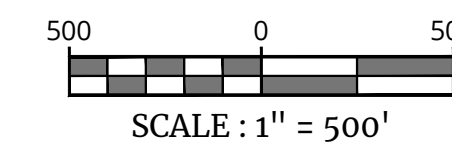


LOCATION MAP
SCALE: 1" = 100'
TOWN OF WALLKILL, NY ZONING MAP

PRELIMINARY SITE PLANS FOR 89 ROUTE 17K LLC PROPOSED WAREHOUSE DEVELOPMENT SECTION 1, BLOCK 1, LOT 58.12 TOWN OF WALLKILL ORANGE COUNTY, NEW YORK STATE



PROJECT SITE
SOURCE: NEW YORK STATE CLEARING HOUSE



INDEX OF SHEETS

SHT. No.	DESCRIPTION
C - 100	COVER SHEET
C - 200	EXISTING CONDITIONS & DEMOLITION PLAN
C - 300	OVERALL SITE PLAN
C - 301-303	DIMENSION PLAN
C - 401-403	GRADING AND SOIL EROSION & SEDIMENT PLAN
C - 501-503	UTILITY PLANS
C - 601-603	SOIL EROSION & SEDIMENT CONTROL DETAILS
C - 701-702	LANDSCAPE PLAN
C - 801-802	LIGHTING PLAN
C - 901-904	CONSTRUCTION DETAILS

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

GENERAL INFORMATION

- THE SUBJECT PROPERTY IS KNOWN AS SECTION 1, BLOCK 1, LOT 58.12 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF WALLKILL, ORANGE COUNTY, DATED MARCH 1, 2003, LAST REVISED OCTOBER 1, 2018.
- THE PROPERTY IS LOCATED IN THE LIGHT ENTERPRISE (ENT-L) ZONING DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 83,059.654 SQ. FT. (1.9024 ACRES).
- OWNER: QUICKWAY ENTERPRISES INC.
PO BOX 311
BLOOMINGBURG, NY 12721
- APPLICANT: 89 ROUTE 17K LLC
21 PHILIPS PKWY
MONTVAILLE, NJ 07645
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTAIRPS LAND TITLE SURVEY OF LANDS TO BE CONVEYED TO REAL ESTATE MANAGEMENT INC. DBA RDM GROUP, PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP, DATED JANUARY 17, 2022.
- THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON JULY 18, 2020 AND A PRECONSTRUCTION NOTIFICATION APPLICATION TO THE ARMY CORPS OF ENGINEERS TO VERIFY SAME IS PENDING.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 3001 COME FOR THE MUNICIPALITY OF WALLKILL, ORANGE COUNTY, COUNTY NEW YORK, STATE, DATED AUGUST 3, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "READY FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.
- INFORMATION HEREON INCORPORATES THE CONTENT IN THE FOLLOWING REPORTS:
A. "STORMWATER POLLUTION PREVENTION PLAN (SWPPP)" PREPARED FOR 89 ROUTE 17K LLC PREPARED BY COLLIER ENGINEERING & DESIGN, DATED DECEMBER 2024.
B. "TRAFFIC IMPACT STUDY" PREPARED FOR 89 ROUTE 17K LLC AND PREPARED BY COLLIER ENGINEERING & DESIGN, DATED JULY 2022.
C. "GEO-TECHNICAL DATA REPORT" PREPARED FOR RDM GROUP AND PREPARED BY COLLIER ENGINEERING & DESIGN, DATED DECEMBER 6, 2024.

SITE NOTES

- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAP ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN OUTSIDE ROLL-OFF DUMPSTERS AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2018, AS SUPPLEMENTED.
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

UTILITY NOTES

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING DEPTHS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS N-12, HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WATER SERVICE SHALL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS TO BE INSTALLED ON EACH BUILDING LOT, SUBJECT TO THE APPLICABLE REGULATIONS AND THE APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY AN ON-SITE PRIVATE TREATMENT PLANT WITH A SURFACE OR SUBSURFACE DISCHARGE.
- ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN ENCASED IN CONCRETE OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF HEALTH.
- AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT. IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE WATER LINE SHALL BE ENCASED IN CONCRETE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

Colliers

Engineering & Design

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PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, OPERATORS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE AND/OR BELOW-GROUND UTILITIES.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SITE NO. DESCRIPTION

DRAWN BY DATE

REV DESCRIPTION

DRAWN BY DATE

REV DESCRIPTION

Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN
FOR
89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL
ORANGE COUNTY
NEW YORK STATE

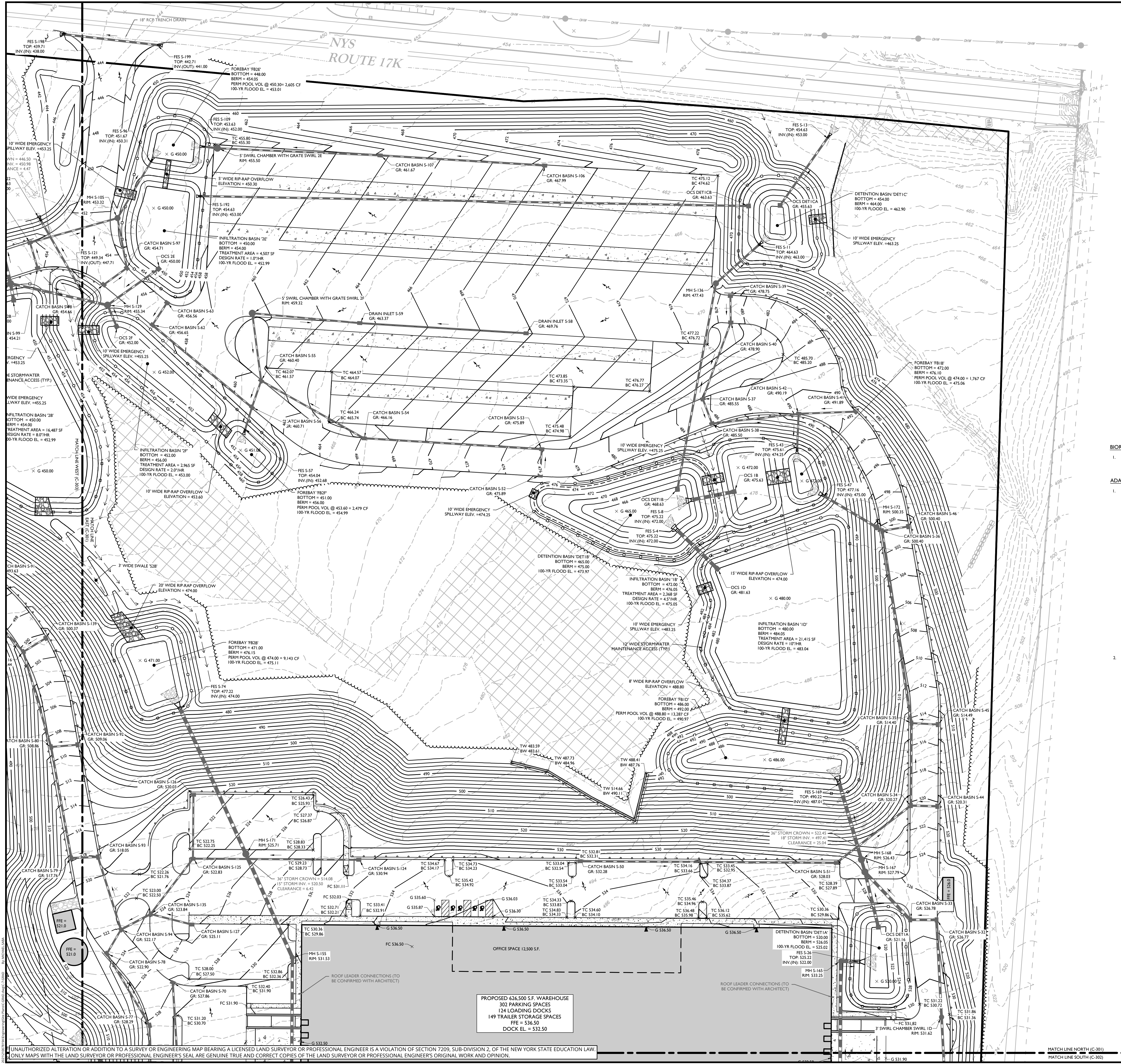
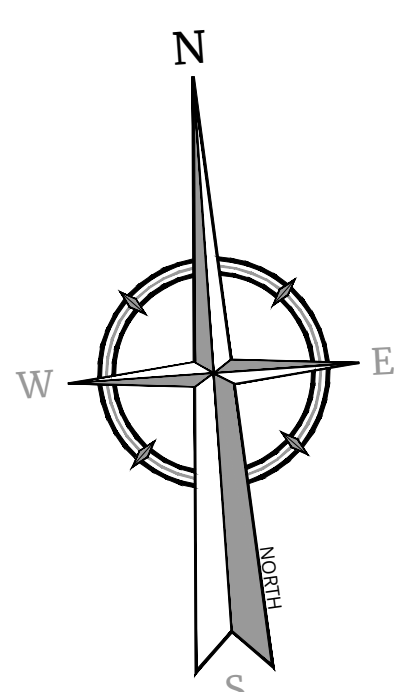
NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURAL, LANDSCAPE ARCHITECTURE,
SURVEYING, C.T.P.C.

