THE LATEST REVISION OF AWWA C600. MECHANICAL JOINTS SHALL HAVE RETAINER GLANDS. ALL PIPE FITTINGS SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE AWWA SPECIFICATION C153/A21.53-00 ALL GATE VALVES SHALL BE "MUELLER" OR APPROVED EQUAL, RESILIANT-SEATED GATE VALVES WITH MECHANICAL JOINT

CONNECTIONS. OPENING SHALL BE LEFT (CCW) AND OPERATION SHALL BE BY 2" SQUARE WRENCH NUT. MINIMUM WORKING PRESSURE SHALL BE 250 PSI. GATE VALVES ARE TO BE IN ACCORDANCE WITH LATEST REVISION OF AWWA SPECIFICATION C509. ALL VALVE BOXES SHALL BE EXTENSION TYPE BY MUELLER SET ON BRICKS AND POSITIONED PERPENDICULAR TO THE PIPE AND ON

ALL CHANGES IN PIPE LINE DIRECTION, BOTH HORIZONTAL AND VERTICAL SHALL BE TIE-RODDED AND THRUST BLOCKED WITH

CONCRETE AGAINST UNDISTURBED EARTH AS DIRECTED BY THE ENGINEER FLUSH OUT ALL WATER MAINS AND APPURTENANCES AS DIRECTED BY THE MUNICIPALITY UNTIL THE WATER RUNS CLEAN AND FREE OF RUST AND DIRT. PRESSURIZE ALL LINES AND APPURTENANCES FOR FORTY-EIGHT (48) HOURS, OR AS DIRECTED BY THE MUNICIPALITY, TO REVEAL ANY LEAKS OR BROKEN PIPE. THIS SHALL ALL BE DONE EITHER AS A TOTAL PROJECT OR BETWEEN VALVED SECTIONS AS DIRECTED BY THE TOWN. IF PRESSURE TESTING REVEALS ANY LEAKS OR DIFFICULTIES THE CONTRACTOR SHALL PROMPTLY UNCOVER THE LEAK OR BROKEN PIPE AND IMMEDIATELY REPAIR AND RETEST SAME. THIS SHALL BE REPEATED AS MANY TIMES AS MAY BE REQUIRED TO DEMONSTRATE A TIGHT LINE TO THE SATISFACTION OF THE TOWN. THE NEW WATER MAIN AND APPURTENANCES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST REVISION OF AWWA C-600. RESULTS OF TESTS ARE TO BE SUBMITTED AND ACCEPTED BY THE MUNICIPALITY. THE MUNICIPAL ENGINEER MUST BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO PRESSURE TESTING.

ALL WATER LINES AND APPURTENANCES SHALL BE DISINFECTED TO THE SATISFACTION OF THE MUNICIPALITY, AND IN ACCORDANCE WITH THE STANDARDS OF THE DEPT. OF HEALTH. THIS SHALL ALSO BE DONE IN ACCORDANCE WITH THE LATEST REVISION OF AWWA C651. A MINIMUM OF TWO (2) BACTERIAL TESTS TAKEN TWENTY-FOUR (24) HOURS APART ARE REQUIRED. RESULTS OF TESTS ARE TO BE SUBMITTED AND ACCEPTED BY THE MUNICIPALITY.

AS PER AWWA C65 I, LATEST REVISION, WATER MAIN DISINFECTION PROCEDURE SHALL, GENERALLY, BE AS FOLLOWS: INSPECTING MATERIALS TO BE USED TO ENSURE THEIR INTEGRITY. PREVENTING CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR AND NOTING POTENTIAL CONTAMINATION AT THE CONSTRUCTION SITE.

REMOVING, BY FLUSHING OR OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAIN. CHLORINATING ANY RESIDUAL CONTAMINATION THAT MAY REMAIN, AND FLUSHING THE CHLORINATED WATER FROM THE MAIN. PROTECTING THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW CAUSED BY HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.

DOCUMENTING THAT AN ADEQUATE LEVEL OF CHLORINE CONTACTED EACH PIPE TO PROVIDE DISINFECTION. DETERMINING THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION. FINAL CONNECTION OF THE APPROVED NEW WATER SERVICE TO THE ACTIVE DISTRIBUTION SYSTEM.

THE CONTINUOUS-FEED METHOD SHALL BE IMPLEMENTED FOR CHLORINATION, AS DESCRIBED IN AWWA C651, LATEST REVISION. AFTER CHLORINATION, THE CONTRACTOR SHALL FLUSH THE MAINS AS PER FINAL FLUSHING REQUIREMENTS OF AWWA C651, LATEST REVISION. WHEN CUTTING INTO OR REPAIRING AN EXISTING MAIN, DISINFECTION PROCEDURES SHALL BE OBSERVED AS DETAILED IN DISINFECTION PROCEDURES WHEN CUTTING INTO OR REPAIRING EXISTING MAINS OF AWWA C651, LATEST REVISION.

VERIFICATION SHALL BE ACCOMPLISHED VIA BACTERIOLOGICAL TESTS. AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HR APART, SHALL BE COLLECTED FROM THE NEW MAIN. AT LEAST ONE SET OF SAMPLES SHALL BE COLLECTED FROM EVERY 1,200 FT OF THE NEW WATER MAIN, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE SET FROM EACH BRANCH. SAMPLES SHALL BE TESTED FOR BACTERIOLOGICAL (CHEMICAL AND PHYSICAL) QUALITY IN ACCORDANCE WITH STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER, AND SHALL SHOW THE ABSENCE OF COLIFORM ORGANISMS AND THE PRESENCE OF A CHLORINE RESIDUAL. SAMPLES FOR BACTERIOLOGICAL ANALYSIS SHALL BE COLLECTED IN STERILE BOTTLES TREATED WITH SODIUM THIOSULFATE, AS REQUIRED BY STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER. NO HOSE OR FIRE HYDRANT SHALL BE USED IN THE

COLLECTION OF SAMPLES. THERE SHOULD BE NO WATER IN THE TRENCH UP TO THE CONNECTION FOR SAMPLING. THE SAMPLING PIPE MUST BE DEDICATED AND CLEAN AND DISINFECTED AND FLUSHED PRIOR TO SAMPLING. A CORPORATION COCK MAY BE INSTALLED IN THE MAIN WITH A COPPER-TUBE GOOSENECK ASSEMBLY. AFTER SAMPLES HAVE BEEN COLLECTED, THE GOOSENECK ASSEMBLY MAY BE REMOVED AND RETAINED FOR FUTURE USE. IF SAMPLES RESULTS FROM THE LAB INDICATE A MEASURED HPC GREATER THAN 500 COLONY-FORMING UNITS (CFU) PER ML. FLUSHING SHOULD BE RESUMED AND ANOTHER COLIFORM AND HPC SET OF SAMPLES SHOULD BE TAKEN UNTIL NO COLIFORMS ARE PRESENT AND THE HPC IS LESS THAN 500 CFU/ML THE RECORD OF COMPLIANCE SHALL BE THE BACTERIOLOGICAL TEST RESULTS CERTIFYING THAT THE WATER SAMPLED FROM THE NEW WATER MAIN IS FREE OF COLIFORM BACTERIA CONTAMINATION AND IS EQUAL TO OR BETTER THAN THE BACTERIOLOGIC WATER QUALITY IN THE DISTRIBUTION

ALL OTHER REQUIREMENTS OF AWWA C65 I, LATEST REVISION, SHALL BE OBSERVED.

WATER SERVICE CROSSING SEWER OR STORM SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER OR STORM. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER OR STORM AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER MAY BE REQUIRED. WATER SERVICE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER MAIN OR SERVICE.

WATER TIGHT PLUGS ARE TO BE INSTALLED IN THE ENDS OF PIPES WHEN WORK IS NOT IN PROGRESS. LEAKAGE AND HYDROSTATIC PRESSURE TESTING SHALL BE PERFORMED AT 1.5 TIMES THE WORKING PRESSURE THE MAXIMUM DEFLECTION ALLOWED ALLOWED AT PIPE JOINTS SHALL BE LIMITED TO 80% OF THAT ALLOWED BY AWWA OR IN ACCORDANCE WITH THE MUNICIPALITY. FOR AWWA ALLOWABLE JOINT DEFLECTIONS SEE LATEST REVISION OF AWWA

SPECIFICATION C600. CONSTRUCTION MUST CONFORM TO ALL ORDINANCES. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING WATER AND OTHER UTILITIES PRIOR TO THE

CONTRACTOR TO CALL UNDERGROUND MARK-OUT PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR

COMPLETE UTILITIES MARK-OUT. CONTRACTOR TO CONTACT WATER DEPARTMENT AT LEAST 2 DAYS PRIOR TO CONSTRUCTION ALL IMPROVEMENTS SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK AND CERTIFICATION

SHALL BE PROVIDED TO THE MUNICIPALITY THAT THE SUBJECT IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS CONTRACTOR TO NOTIFY ENGINEER OF ANY DEVIATION FROM THE HORIZONTAL OR VERTICAL ALIGNMENTS WITH REGARDS TO

EXISTING UTILITIES. A CERTIFIED AS BUILT MAP OF THE WATER SYSTEM IMPROVEMENTS SHALL BE PROVIDED TO THE MUNICIPALITY'S WATER DEPARTMENT BY A LICENSED DESIGN PROFESSIONAL.

EXCAVATED BACKFILL -MATERIAL (IF SUITABLE) COMPACTED IN MAX. 9 LIFTS. (SEE NOTE 3) SDR 35 PVC PIPE — $\frac{3}{4}$ " CRUSHED STONE $\frac{1}{2}$ OR COARSE SAND MAIN/LATERAL OR AS APPROVED BY - WATER MAIN · STORM DRAIN THE SEWER OR LATERAL SUPERINTENDANT SPRINGLINE 3/4" CRUSHED STONE -BEDDING d = 4" FOR 12"-24" PIPE -**EQUAL** 6" FOR 30"-60" PIPE **FULL UNCUT LENGTH OF PIPE** UNDISTURBED FARTH OR — MIN. TRENCH COMPACTED SUBGRADE VERTICAL SEPARATION

WATER MAIN/LATERAL

STORM DRAIN HORIZONTAL SEPARATION NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DEPARTMENT OF HEALTH

SANITARY SEWER -

MAIN/LATERAL OR

SANITARY/STORM SEWER-WATER

MAIN SEPARATION DETAII

CLEANOUT PROTECTION

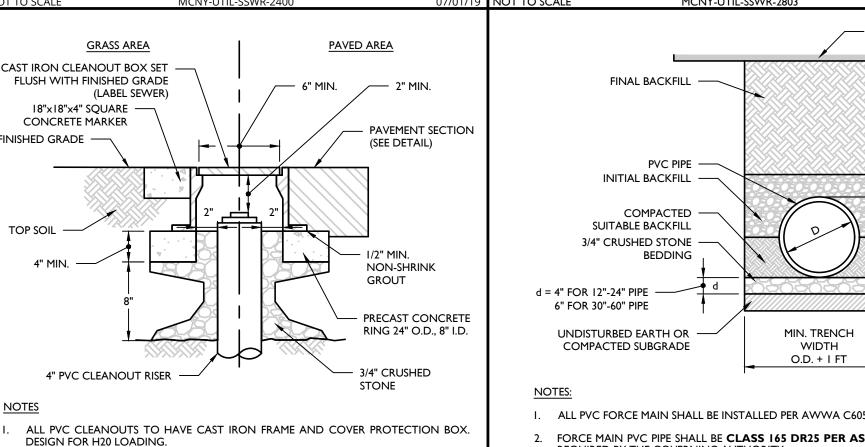
BOX DETAIL

O.D. + I FT ALL PVC GRAVITY PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM GRAVITY SANITARY PIPE SHALL BE PVC SDR 35 PER ASTM D3034 OR AS REQUIRED BY THE GOVERNING AUTHORITY

BACKFILL MATERIAL WITHIN 2' OF THE PIPE MUST BE FREE AND CLEAR OF DEBRIS. FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER, OR OTHER UNSTABLE MATERIALS. LEDGE ROCK, BOULDERS AND LARGER STONES, MUST BE REMOVED TO PROVIDED A MINIMUM CLEARANCE OF 4" BELOW AND BESIDES THE PIPE. FOR INSTALLATION IN PAVEMENT, BACKFILL SHALL BE N.Y.S.D.O.T ITEM 4 IN 9" LIFTS

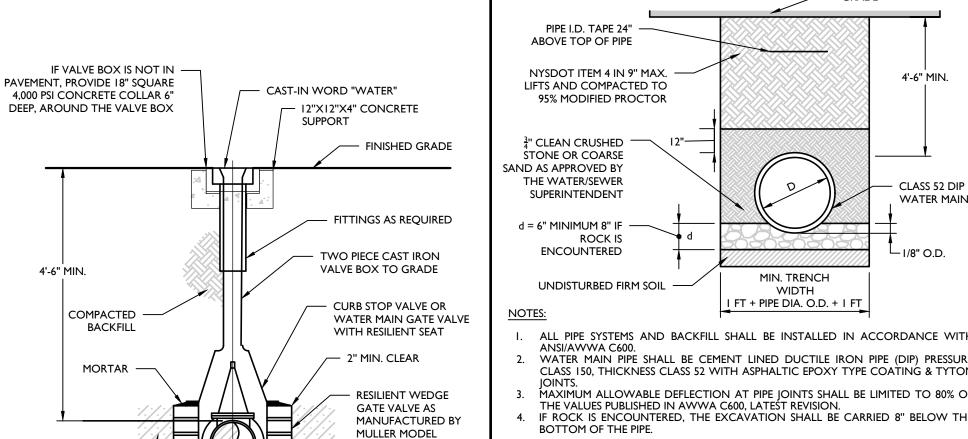
AND COMPACTED TO 95% MODIFIED PROCTOR.