SCALE: AS SHOWN 12/23/2024 TPS JED
PROJECT NUMBER: 21007819A DRAWING NAME: C-CVDR

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C - 100

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



EARTHWORK	
CUT	601,800 CY
FILL	656,628 CY
APPROXIMATE IMPERVIOUS AREA VOLUME	57,329 CY
NET CUT/FILL	2,501 CY FILL NEEDED

NOTES:

1. EARTHWORK CALCULATIONS PROVIDED ARE PRELIMINARY FOR ESTIMATING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING FINAL EARTHWORK VOLUMES PRIOR TO BID AND CONSTRUCTION. PRELIMINARY ESTIMATES ACCOUNT FOR SURFACE TO SURFACE VOLUMES WITH AN ESTIMATE FOR PAVEMENT AND SUBBASE DIPPING AND EXPANSION FACTORS. TOPSOIL OR UTILITY TRENCHWALL BACKFILL VOLUMES ARE INCLUDED IN THIS ESTIMATE.

GRADING NOTES:

- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GRADE ELEVATIONS.
- PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION.
- BORING LOCATIONS REFERENCED FROM GEOTECHNICAL DATA REPORT DATE 1/20/2021.
- REFERENCE TRAFFIC IMPROVEMENT PLANS FOR DRIVEWAY LOCATION GRADING.

BIORETENTION BASIN NOTES:

- BIORETENTION BASINS "2A" & "2C" ARE LOCATED WITHIN THE PROPOSED 200' WELL RADIUS. THESE BASINS SHALL BE LINED WITH AN IMPERVIOUS LINER AS TO NOT ALLOW RUNOFF TO INFILTRATE PRIOR TO TREATMENT, AND DISCHARGE TO A POINT OUTSIDE OF THE 200' RADIUS. SEE BIORETENTION DETAIL FOR EXTENTS OF IMPERVIOUS LINER.

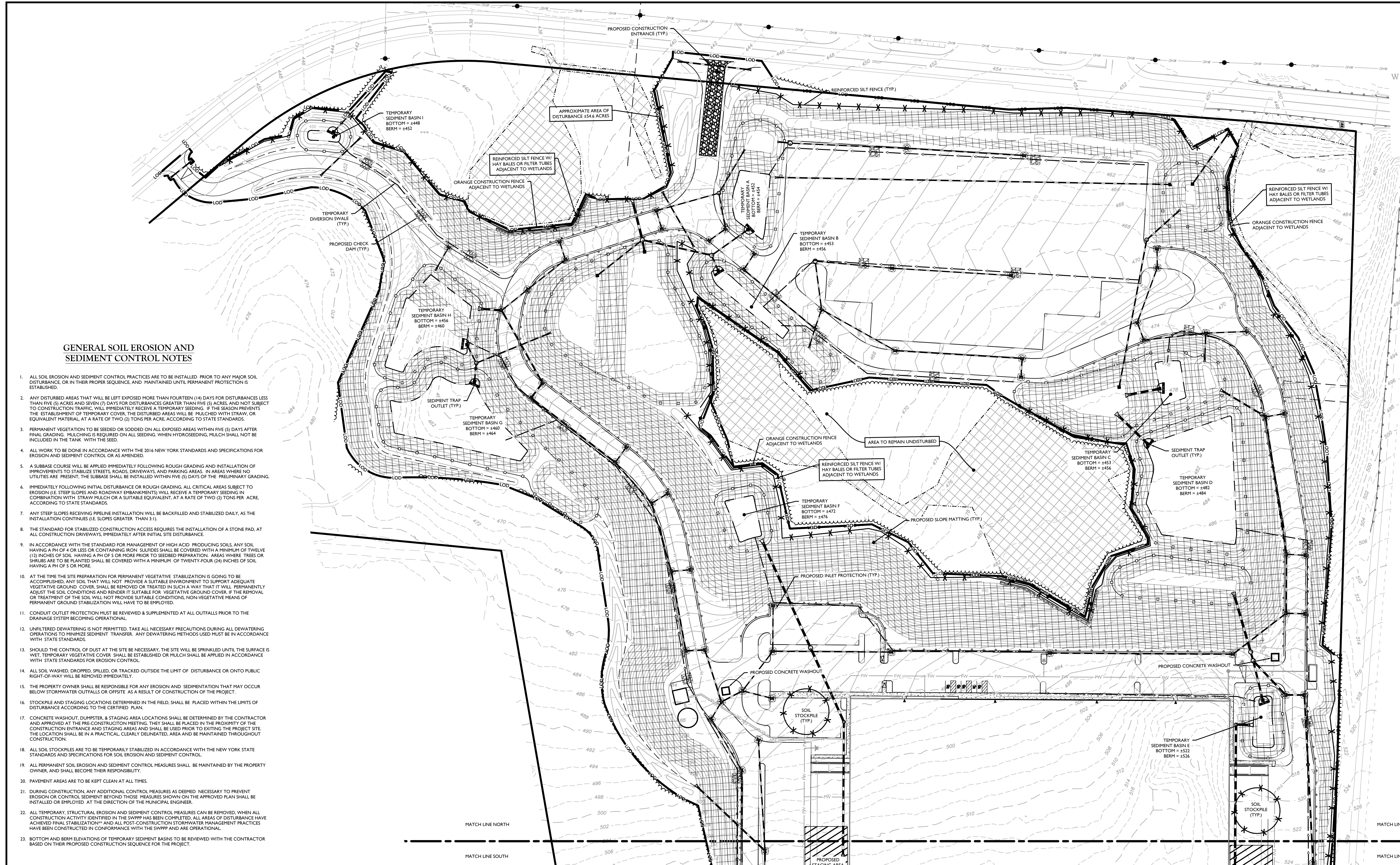
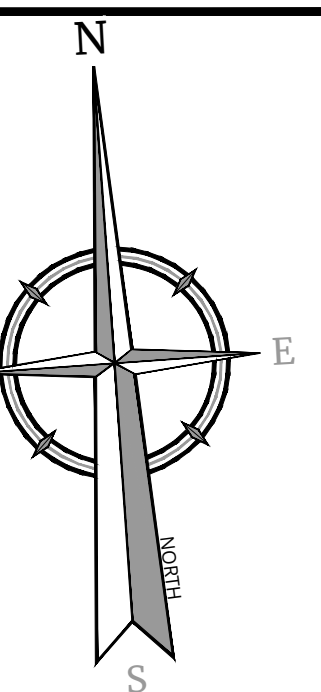
ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
 - CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
 - LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS. SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36" INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. CURB OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH. THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS-SLOPE.
 - WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
 - DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

LEGEND

EXISTING	PROPOSED
1250	1250
1300	1300
1350	1350
1400	1400
1450	1450
1500	1500
1550	1550
1600	1600
1650	1650
1700	1700
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1900	1900
1950	1950
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9900	9900
9950	9950
10000	10000

PROPOSED 624,500 S.F. WAREHOUSE
302 PARKING SPACES
124 LOADING DOCKS
149 TRAILER STORAGE SPACES
DOCK EL. = 532.50



GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE... 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS... 3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING... 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2016 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL... 5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS... 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION... 7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY... 8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD... 9. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS... 10. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED... 11. CONDUIT OUTLET PROTECTION MUST BE REVIEWED & SUPPLEMENTED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL... 12. UNFILTERED DEWATERING IS NOT PERMITTED... 13. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY... 14. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE... 15. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS... 16. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD... 17. CONCRETE WASHOUT, DUMPSTER, & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR... 18. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS... 19. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER... 20. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES... 21. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION... 22. ALL TEMPORARY STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED... 23. BOTTOM AND BERM ELEVATIONS OF TEMPORARY SEDIMENT BASINS TO BE REVIEWED WITH THE CONTRACTOR BASED ON THEIR PROPOSED CONSTRUCTION SEQUENCE FOR THE PROJECT.

CONSTRUCTION SEQUENCE

- PRE-CONSTRUCTION MEETING WITH TOWN REPRESENTATIVES AND CONTRACTOR TO RESOLVE ANY OUTSTANDING QUESTIONS OR CONCERNS PRIOR TO GROUND DISTURBANCE.
• INSTALL CONSTRUCTION ENTRANCE AND ORANGE CONSTRUCTION FENCE FOR WETLAND PROTECTION.
• STAKE LIMITS OF DISTURBANCE AND ORANGE CONSTRUCTION FENCE FOR WETLAND PROTECTION.
• INSTALL PERIMETER SILT FENCING ON DOWNHILL AREAS AS SHOWN ON PLAN.
• INSTALL SEDIMENT PONDS, INSTALL TEMPORARY SWALES TO DIRECT ALL SOIL AREA DISTURBANCE TO SEDIMENT PONDS, AS NECESSARY. LOCATIONS AND SIZE OF THE EROSIONS AND SEDIMENT CONTROL PRACTICES ARE NOTED ON THE PLAN. THESE MAY VARY DEPENDING ON THE CONTRACTOR'S SCHEDULE AND APPROACH BUT 3600 CF OF STORAGE MUST BE PROVIDED AT A MINIMUM PER ACRE OF UPRIGHT DISTURBANCE. SEDIMENT TRAPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS. SEDIMENT TRAPS AND BASINS SHALL BE SIZED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL.
• SEDIMENT POND RESTORATION: WHEN TEMPORARY STRUCTURES HAVE SERVED THEIR INTENDED PURPOSE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, THE EMBANKMENT AND RESULTING SEDIMENT DEPOSITS ARE TO BE LEVELLED OR OTHERWISE DISPOSED OF. SEDIMENT CAN BE DISPOSED OF BY EXPORTING IT OFF SITE FOR DISPOSAL OR BE USED AS FILL IN LAWN AREAS. SEDIMENT POUNDS IN FUTURE OPEN SPACE OR LAWN AREAS MAY BE PUMPED DRY, GRADED, AND BACKFILLED. SEDIMENT PONDS IN PAVED OR STRUCTURAL AREAS MUST HAVE THE BASIN MATERIAL AND TRAPPED SEDIMENTS REMOVED, SAFELY DISPOSED OF, AND BACKFILLED WITH STRUCTURAL FILL. SEDIMENT PONDS IN LOCATIONS OF FUTURE STORMWATER PONDS MUST HAVE THE TRAPPED SEDIMENT REMOVED LEAVING THE BASIN AREA OPEN FOR THE DEVELOPMENT OF THE FINAL STORMWATER POND.
• ROUGH GRADE PROPOSED DRIVEWAY/ROAD.
• DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL. MATERIALS STORED IN STOCKPILES SHALL BE CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
• CONSTRUCT ROADS, DRIVES, BUILDINGS, PARKING AREAS AND INSTALL DRAINAGE SYSTEMS.
• TOPSOIL/HAYSEED LAWN AREAS.
• THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
• FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERSISTENT SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIPRAP OR WASHED/CURBED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
• UPON FINAL STABILIZATION BEING MET, THE CONTRACTOR SHALL CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
• ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