PVC SANITARY PIPE BEDDING (GRAVITY) DETAIL



I. ALL PVC FORCE MAIN SHALL BE INSTALLED PER AWWA C605. FORCE MAIN PVC PIPE SHALL BE CLASS 165 DR25 PER ASTM C009-16 OR AS REQUIRED BY THE GOVERNING AUTHORITY.

> PVC SANITARY PIPE BEDDING (FORCE MAIN) DETAIL



#A-2361

WATER MAIN /

WATER SERVICE

(SEE PLAN FOR DETAILS)

SQUARE 4,000 PSI

TOWN OF WALLKILI

CONCRETE(3,000 PSI MIN. PER

STANDARDS) VALVE BOX PAD. 6'

VALVE BOX LID WITH "WATER"

CAST-IN (SEE DETAIL)

- WRAP VALVE TO BOTTOM OF

POLYETHYLENE ENCASEMENT

6" GATE VALVE WITH

OPERATING NUT IN

RESILIENT SEAT

AND SECURE

NYSDOT ITEM 4 BACKFILL

COMPACTED IN MAX 9" LIFTS

REDUCING TEE TO SUIT

CONCRETE BEARING PAD.

EARTH AS REQUIRED

HYDRANT TEE

SUPPORT ON UNDISTURBED

THRUST BLOCK TO

(3,000 PSI CONC

ALL PIPE SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH WATER MAIN PIPE SHALL BE CEMENT LINED DUCTILE IRON PIPE (DIP) PRESSURE CLASS 150, THICKNESS CLASS 52 WITH ASPHALTIC EPOXY TYPE COATING & TYTON MAXIMUM ALLOWABLE DEFLECTION AT PIPE JOINTS SHALL BE LIMITED TO 80% OF IF ROCK IS ENCOUNTERED, THE EXCAVATION SHALL BE CARRIED 8" BELOW THE

DIP WATER PIPE BEDDING

(BELOW PROPOSED PAVEMENT OR HARD SURFACE) DETAIL

MCNY-UTIL-WATR-1900

WATER VALVE BOX DETAIL

4-1/2"

STANDARD

NOZZLE

PUMPER

THREAD

VALVE BOLTED DIRECTLY TO -

RANCH TO HAVE MEGALUG

GLAND OR APPROVED EQUAL

CAST IRON

VALVE BOX

ALL VALVES TO INCLUDE MEGA-LUG RETAINER GLANDS AND BE RODDED BACK

WITH MALLEABLE IRON NUTS AT 108° SPACING.

DISTRICTS AND 800' IN OTHER DISTRICTS

TO THE ADJACENT TEE IN THE WATER MAIN. INLINE VALVES NEED NOT BE

RODDED. CONTRACTOR TO UTILIZE $\frac{3}{4}$ " ON CENTER GALVANIZED STEEL RODS

WATER MAIN VALVES FOR FOUR INCH THROUGH FOURT-EIGHT INCH SHALL BE

VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.

RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MULLER, MODEL #A-2361.

MAIN LINE VALVES TO BE SPACED NO FURTHER THAN 500' APART IN COMMERCIAL

COMPACTED BACKFILL ——

8" THK. CONC. SETTING ——

O NATURAL GROUND

BLOCK, 15" SQUARE TYP. (3,00 PSI CONC TYP.)

OT TO SCALE

HYDRANT MODEL PER -

REQUIRED BY LOCAL

MUELLER / OR AS

AUTHORIT'

SAFETY BREAKAWAY FLANGE -

RISER LENGTH AS REQUIRED

NOTE: EXACT RISER LENGTH TO

SUIT FIELD CONDITIONS AND

2' SO. X 2' DEEP DRAINAGE

PIT LINED AND COVERED

DRAIN VALVE ORIFICE (SEE

BOTTOM OF DITCH ——

UNDISTURBED FIRM SOIL

MEGALUG ACCESSORY PACK OR

8" THICK CONC. SETTING BED OR

SOLID CONC. BLOCK, 15" SQUARE,

MECHANICAL JOINT WITH -

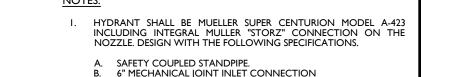
APPROVED EQUAL

WITH GEOTEXTILE FABRIC

YD. OF 3" CLEAN -

SHALL CONFORM TO MFG'

RECOMMENDATION



HYDRANT OPERATORS AND HYDRANT NOZZLE CAP NUTS SHALL BE IN ACCORDANCE WITH AWWA/ANSI STANDARD HYDRANT HOSE CAPS SHALL BE ATTACHED BY MEANS OF CHAINS.

HYDRANT BARRELS SHALL BE PAINTED - RED, BONNETS -YELLOW, AND NOZZLE CAPS - BLACK TO INDICATE THE AVAILABLE FIRE FLOW OR AS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS

TWO 2-1/2" NATIONAL STANDARD THREAD HOSE NOZZLES.

NE 4-1/2" NATIONAL STANDARD THREAD STEAMER NOZZLE, FACIN

HYDRANTS SHALL OPEN COUNTER CLOCKWISE. STANDPIPE (BREAK-AWAY) COUPLING SHALL NOT EXCEED MAXIMUM OF 5 INCHES FROM THE TOP OF THE CURB TO THE BOTTOM OF COUPLING. THE DRAIN VALVE SHALL BE CLEAR OF ANY OBSTRUCTIONS, AND " CLEAN GRAVEL BE PLACED FROM THE BOTTOM OF THE HYDRANT TO A POINT 6" ABOVE THE HYDRANT LATERAL PIPE.

THRUST BLOCKS SHALL BE MADE OF 4,000 PSI CONCRETE, PROVIDED 5. BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION. GATE VALVE SHALL BE T.W.W. 6" U.S. PIPE METROSEAL. 250 R/S (RESILIENT SEALED) MECHANICAL JOINT END (RIGHT HAND).

7. WATER LATERAL SHALL BE 6" DUCTILE IRON CEMENT LINED CLASS 8. TIE ROD SHALL BE 3/4" DIAMETER TIE ROD WITH EYE BOLTS - TWO REQUIRED (SIDE VIEW SHOWN). RESTRAIN ALL JOINTS ON HYDRANT TEE, VALVE, AND HYDRANT LEAD.

9. HYDRANT TEE SHALL BE U.S. PIPE CATALOG #U-592 TRIM-TYTE DUCTILE IRON, MECHANICAL JOINT OR AN T.W.W. APPROVED 10. HYDRANT SPACING MAY RANGE FROM 350' TO A MAX OF 600' HYDRANTS SHALL BE DRY-BARREL HYDRANTS, TYPE MULLER SUPER

CENTURON IN ACCORDANCE WITH AWWA C502, HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF 5" NOMINAL, ONE FOUR-AND ONE-HALF INCH NST PUMPER NOZZLE TWO TWO-AND DNE-HALF-INCH NST HOSE NOZZLES, A ONE-AND-ONE-HALF-INCH PENTAGON OPERATING NUT AND A SIX-INCH MECHANICAL JOIN INLET SHOW CONNECTION WITH ACCESSORIES. 12. ALL TEES, VALVES AND FITTINGS TO INCLUDE RESTRAINT IN THE FORM OF MEGA-LUG RETAINER GLANDS AND RODS.

COPOLMER POLYPROPYLENE \

MEETS: ASTM-C-478

ASTM-D-4101

ASTM-A-615

AASHTO-M-199

PLASTIC 1/2" GRADE 60 STEEL REINFORCEMENT

SECTION A

AREA OF -

CIRCUMFERENTIAL

STEEL = 0.12 SO.

5" WALL, MIN. -

INVERT TO BE -

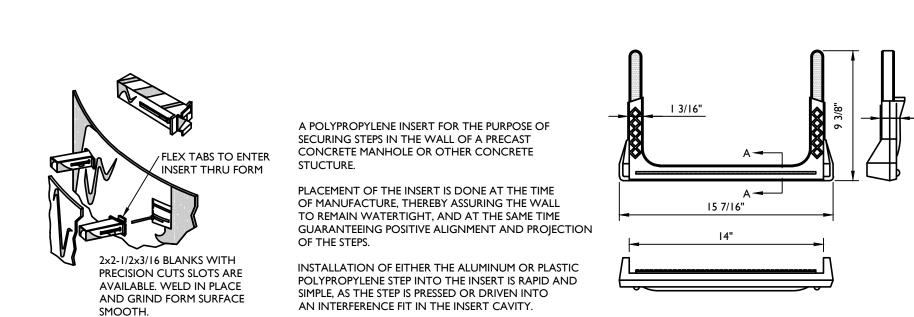
CONCRETE

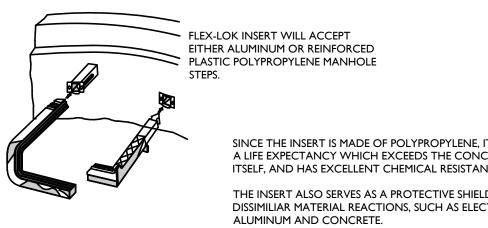
4,000 PSI

FIRE HYDRANT (VALVE IN PAVEMENT) DETAIL

VALVE BACK TO TEE IN MAIN.

" ON CENTER GALVANIZED STEEL RODS W/ 1ALLEABLE IRON NUTS AT 180° SPACING TO ROD





PRODUCTS OR APPROVED EQUAL.

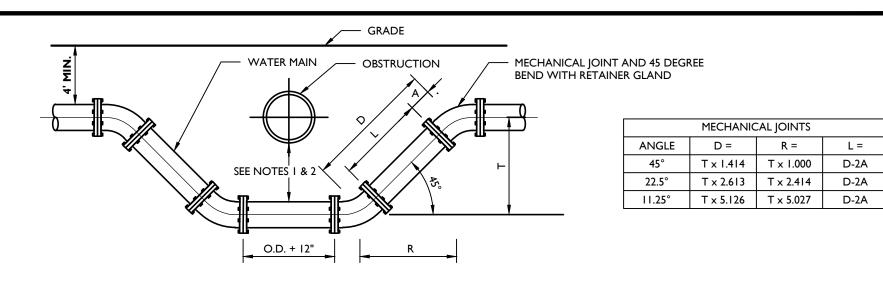
NOT TO SCALE

SINCE THE INSERT IS MADE OF POLYPROPYLENE, IT HAS A LIFE EXPECTANCY WHICH EXCEEDS THE CONCRETE ITSELF, AND HAS EXCELLENT CHEMICAL RESISTANCE. THE INSERT ALSO SERVES AS A PROTECTIVE SHIELD AGAINST DISSIMILIAR MATERIAL REACTIONS, SUCH AS ELECTROLYSIS OF THE INSERT MEETS REQUIREMENTS OF A.S.T.M. C-478 SECTION 12 AND PERFORMANCE TEST PROCEDURES OF A.S.T.M. C-497.

STEP INSERTS TO BE AS MANUFACTURED BY A-LOK

LADDER RUNG (COPOLYMER) DETAIL

MCNY-UTIL-SSWR-1500



WATER MAIN MAY CROSS ABOVE OBSTRUCTION IF 4.5' MINIMUM COVER IS MAINTAINED ABOVE THE WATER MAIN AND FINISH GRADE.

MINIMUM VERTICAL SEPARATION BETWEEN SANITARY OR STORM SEWER TO WATER MAIN SHALL BE 18" IF THE HORIZONTAL SEPARATION IS LESS THAN 10'. BETWEEN WATER MAIN AND OTHER UTILITIES. THE MINIMUM VERTICAL SEPARATION SHALL BE 12"

WATER MAIN SHALL BE SIZE AND MATERIAL SPECIFIED ON THE PLAN, WITH MECHANICAL JOINT OR PUSH-ON AND ALL FITTINGS BE CAST IRON MECHANICALLY JOINT. OFFSETS MAY BE SUBSTITUTED FOR A "T" OF UP TO 24" IF APPROVED BY THE ENGINEER.

CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS OR OTHER POINTS OF PIPE DIRECTION CHANGE. 6. TIE RODS SHALL BE UTILIZED TO RESTRAIN PIPE JOINTS IF THRUST BLOCK IS NOT USED. DETAILS OF THE TIE ROD ASSEMBLY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. TIE RODS SHALL BE SUFFICIENT TO RESTRAIN THE THRUST DEVELOPED AT 100 PSI WORKING PRESSURE. MEGALUG RESTRAINT ALSO ACCEPTABLE IN PLACE OF TIE

WATER CROSSING UNDER UTILITY DETAIL

33" 60" 97" 64" 71" 44" 136" 84" 112" 90° BENDS 45° BEND 22½° & 11¼° BENDS TEE & PLUG

ALL HORIZONTAL BENDS SHALL HAVE CONCRETE THRUST BLOCKS WITH MINIMUM BEARING AREAS AGAINST UNDISTURBED SOIL AND NO JOINT SHALL BE COVERED WITH TWO FORMS OF RESTRAINTS ARE REQUIRED ON ALL BENDS, OFFSETS, DEAD ENDS AND/ OR TEMPORARY DEAD ENDS FOR FUTURE EXPANSION. HYDRANTS WILL REQUIRE HYDRANTS WILL REQUIRE ADDITIONAL RESTRAINTS IN ACCORDANCE WITH "TYPICAL FIRE HYDRANT ASSEMBLY" DETAIL RESTRAINTS APPROVED FOR USE ARE THRUST BLOCKS, MEGA LUG RETAINER, GLANDS, TIE RODS AND FIELD LOCK GASKET BEARING AREAS ARE BASED UPON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 0.5 TONS PER SQUARE FOOT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS