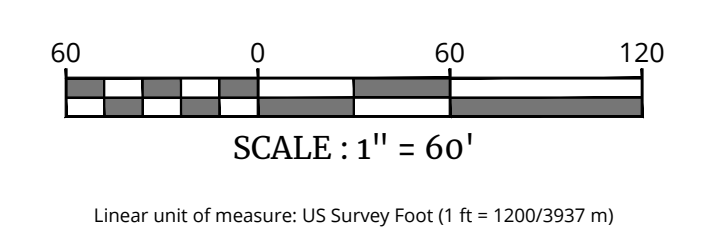
CONSTRUCTION LIMIT OF DISTURBANCE PHASING NOTE

CONTRACTOR TO PREPARE AND SUBMIT FOR REVIEW AND APPROVAL BY THE E.O.R. A PROPOSED CONSTRUCTION PHASING PLAN WHICH LIMITS OPEN SOIL AREA IN EACH PHASE TO A MAXIMUM OF 10 ACRES AT A TIME IN ACCORDANCE WITH CURRENT NYSDEC SPDES PERMIT REQUIREMENTS.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

- LOD — CONSTRUCTION LIMIT LINE
— x — SILT FENCE
— o — SILT SOCK
— — ORANGE CONSTRUCTION FENCE
[Symbol] STORM INLET SEDIMENT TRAP
[Symbol] STABILIZED CONSTRUCTION ENTRANCE
[Symbol] SEDIMENT TRAP OUTLET
— — TEMPORARY SWALE
[Symbol] TEMPORARY SEDIMENT BASIN
[Symbol] MATERIAL STOCKPILE
[Symbol] CHECK DAM
[Symbol] SLOPE MATTING



PRELIMINARY SITE PLAN FOR 89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL ORANGE COUNTY NEW YORK STATE

Colliers Engineering & Design 555 Hudson Valley Avenue Suite 101 New Windsor, NY 12553 Phone: 845.564.4495

SCALE: AS SHOWN DATE: 12/23/2024 DRAWN BY: TPS CHECKED BY: JED PROJECT NUMBER: 21007819A DRAWING NAME: C-585C SHEET NUMBER: C-585C

SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN NORTH

SHEET NUMBER: C-601



PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, OWNERS, OR ANY PERSON PREPARING TO DIG INTO THE EARTH'S SURFACE. CALL 811 FIRST.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV DATE DRAWN BY DESCRIPTION

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Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
COLLIERS ENGINEERING & DESIGN CT, P.C.

PRELIMINARY SITE PLAN
FOR
89 ROUTE 17K LLC

S.B.L. 1-1-58.12

TOWN OF WALLKILL
ORANGE COUNTY
NEW YORK STATE

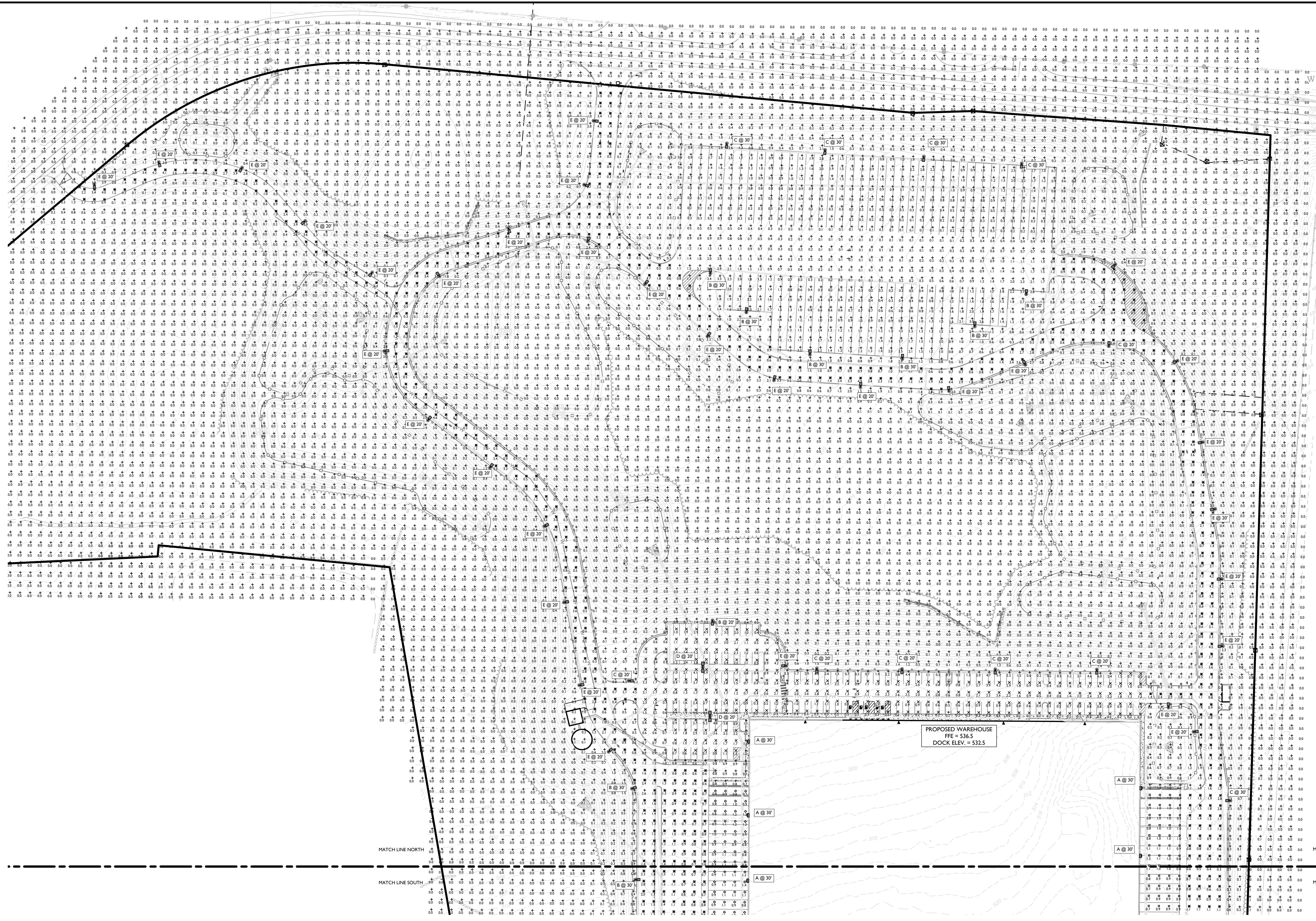
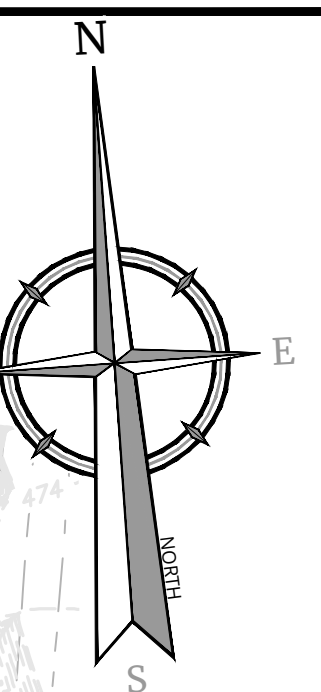
Colliers
Engineering & Design

555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
LANDSCAPE ARCHITECTURE
SURVEYING, C.T.P.C.

SCALE: AS SHOWN DATE: 12/23/2024 DRAWN BY: TPS CHECKED BY: JED
PROJECT NUMBER: 21007819A DRAWING NAME: C-4.GIT

SHEET TITLE: LIGHTING PLAN NORTH

SHEET NUMBER: C - 801



LIGHTING NOTES:

1. THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
2. POLES AND FIXTURES AS SUPPLIED BY:
POLES & WALL FIXTURES - HOLOPHANE
POLE FIXTURES - AMERICAN ELECTRIC LIGHTING
3. LAMPS ARE TO BE LED; A LIGHT LOSS FACTOR (LLF) WAS USED AS SHOWN IN THE LUMINAIRES SCHEDULE.
4. FIXTURES AND POLES ARE TO BE BLACK.
5. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF TWO (2) FEET BEHIND CURBS, EDGE OF PAVEMENT OR RETAINING WALLS IN CAR PARKING AREAS.
6. PROPOSED LIGHT FIXTURE LOCATIONS ARE CRITICAL. TO PROVIDE THE LIGHTING LEVELS DEPICTED ON THIS PLAN, THE LIGHTING CONTRACTOR SHALL FIELD VERIFY FIXTURE LOCATIONS PRIOR TO INSTALLATION. IF ADJUSTMENT TO ANY LIGHT FIXTURE LOCATION IS REQUIRED DUE TO FINAL CONSTRUCTION OF UTILITIES AND SITE IMPROVEMENTS, THE LIGHTING CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
7. LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
8. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE OWNER OR PROJECT LANDSCAPE ARCHITECT.
9. ELECTRICAL PLANS FOR WIRING LAYOUT BY OTHERS.
10. POLE BASE INSTALLATION SHALL INCLUDE A SUPPLEMENTARY GROUND ROD AND WIRE LEAD TO BASE FOR POWER CONNECTION. DETAILS PER PROJECT ELECTRICAL ENGINEER.
11. ALL LIGHTING FIXTURES WILL BE DARK SKY COMPLIANT.

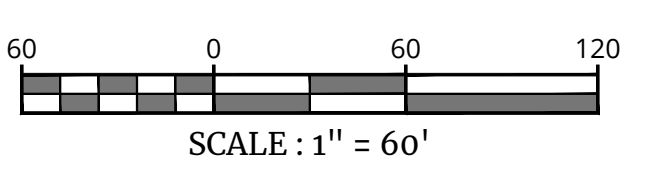
LUMINAIRE SCHEDULE

KEY	QTY.	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS/LAMP	LLF	CATALOG #
A	26	HOLOPHANE WALL PACK FULL CUTOFF LED	SINGLE	20' & 30'	9,561	0.95	HLWPC2-P40-30K-MVOLT-TFTM-BKSDP-P3
B	16	AMERICAN ELECTRIC LIGHTING AT80 SERIES LED	SINGLE	20' & 30'	20,049	0.95	ATB0-P305-MVOLT-R4-3K-BK-UMS-XX
C	15	AMERICAN ELECTRIC LIGHTING AT80 SERIES LED	SINGLE	20' & 30'	16,557	0.95	ATB0-P305-MVOLT-R4-3K-BK-HSS-UMS-XX
D	2	AMERICAN ELECTRIC LIGHTING AT80 SERIES LED	DOUBLE	20'	9,470	0.95	ATB0-P203-MVOLT-R3-3K-BK-UMS-XX
E	34	AMERICAN ELECTRIC LIGHTING AT80 SERIES LED	SINGLE	20'	8,395	0.95	ATB0-P203-MVOLT-R2-3K-BK-HSS-UMS-XX

1. LIGHT FIXTURE VOLTAGE REQUIREMENTS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING.

LIGHTING LEGEND:

- SINGLE FIXTURE POLE LIGHT
- DOUBLE FIXTURE POLE LIGHT
- WALLPACK
- 0.0 LIGHT LEVEL AT GRADE (IN FOOTCANDLES)



CALCULATION SUMMARY

DESCRIPTION	CALC. TYPE	UNITS	AVG.	MAX.	MIN.	AVG. / MIN.
DRIVE AISLE PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.2	5.9	0.1	12.0:1
EAST LOADING DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.0	1.3	0.7	1.4:1
WEST LOADING DOCK PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.0	1.4	0.5	2.0:1
SOUTH CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.2	4.7	0.2	6.0:1
NORTH CAR PARKING PAVEMENT AREA SUMMARY	ILLUMINANCE	FC	1.6	5.9	0.2	8.0:1
TRAILER STORAGE AREA SUMMARY	ILLUMINANCE	FC	0.9	3.1	0.1	9.0:1

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Justin Eric Dates
NEW YORK REGISTERED LANDSCAPE ARCHITECT
LICENSE NUMBER: 001964-01
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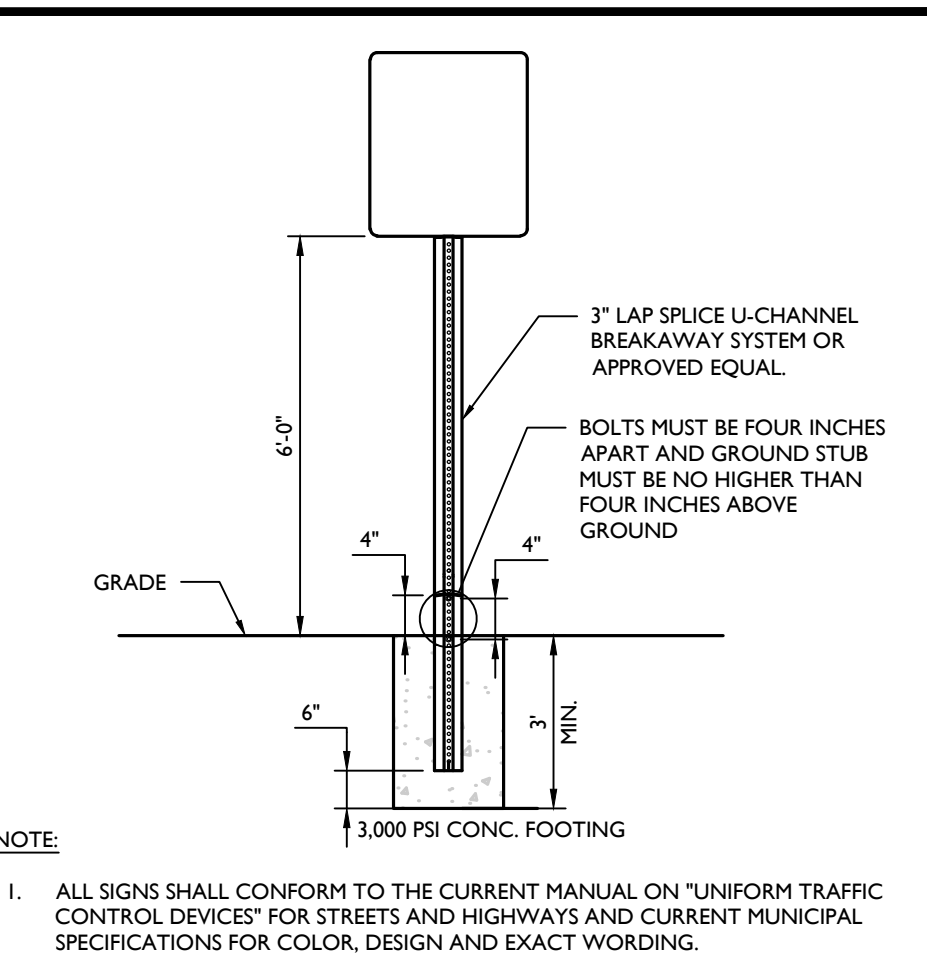
PRELIMINARY SITE PLAN
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S.B.L. 1-1-58.12
TOWN OF WALLKILL
ORANGE COUNTY
NEW YORK STATE

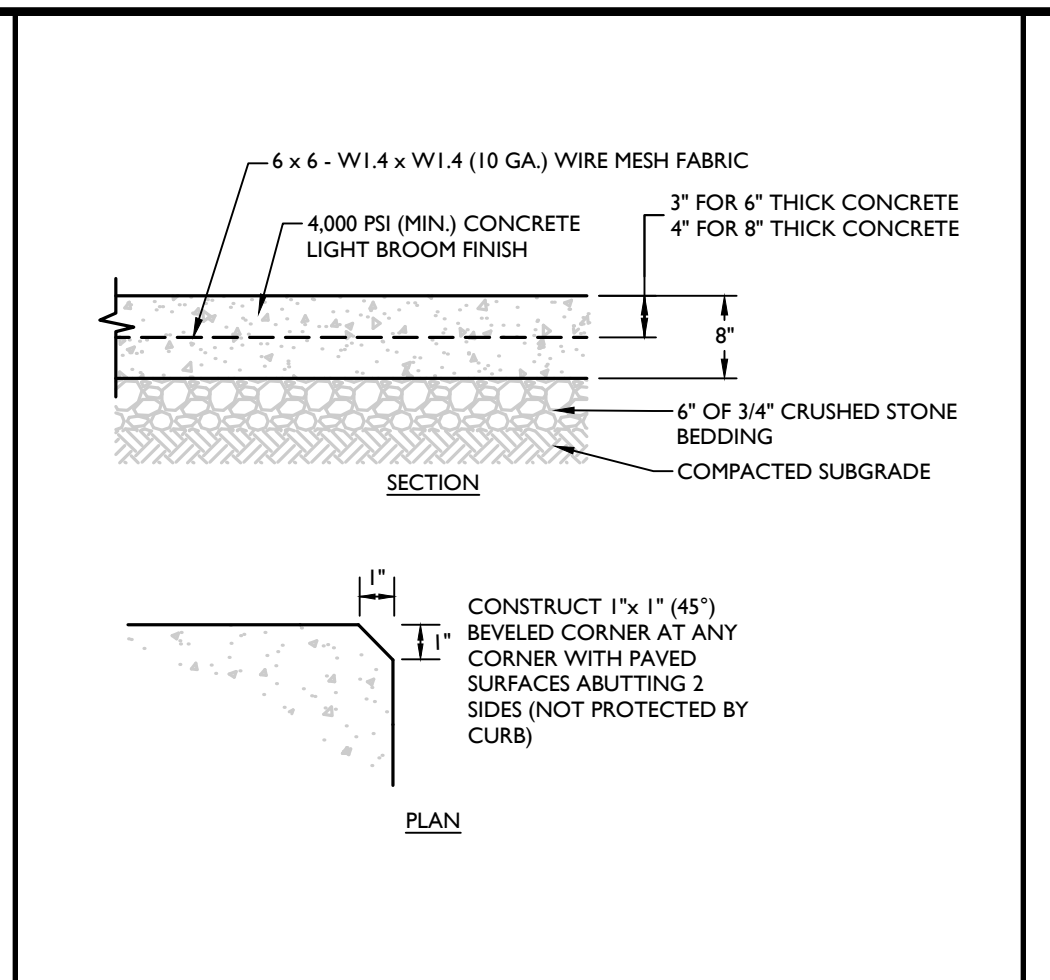
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ARCHITECTURAL, LANDSCAPE ARCHITECTURE,
SURVEYING, E.T.C.