THRUST BLOCKS SHALL BE POURED DIRECTLY AGAINST TRENCH WALLS AND SHALL BE 4,000 PSI CONCRETE (3,000 PSI MIN. PER TOWN OF WALLKILL STANDARDS) DETAILS FOR SUPPORTS AND BRACING FOR VERTICAL BENDS FOR 12" DIAMETER OR LARGER SHALL BE APPROVED BY THE AUTHORITY PRIOR TO CONSTRUCTION

THRUST BLOCKS DETAIL

- VALVE BOX (SEE PLAN FOR LOCATION) CONCRETE CURB (WHERE APPLICABLE) -FINISHED ROAD SERVICE - CURB BOX PER LOCAL REQUIREMENT CURB STOP **CORPORATION STOP** I" TYPE K - SOLID CONCRETE BLOCK COPPER TUBING SERVICE LINE COPPER TAIL PIECE (MIN.) SEE PLAN SIZE OF SERVICE **FOR SIZE** WATER MAIN GOOSE NECK BEND CURB BOX AT END OF R.O.W. **MUELLER BRONZE SERVICE SADDLE** FOR PVC: MUELLER # H-13000

CORPORATION STOPS FOR THREE-FOURTHS-INCH AND ONE-INCH SERVICE LINES SHALL BE MULLER H-1500B CONDUCTIVE COMPRESSION. CORPORATION STOPS FOR 1-1/2 AND 2.0" SERVICE LINES SHALL BE MULLER H-15013 CONDUCTIVE COMPRESSION, CORPORATION STOPS SHALL BE IN ACCORDANCE WITH AWWA CB00, LATEST REVISION. CURB STOPS FOR 3" - 2.0" SHALL BE MULLER H-15219N CONDUCTIVE COMPRESSION, WITH DRAIN, CURB STOPS SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE, CURB STOPS SHALL BE IN ACCORDANCE WITH AWWA C800, LATEST REVISION.

UNDERGROUND SERVICE LINES FOR SIZES $\frac{3}{4}$ "-2.0" SHALL BE TYPE K COPPER, SUPPLIED IN CONFORMANCE WITH ASTM 888, IN ACCORDANCE WITH AWWA C800, LATEST 4. SERVICE CONNECTIONS OR WATER MAIN EXTENSION CONNECTIONS OF $\frac{3}{4}$ OR LARGER SHALL BE MADE BY A MULLER STAINLESS STEEL MECHANICAL JOINT TAPPING SERVICE, MODEL H304 AND VALVE, MODEL A2361, ALL HARDWARE INCLUDING, BUT NOT LIMITED TO NUTS, BOLTS, ECT., SHALL BE STAINLESS STEEL.

HOUSE WATER SERVICE CONNECTION DETAIL

MANHOLE FRAME AND COVER

AS SPECIFIED - SEE DETAIL

FRAME TO BE THOROUGHLY

BEDDED IN MORTAR

MANHOLE STEPS

MORTARED ON

SURFACES

INSIDE & OUTSIDE

2 COATS BITUMASIC

8 MIL/COAT

- CONCRETE & ROUND RUBBER

GASKET IOINT IN ACCORDANCE

WITH ASTM DESIGNATION C-443

12" O.C.

FOR DIP: MUELLER # BR2B

Justin Eric Dates YORK REGISTERED LANDSCAPE ARCHITECT LICENSE NUMBER: 001964-01 COLLIERS ENGINEERING & DESIGN CT, P.C.

Colliers

Engineering

& Design

www.colliersengineering.com

m the services were contracted or to whom it is certified. This drawing may

e copied, reused, disclosed, distributed or relied upon for any other pure

without the express written consent of Colliers Engineering & Design.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS

VISIT: WWW CALL811 COM

CAVATORS, DESIGNERS, OR ANY PERSO

PREPARING TO DISTURB THE EARTH

SURFACE ANYWHERE IN ANY STATE

PRELIMINARY SITE PLAN

89 ROUTE 17K LLC

TOWN OF WALLKILI **ORANGE COUNTY**

	<u>PLAN</u>			New Wi		
		_	Engineering & Design		Phone: 845.5 COLLIERS ENGINEERIN ARCHITECTURE, LANDSCAF SURVEYING CT	
NO	DTES:					
1.	PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH ASTM C-478, 4,000 PSI CONCRETE.	SCALE:	DATE:		DRAWN BY:	1
2.	FLEXIBLE RUBBER BOOT SHALL BE USED FOR CONNECTION OF PVC PIPE TO	AS SHOWN	12/23/20		TPS	

IANHOLE. LINK SEAL OR APPROVED EQUAL PRECAST CHANNELS SHALL NOT BE USED FOR BENDS GREATER THAN 45° POURED CONCRETE LONG RADIUS CHANNELS SHALL BE CONSTRUCTED.

4. MANHOLE TO BE CAPABLE OF H20 LOADING.

- 3/4" CRUSHED STONE

SANITARY PRECAST MANHOLE DETAIL

C - 902

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

└─ 4" MIN.