SCALE: AS SHOWN DATE: 12/23/2024 DRAWN BY: TPS CHECKED BY: JED
PROJECT NUMBER: 21007819A DRAWING NAME: C-0715

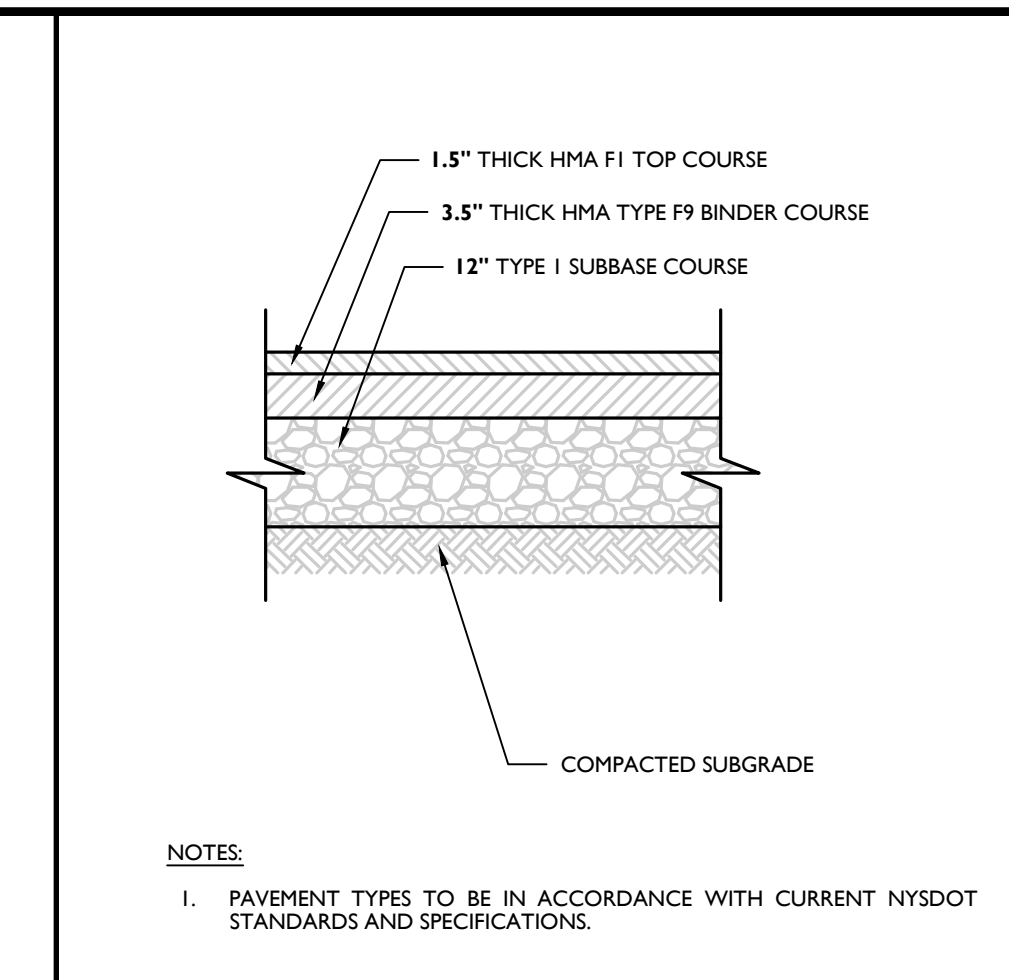
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: C-901



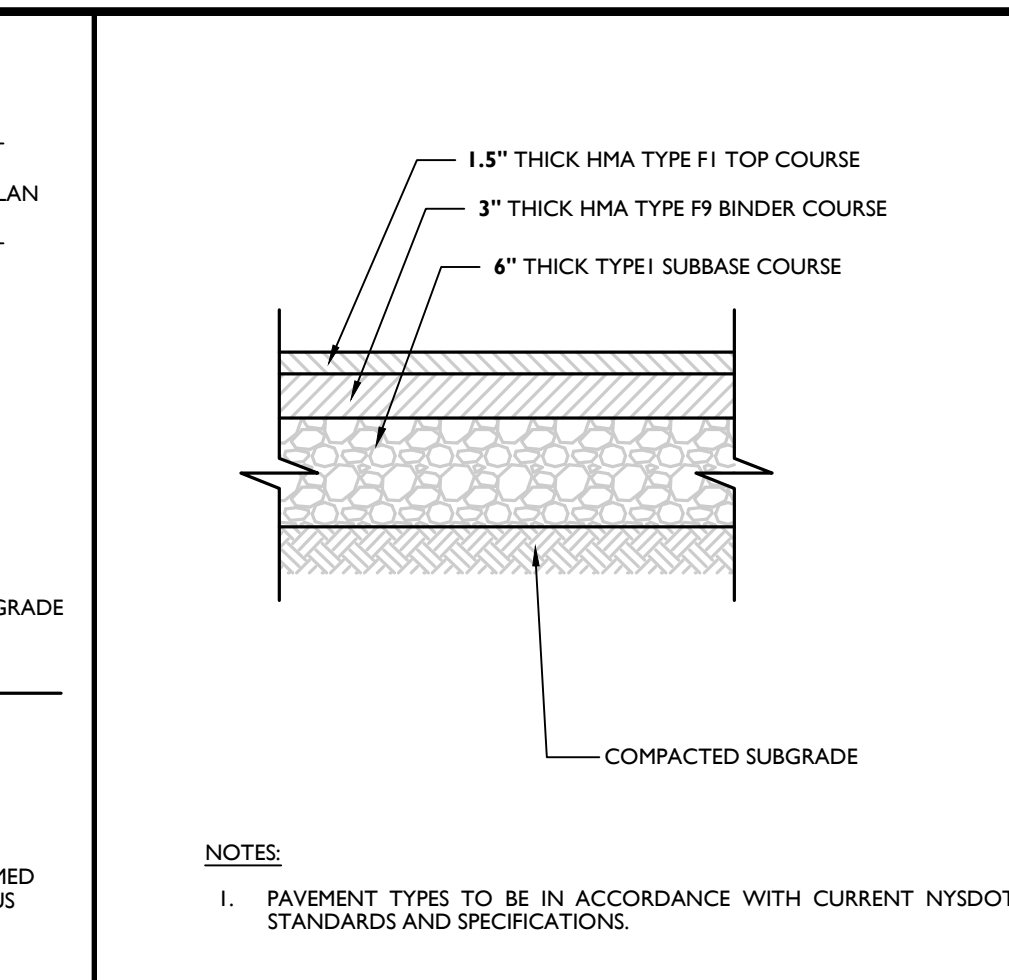
BREAKAWAY POST DETAIL
MCCM-SIGN-GENI-6102 07/01/19



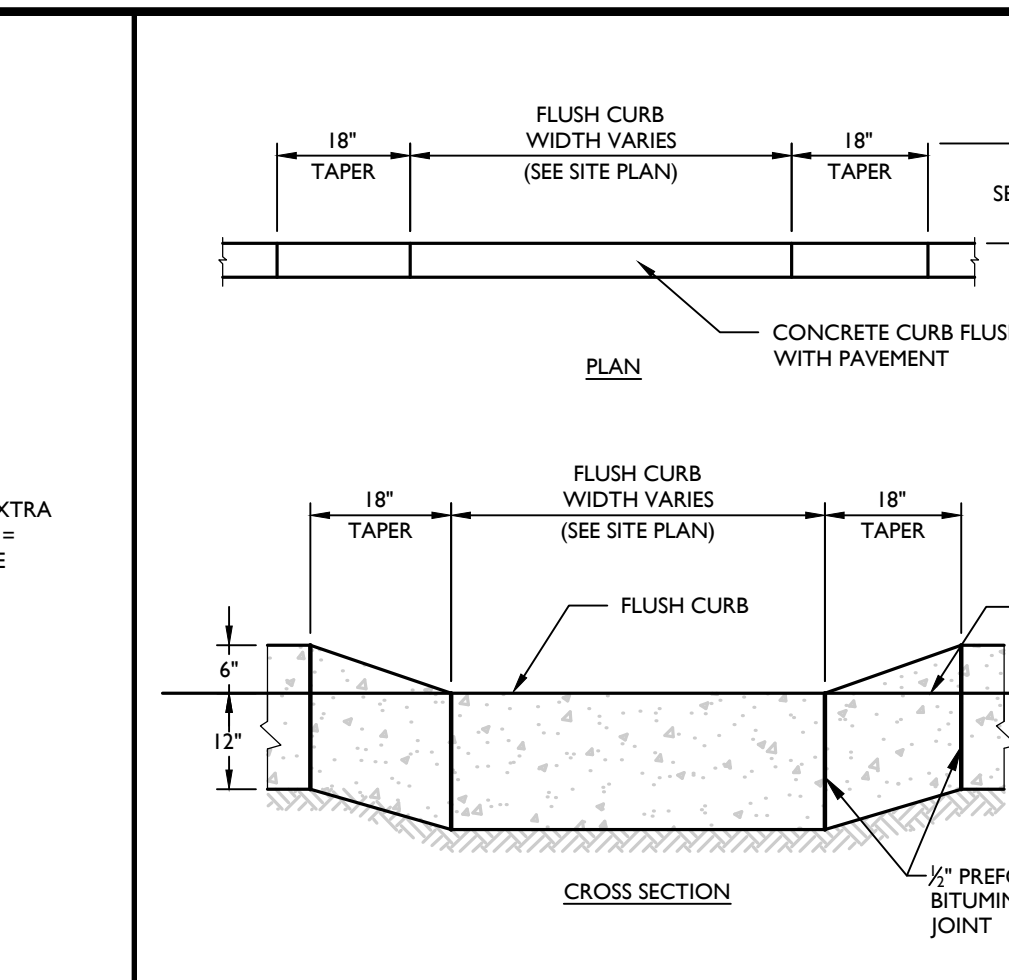
CONCRETE LOADING PAD DETAIL
MCNY-SITE-PMVT-1600 07/01/19



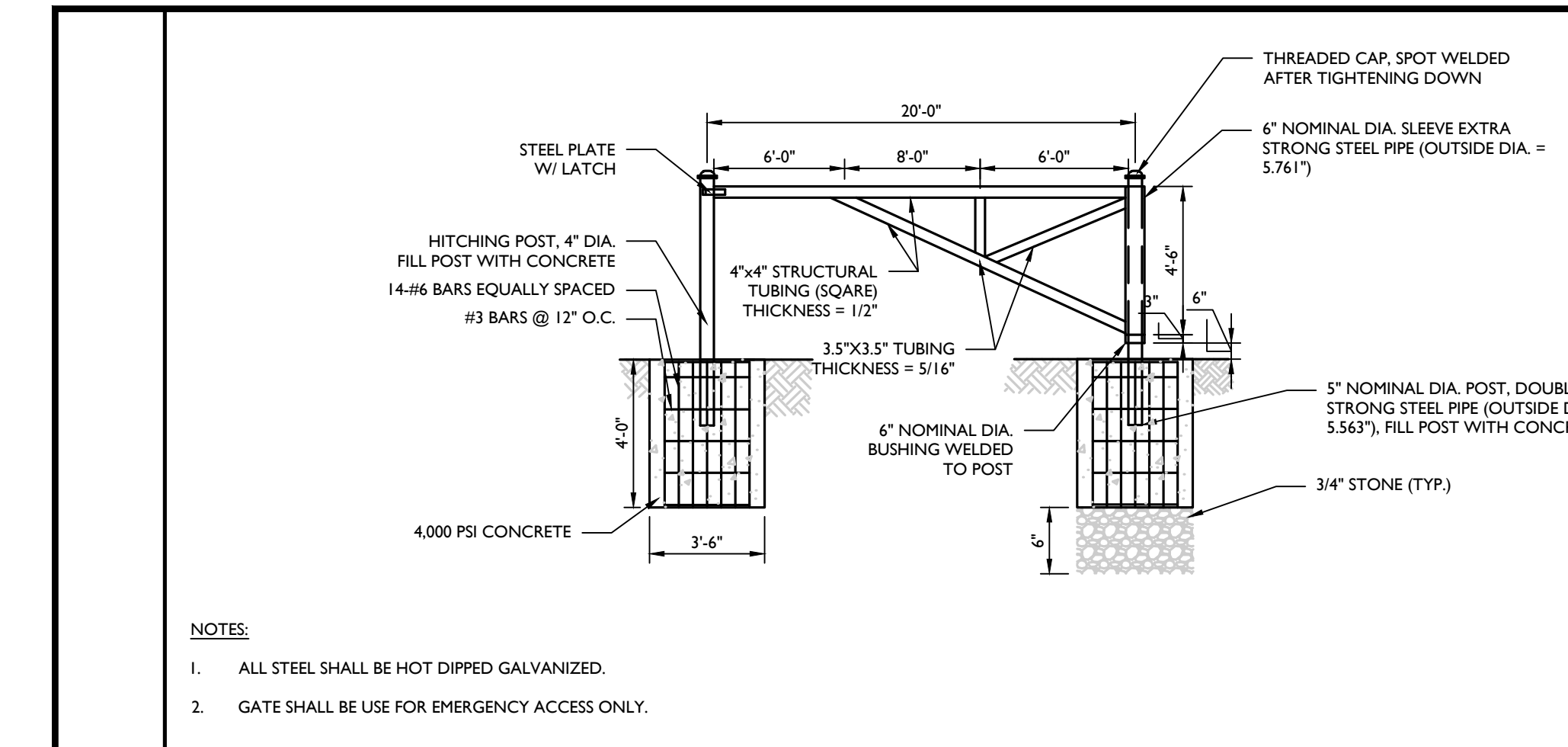
HEAVY-DUTY ASPHALT PAVEMENT DETAIL
MCNY-SITE-PMVT-1100 07/01/19



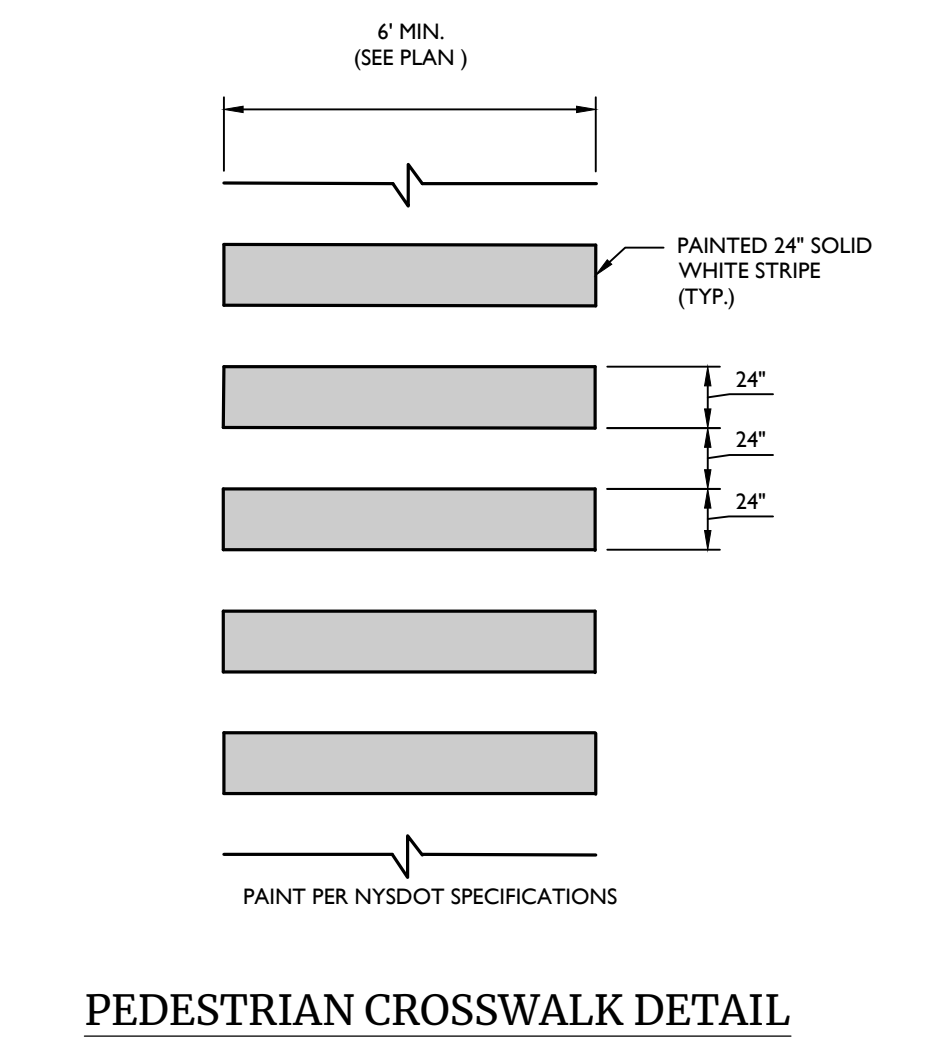
STANDARD ASPHALT PAVEMENT DETAIL
MCNY-SITE-PMVT-1000 07/01/19



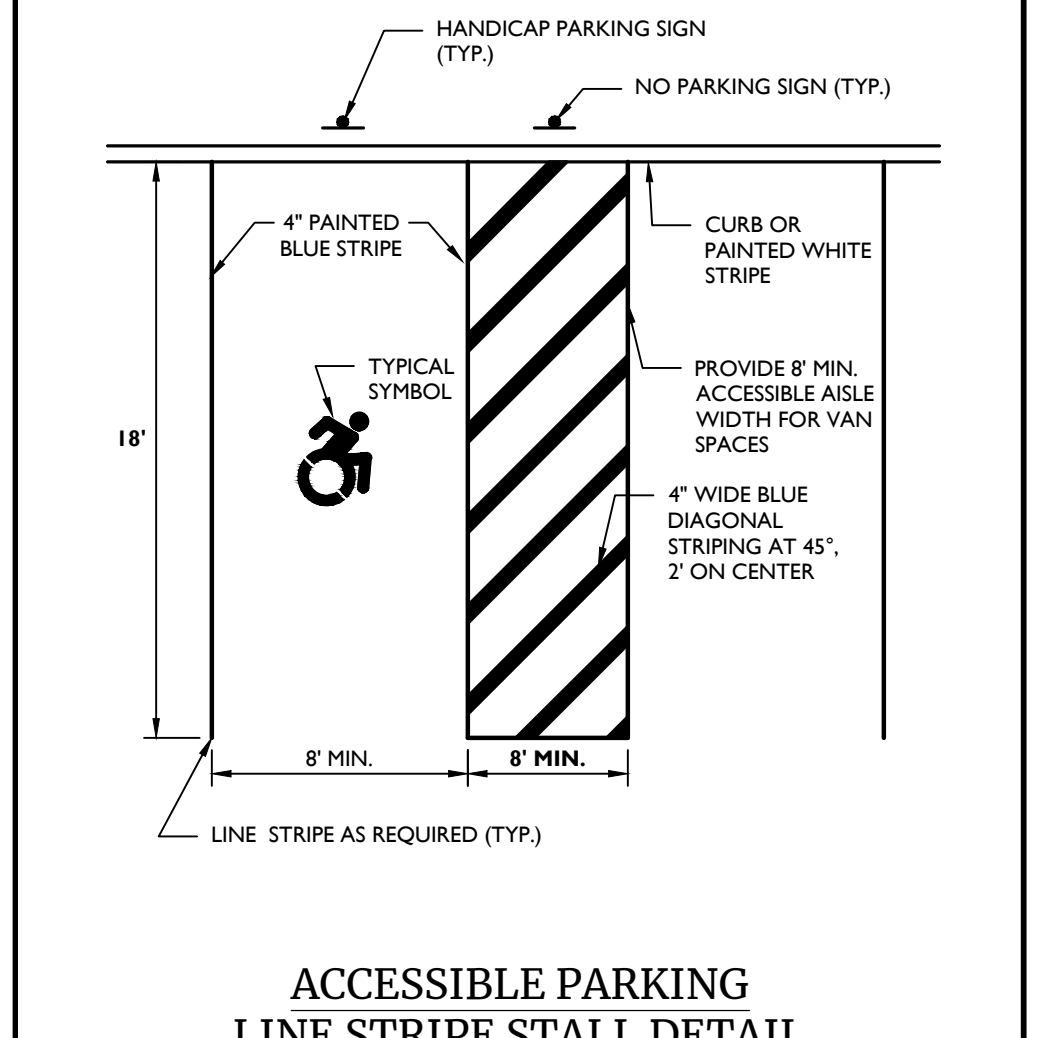
CONCRETE FLUSH CURB DETAIL
MCNY-SITE-CURB-1300 07/01/19