SECTION A-A

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

S.B.L. 1-1-58.12

NEW YORK STATE

5 Hudson Valley Avenue **Colliers** or, NY 12553 5.564.4495

NEWBURGH

OIECT NUMBER: 21007819A

CONSTRUCTION DETAILS

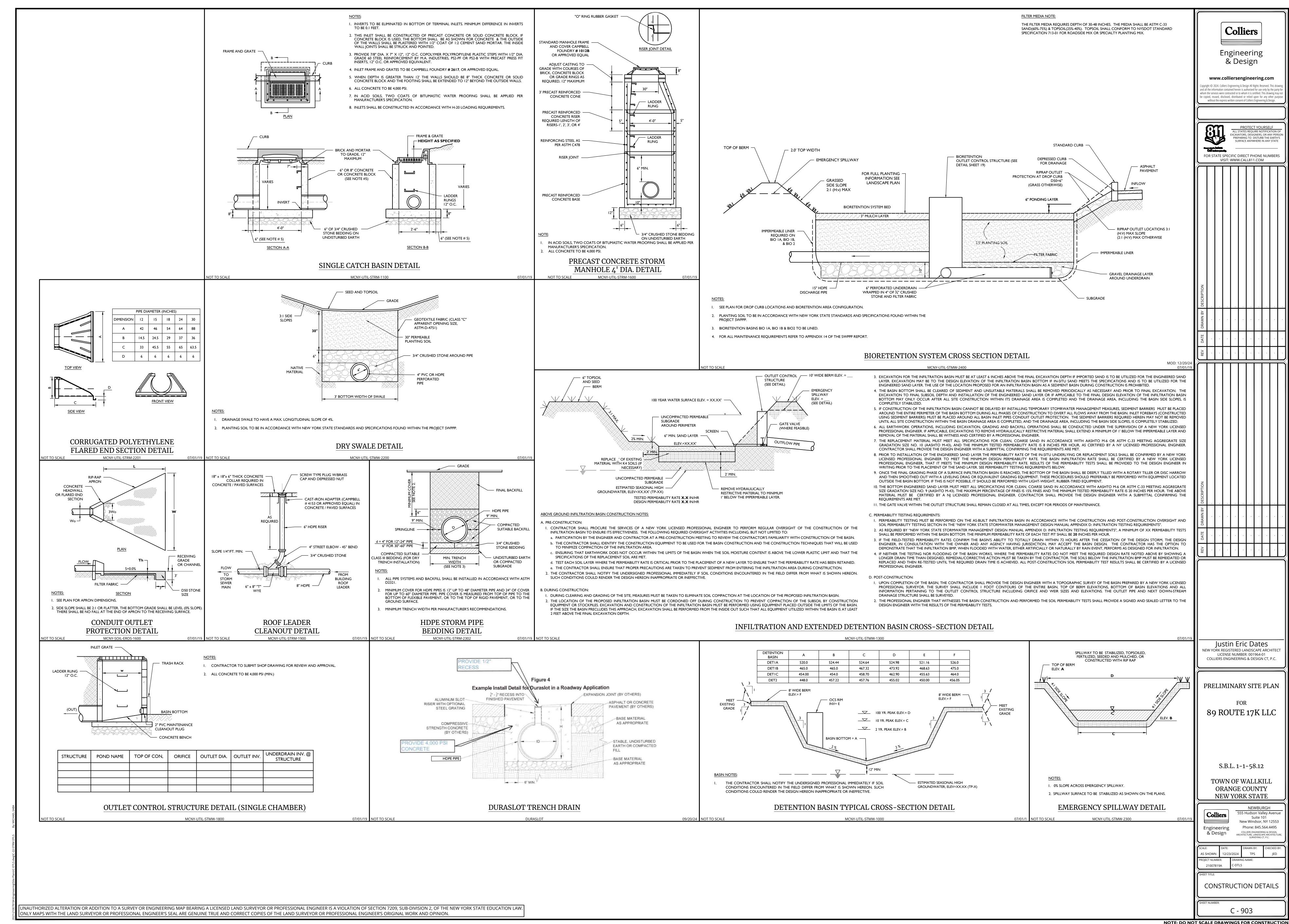
MANHOLE FRAME AND COVER ABOVE

RADIUS TO BE MAXIMUM POSSIBLE

PIPE IN AND OUT OF MANHOLE TO

BE CRADLED IN NIDOT CLASS "B" CONCRETE OR BEDDED IN STONE

AS ORDERED BY ENGINEER



GENERAL PLANTING NOTES I. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE **Colliers** PRUNE FOR VIGOR, MAINTAIN LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. PRUNE FOR VIGOR, MAINTAIN NATURAL GROWTH HABIT; NEVER NATURAL GROWTH HABIT; NEVER CUT CENTRAL LEADER OR TRUNK. 2. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION. CUT CENTRAL LEADER OR TRUNK. 3. ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL RUBBER GUARD TO PREVENT Engineering BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RUBBER GUARD TO PREVENT BARK DAMAGE APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION BARK DAMAGE & Design --- PLASTIC CHAIN PLASTIC CHAIN 4. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT. WRITTEN PROOF OF PLANT MATERIAL 2" DIA. HARDWOOD STAKES ²/₃ 2" DIA. HARDWOOD STAKES ²/₃ TREE HEIGHT. 2 PER TREE LOCATED ALL-WEATHER PLASTIC, SPIRAL TREE GUARD TREE HEIGHT. 2 PER TREE LOCATED W/HOLES TO BE APPLIED FROM BASE OF TRUCK OUTSIDE OF PLANTING PIT. BOTH TREE 5. THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD www.colliersengineering.com **OUTSIDE OF PLANTING PIT. BOTH TREE** TO FIRST BRANCH. STAKES TO BE REMOVED AFTER ONE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. STAKES TO BE REMOVED AFTER ONE 6. ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE, ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE m the services were contracted or to whom it is certified. This drawing may EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES - REMOVE ALL ROPE FROM TRUNK AND e copied, reused, disclosed, distributed or relied upon for any other pure - 3" SHREDDED HARDWOOD BARK REMOVE ALL ROPE FROM TRUNK AND without the express written consent of Colliers Engineering & Design. TOP OF ROOT BALL. FOLD BURLAP TOP OF ROOT BALL, FOLD BURLAP MULCH (LICORICE COLOR) BACK $\frac{1}{3}$ FROM TOP OF ROOT BALL. 7. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR. BACK I FROM TOP OF ROOT BALL. 6" SAUCER RIM - 4" SHREDDED HARDWOOD BARK MULCH. 3" SHREDDED HARDWOOD BARK MULCH. FINISHED GRADE 8. ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. CUT AND REMOVE JUTE BURLAP FROM TOP MULCH NOT TO CONTACT ROOT FLARE MULCH NOT TO CONTACT ROOT FLARE ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING THE PLANT PIT. — 6" SAUCER RIM REMOVE ALL ROPE FROM TRUNK & TOP OF 9. BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL ROOT BALL. FOLD BURLAP BACK 1/3 FROM ALL STATES REQUIRE NOTIFICATION OF CAVATORS, DESIGNERS, OR ANY PERSO LEADER OF TREE SHALL NOT BE PRUNED. + TOPSOIL TOP OF ROOT BALL. WIRE BASKET TO BE REMOVED. WIRE BASKET TO BE REMOVED. PREPARING TO DISTURB THE EARTH 10. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING SURFACE ANYWHERE IN ANY STATE PREPARED BACKFILL MIX; SEE GENERAL PLANTING - PREPARED BACKFILL MIX; SEE GENERAL PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE CI. SOAK BACKFILL PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE OR UNTIL FREE DRAINING. NOTE No. 10 PLANTING NOTE CI. SOAK BACKFILL AFTER PLANTING. - IF PLANT IS SHIPPED WITH A WIRE BASKET REMOVE 11. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY. FOR STATE SPECIFIC DIRECT PHONE NUMBERS - PLACE ROOT BALL ON UNEXCAVATED PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. VISIT: WWW CALL811 COM - PLACE ROOT BALL ON UNEXCAVATED OR OR TAMPED SOIL. 12. OPTIMUM PLANTING TIME: DECIDUOUS - APRIL I TO JUNE I & OCTOBER 15 TO NOVEMBER 30. CONIFEROUS - APRIL I TO JUNE I & SEPTEMBER I TO NOVEMBER I. PLANTING OUTSIDE OF THE OPTIMUM DATES SHALL NOT BE CONDUCTED WITH OUT PRIOR APPROVAL FROM THE LANDSCAPE CONSULTANT. **VARIES** TAMPED SOIL 13. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS. WATERING AMOUNTS SHOULD BE ADJUSTED AS RAIN EVENTS OCCUR. WATERING AFTER THE INITIAL 4 WEEKS SHALL BE ADJUSTED BASED ON SEASONAL CONDITIONS. WATERING SHALL NOT TAKE PLACE DURING THE HOTTEST POINT OF THE DAY. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY. 14. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEARS AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, MULTI-STEM TREE PLANTING DETAIL AND REPLACED BY A TREE OF SIMILAR SIZE AND SPECIES AT NO EXPENSE TO THE OWNER. 15. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED TREE PLANTING DETAIL **EVERGREEN TREE PLANTING DETAIL** AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5. 16. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH SEED AS INDICATED ON THE LANDSCAPE PLANS. TEMPORARY SEEDING SHALL BE IN ACCORDANCE WITH THE GENERAL SEEDING NOTES ON THIS SHEET. ALL 07/01/19 NOT TO SCALE DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION. 17. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH. PROPOSED POSTS AND TYPICAL SPACING, SPACING DISTANCE AS VERTICAL CLEAT 18. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS. SHOWN ON PLAN OR SPECIFIED IN PLANT ATTACHMENTS FOR SCHEDULE. PROPOSED WALL 19. ALL PLANTING DEBRIS (WIRE, TWINE, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE PANELS WITH ACCEPTED PLANTING PRACTICES. - PLANT ROW **PANELS** 0.2% COMMON MILKWEED (ASCLEPIAS SYRIACA) GENERAL SEEDING NOTES 0.2% WRINKLELEAF GOLDENROD (SOLIDAGO RUGOSA) PLANT CENTER 0.1% CALICA ASTER (ASTER LATERIFLORUS) - 0.1% HEATH ASTER (ASTER PILLOSUS) TEMPORARY SEEDING: REFER TO SOIL EROSION AND SEDIMENT CONTROL TOTAL: 100% PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. OPTIMUM SEEDING DATES ARE BETWEEN APRIL I AND MAY 31: AND AUGUST 16 AND OCTOBER 15. SEEDING OUTSIDE OF THE OPTIMUM DATES SHALL NOT BE CONDUCTED WITH OUT PRIOR APPROVAL SEEDING RATE: 20-40 LBS PER ACRE, OR 0.5 LB/I,000 SQ. FT. WITH A COVER CROP. FOR A COVER CROP USE ONE OF THE FOLLOWING :GRAIN RYE (I SEP TO 30 APR; PLANTING MEDIUM 30 LBS/ACRE), JAPANESE MILLET (I MAY TO 31 AUG; 10 LBS/ACRE), OR BARNYARD GRASS (I MAY TO 31 AUG; 10 LBS/ACRE). -TALL FESCUE, 'STINGRAY' (34%) -TALL FESCUE, RAPTOR III (33% -HARD FESCUE, 'RIDU' (33%) PROPOSED 20% DEERTONGUE (PANICUM CLANDESTINUM, TIOGA) SEEDING RATE: 7-10 LBS./1,000 S.F. MIN I. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY. 20% ALKALIGRASS, FULTS (PUCCINELLIA DISTANS, FULTS) GRADE 18% VIRGINIA WILDRYE, MADISON-NY ECOTYPE (ELYMUS VIRGINICUS) 15% CREEPING BENTGRASS, 'PENNCROSS' (AGROSTIS STOLONIFERA) (NEW ENGLAND WETLAND PLANTS, INC. - NEW ENGLAND WETMIX, OR 15% FOWL BLUEGRASS (POA PALUSTRIS) APPROVED EQUAL) PERENNIAL PLANTING DETAIL 10% FOX SEDGE, PA ECÔTYPE (CAREX VULPINOIDEA) 1% BLUNT BROOM SEDGE, PA ECOTYPE (CAREX SCOPARIA) 1% SOFT RUSH (JUNCUS EFFUSUS) FOX SEDGE, (CAREX VULPINIODEA) BLUNT BROOM SEDGE (CAREX SCOPARIA) LURID SEDGE (CAREX LURIDA) PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS HOP SEDGE (CAREX LUPULINA) AT THE RATE GIVEN ABOVE. EOVA/L DILLECTRACE (DOA DA PLANT DETAIL NOTES BEGGAR TICKS (BIDENS FRONDOSA) 3. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT PRUNE FOR VIGOR, MAINTAIN **GREEN BULRUSH (SCIRPUS ATROVIRENS)** VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC NATURAL GROWTH HABIT; NEVER COMMON MILKWEED (ASCLEPIAS SYRIACA) REGULATIONS. THIS INCLUDES, BUT LIMITED TO: NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. MULCH SHALL NOT CUT CENTRAL LEADER OR TRUNK. FRINGED SEDGE (CAREX CRINITA) BOTTOM PANEL MINIMUM I. NO FERTILIZER SHALL BE APPLIED BETWEEN DEC. I AND APRIL I IN ANY TOUCH THE TREE TRUNK. NEW YORK IRONWEED (VERNONIA NOVEBORACENSIS) REMOVE ALL ROPE FROM TRUNK AND EMBEDMENT PER SOFT RUSH (JUNCUS EFFUSUS) TOP OF ROOT BALL. FOLD BURLAP 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY. 2. SHALL NOT BE APPLIED WITHIN 20 FEET OF A WATER BODY. STARVED/CALICO ASTER (ASTER LATERIFLORUS) BACK 1 FROM TOP OF ROOT BALL. MANUFACTURER'S SPECIFICATION 3. ONLY LAWN FERTILIZER WITH LESS THAN 0.67% BY WEIGHT BLUE FLAG (IRIS VERSICOLOR) WIRE BASKETS AND NON-JUTE BURLAP MUST BE ENTIRELY REMOVED FROM THE ROOT BALL. JUTE PHOSPHATE CONTENT MAY BE APPLIED. 3" SHREDDED HARDWOOD BARK AMERICAN MANNAGRASS (GLYCERIA GRANDIS) BURLAP MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL. (A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.) SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS) SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM) 4. DEPTH OF PLANT PIT SHALL BE INCREASED BY 12" WHEREVER POOR SOIL CONDITIONS OCCUR, – 6" SAUCER RIM 4. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN WITH THE ADDITION OF LOOSE AGGREGATE. SEEDING RATE: 18 LBS PER ACRE. SOLID VISUAL/SOUND WALL NOTES TOPSOIL CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH WIRE BASKET TO BE REMOVED. NATIVE STEEP SLOPE MIX WITH GRAIN OATS (ERNMX# ERNMX-181-1 BY ERNST SEEDS OR APPROVED EQUAL) AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. 5. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED PREPARED BACKFILL MIX; SEE GENERAL IF PIT DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. PLANTING NOTE CI. SOAK BACKFILL I. MATERIALS AND INSTALLATION FOR POSTS, VERTICAL CLEATS, AND WALL PANELS SHALL ALL BE IN ACCORDANCE WITH MULCH WILL BE SPREAD AT RATES PER NYSDEC STANDARDS AND SEEDING RATE: 75 LBS PER ACRE. AFTER PLANTING. THE SPECIFICATIONS FOR "PLYWALL SOUND BARRIER WALL", BY HOOVER TREATED PRODUCTS, OR APPROVED EQUAL. ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH - PLACE ROOT BALL ON UNEXCAVATED . PLANTING MUST BE GUARANTEED FOR TWO FULL GROWING SEASONS FROM THE TIME OF FINAL BINDER, AND SHALL BE PROVIDED ON ALL SEEDLINGS. HYDROMULCH SPECIES LIST: OR TAMPED SOIL. ACCEPTANCE BY THE LANDSCAPE CONSULTANT. CONTRACTOR SHALL REMOVE ALL WRAPPING A SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS. 2. POSTS SHALL BE REQUIRED SIZE AND EMBEDDED TO REQUIRED DEPTH PER MANUFACTURER SPECIFICATIONS. THE END OF GUARANTEE PERIOD OR SOONER PER PROJECT LANDSCAPE ARCHITECT. 40.0% OATS. (AVENA SATIVA) 6. AS NEEDED, WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS 20.8% INDIANGRASS, PA ECOTYPE (SORGHASTRUM NUTANS, PA ECOTYPE) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. 3. THE WALL WILL BE PAINTED DURANGO RGB 99-92-76 BY BENJAMIN MOORE TO BLEND INTO THE SURROUNDING, AND BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH 11.2% BIG BLUESTEM, 'NIAGARA' (ANDROPOGON GERARDII, 'NIAGRA) PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY. HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR COMPLIMENT THE PROPOSED BUILDING AS WELL AS SURROUNDINGS . THE COLOR WILL BE COORDINATED WITH THE 8.0% CANADA WILDRYE (ELYMUS CANADENSIS) DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. 5.6% VIRGINIA WILDRYE, MADISON-NY ECOTYPE (ELYMUS VIRGINICUS) PLANNING BOARD PRIOR TO FINAL APPROVAL B. PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE, NEVER CUT CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS 3.2% AUTUMN BENTGRASS (AGROSTIS PERENNANS) PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE 3.1% SWITCHGRASS (PANICUM VIRGATUM) ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE. 2.4% DEERTONGUE (OANICUM CLANDESTINUM) 1.2% PURPLE CONEFLOWER (ECHINACEA PURPUREA) 8' HIGH NOISE REDUCING FENCING / SOUND WALL DETAIL SHRUB PLANTING DETAIL REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY 1.1% PARTRIDGE PEA (CHAMAECRISTA FASCICULATÁ) DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE 0.9% OXEYE SUNFLOWER (HELIOPSIS HELIANTHOIDES) ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE 0.8% LANCELEAF COREOPSIS (COREOPSIS) 0.8% BLACKEYED SUSAN (RUDBECKIA HIRTA) 0.3% WILD BERGAMOT (MONARDA FISTULOSA) 8. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE. - LINE POST CAP - FABRIC FLUSH WITH **GALVANIZED STEEL** UPPER RAIL 4' HIGH FENCE -POST CAP - 8" MIN. LOW PERMEABLE SOIL (SEE NOTE 4) PROPOSED SWALE BEHIND WALL TYPICAL CAP UNIT - 1 7/8" O.D. WELCOME TO THE CORNER/END TYPICAL WALL UNIT I-5/8" O.D. LINE POST TOWN OF WALLKILL APPROXIMATE -UNIT DRAINAGE FIL SIGNAGE LIMITS OF (3/4" CRUSHED ROCK **EXCAVATION** OR STONE) (DESIGN TO BE REVIEWED BY TOWN) Justin Eric Dates - BLACK VINYL-COATED REINFORCED SOIL NEW YORK REGISTERED LANDSCAPE ARCHITECT — GRADE STEEL MESH GREATER THAN 4 FT. LICENSE NUMBER: 001964-01 (RETAINED SOIL COLLIERS ENGINEERING & DESIGN CT, P.C. FINISHED GRADE BOTTOM RAIL: 4" PERFORATED PVC I-5/8" O.D. TENSION BAR: -DRAINAGE TILE I"x1/8" WITH 1/4" GALV. STEEL CARRIAGE BOLT SELVAGE PRELIMINARY SITE PLAN TENSION -BAR: 1/4"x3/4" UNREINFORCED CONCRETE OR 10'-0" MAX. SPACING - DECORATIVE NATURAL CRUSHED STONE LEVELING PAD 6" MIN. NOTES: **CONCRETE FOOTIN** 89 ROUTE 17K LLC I. THIS DETAIL IS A SCHEMATIC REPRESENTATION FOR MUNICIPAL AND/OR AGENCY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION. CONTRACTOR TO PROVIDE SITE-SPECIFIC SHOP DRAWINGS AND STRUCTURAL DESIGN CALCULATIONS FOR EACH RETAINING WALL PREPARED BY A CONCRETE FOOTING — STATE LICENSED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. 3,000 PSI (MIN.) 3. MODULAR CONCRETE BLOCK WALL TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 4. A SAFETY BARRIER (FENCING) IS REQUIRED ON ALL WALLS WHERE THE WALL HEIGHT EXCEEDS 30". PLACEMENT AND INSTALLATION METHOD OF THE PROPOSED FENCING TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. WIRE MESH SHALL BE I" MESH, II GAUGE POWDER COATED STEEL CHAIN LINK FABRIC, WITH KNUCKLED SELVAGE (KK) ON BOTH TOP AND BOTTOM. FENCE FRAMEWORK RAIL AND POST SHALL BE ASTM GROUP IA, HOT DIP GALVANIZED STEEL PIPE, 16 GAUGE, CLASS I ZINC COATED, REGULAR STRENGTH GRADE ASTM 1083, 30,000 PSI YIELD STEEL SCHEDULE 40 ROUND PIPE S.B.L. 1-1-58.12 BAR LENGTH AND POST HEIGHT ABOVE GRADE PER FENCE HEIGHT AND MANUFACTURER'S SPECIFICATIONS. 4. COLOR OF THE WIRE MESH TO BE BLACK UNLESS OTHERWISE SPECIFIED ON THE PLANS. DECORATIVE STONE WALL & TOWN OF WALLKILI TYPICAL REINFORCED WALL SECTION TOWN OF WALLKILL END AND CORNER POST TOP SHALL BE DOME SHAPE. SIGN DETAIL (NEAR VERTICAL SETBACK) DETAIL ORANGE COUNTY 6. FOOTING WIDTH TO BE (4) X POST WIDTH, MINIMUM DEPTH 3'-6", 3,000 PSI (MIN.) CONCRETE OR AS PER MANUFACTURER'S RECOMMENDATIONS FOR INSTALLING ABOVE THE NOT TO SCALE OT TO SCALE NEW YORK STATE 4' HIGH CHAIN LINK FENCE DETAIL NEWBURGH 55 Hudson Valley Avenue MCCM-SITE-FNCE-1201 New Windsor, NY 12553 Phone: 845.564.4495 & Design

CONSTRUCTION DETAILS