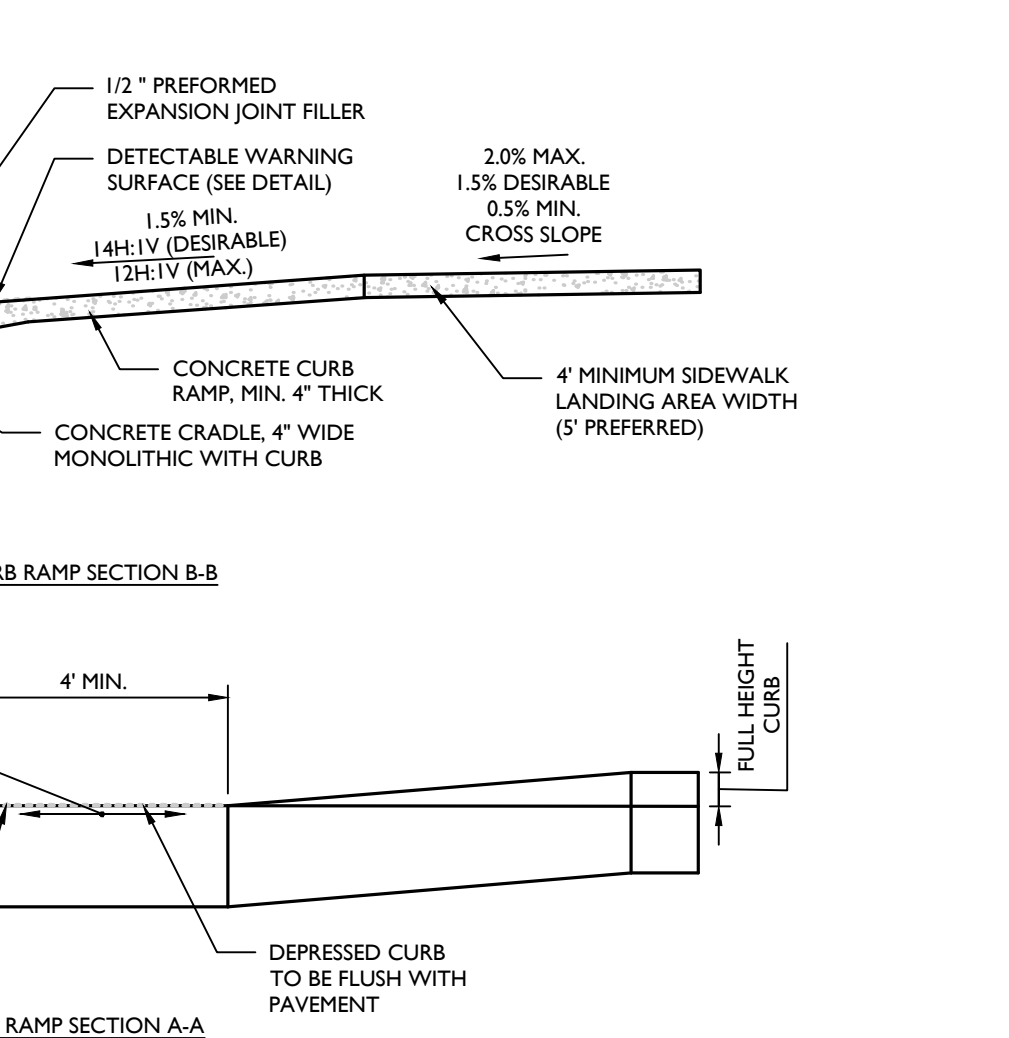
EMERGENCY ACCESS GATE DETAIL
MCCM-SITE-FNCE-3100 07/01/19



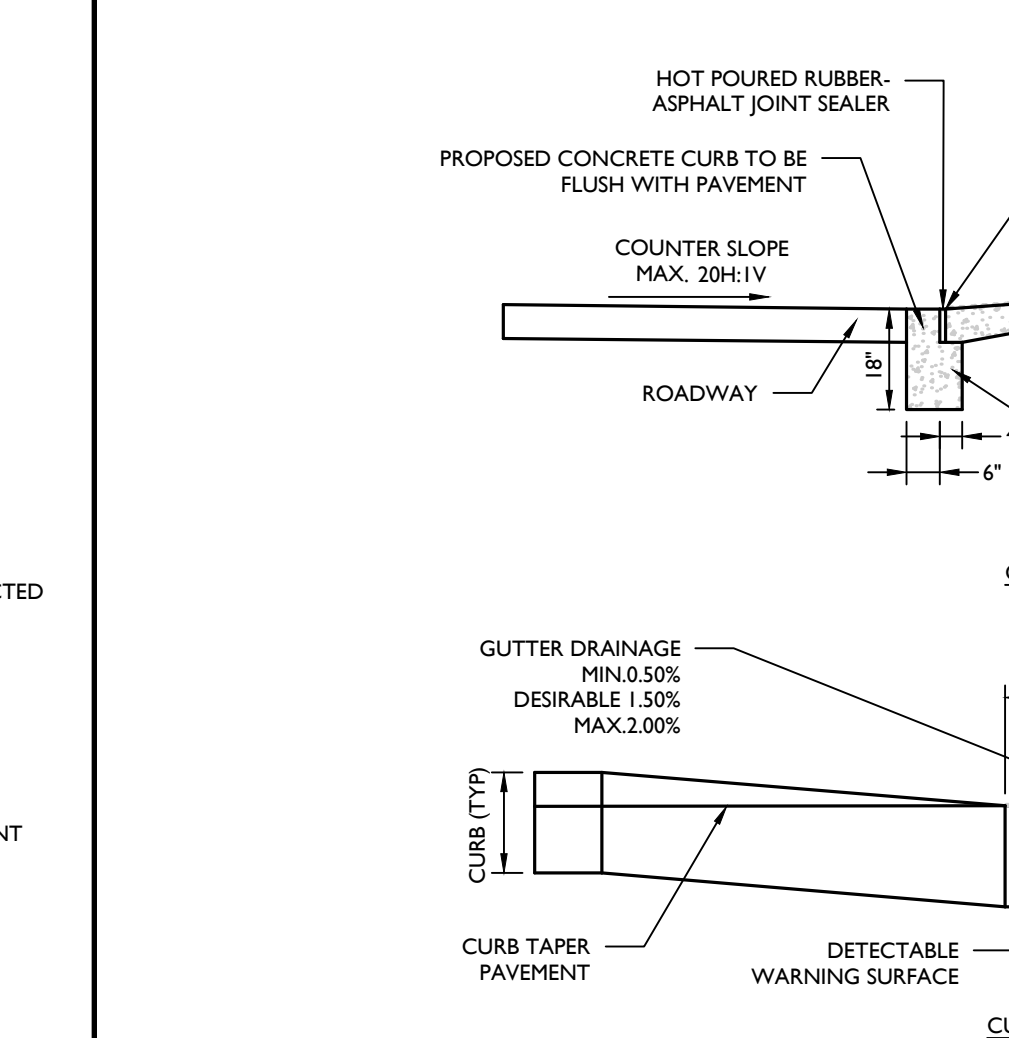
PEDESTRIAN CROSSWALK DETAIL
MCNY-SITE-MRKG-1401 07/01/19



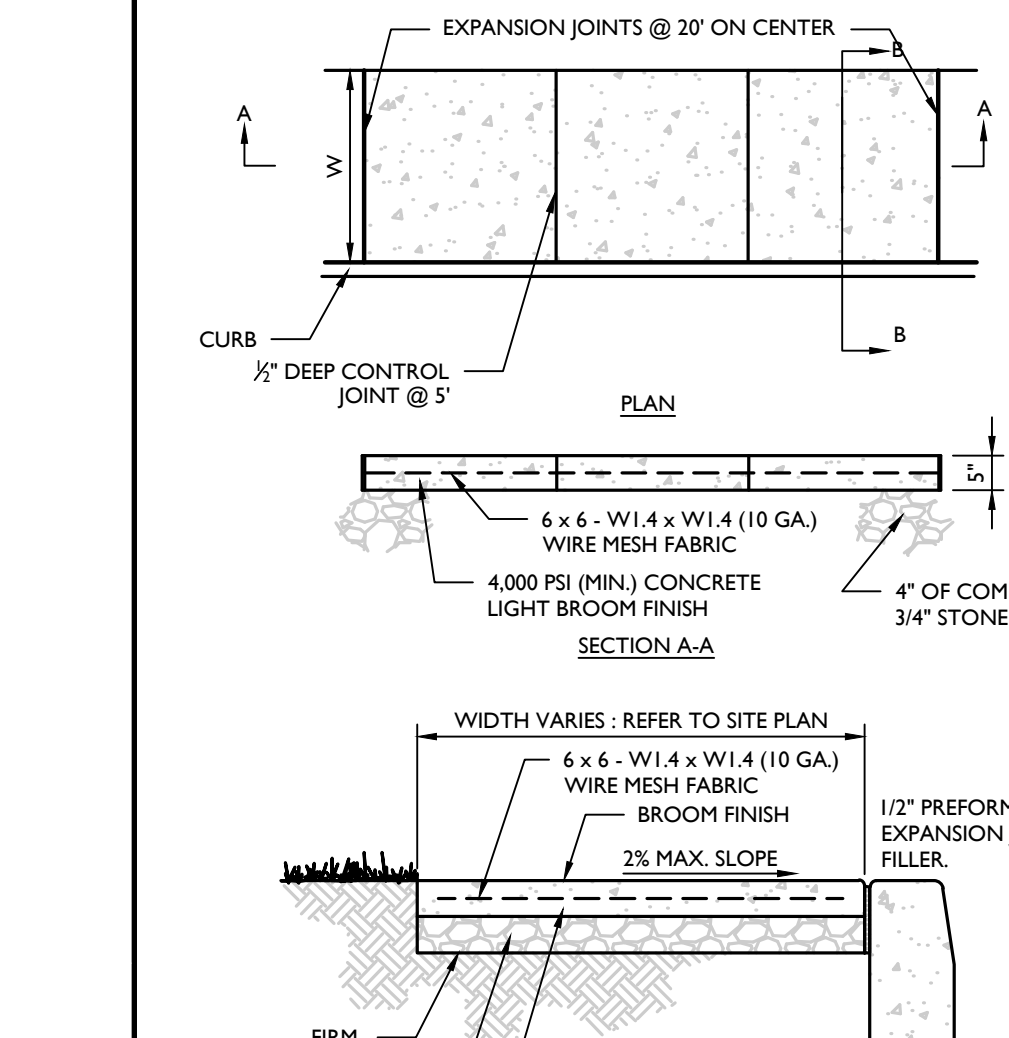
ACCESSIBLE PARKING LINE STRIPE STALL DETAIL
MCNY-SITE-MRKG-1801 07/01/19



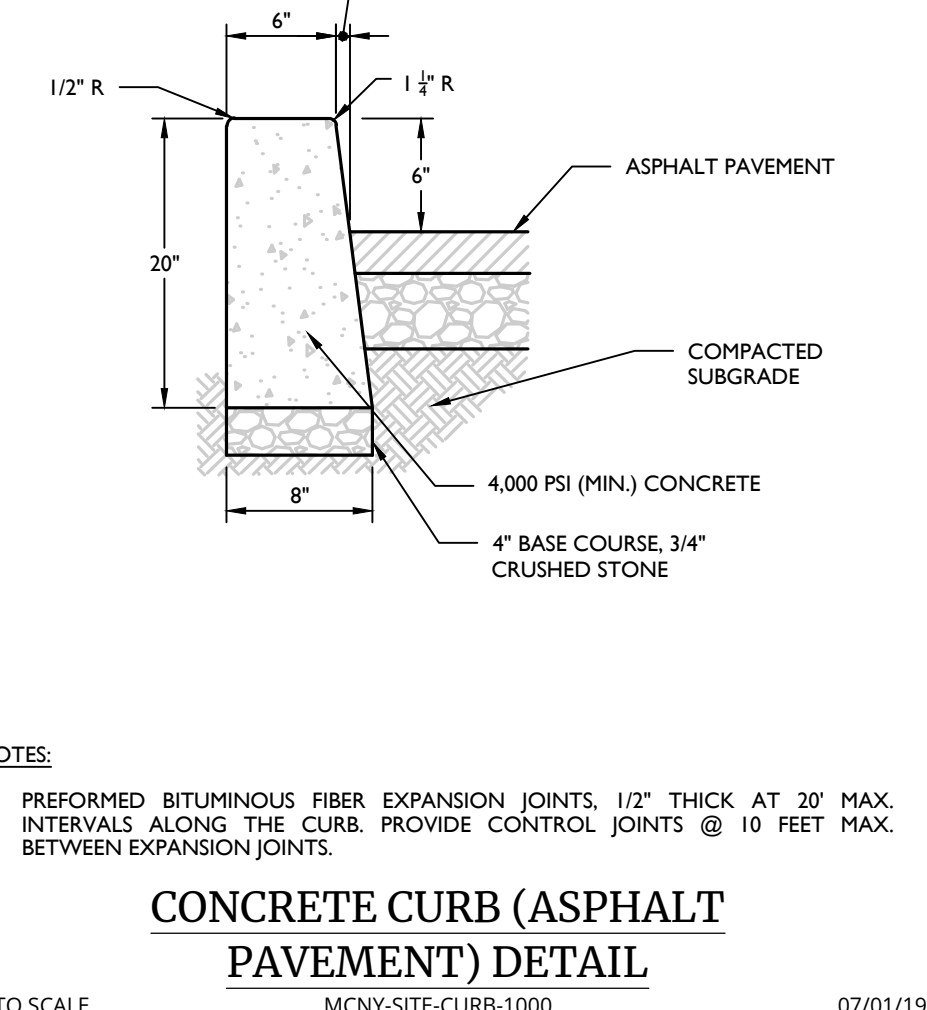
CURB RAMP SECTIONS DETAIL
MCNY-SITE-HADA-2000 07/01/19



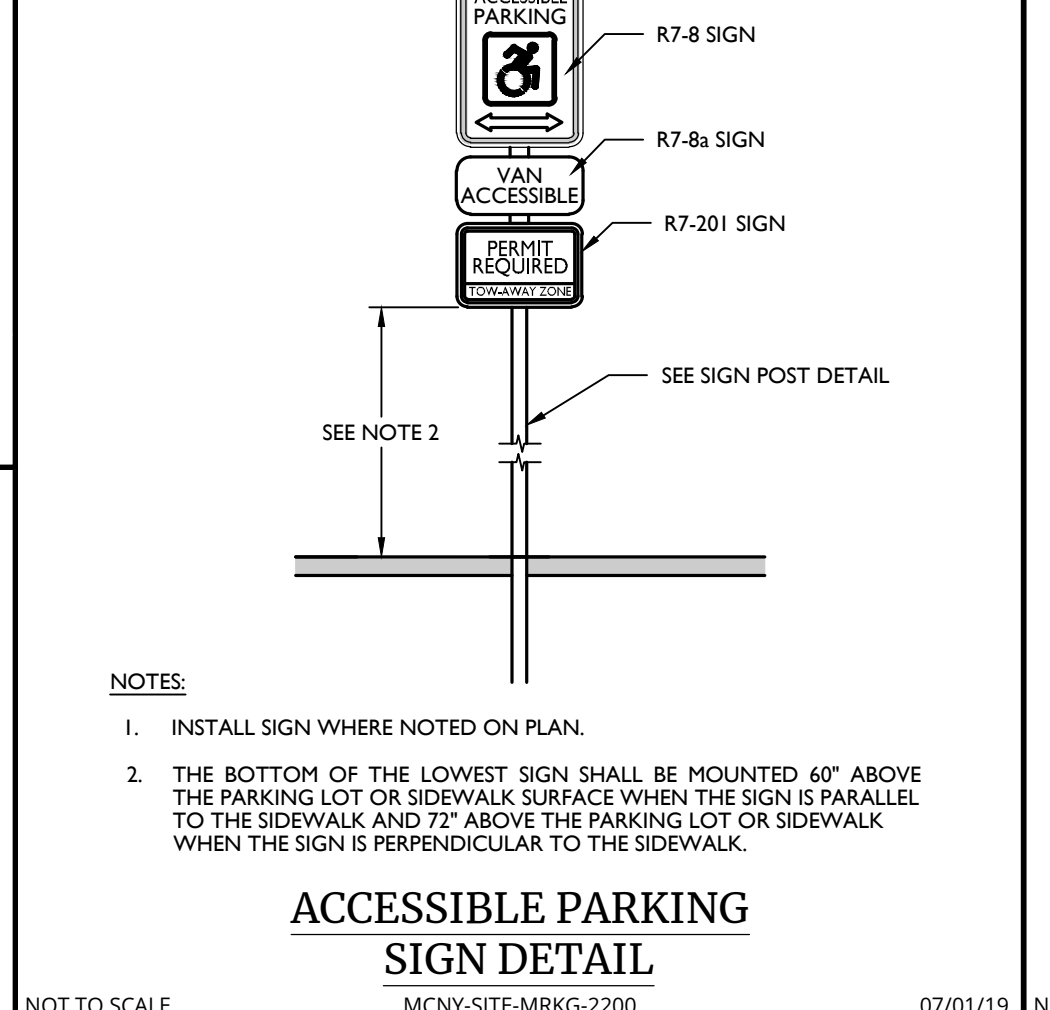
REINFORCED CONCRETE SIDEWALK (NEXT TO CURB) DETAIL
MCNY-SITE-PMVT-1800 07/01/19



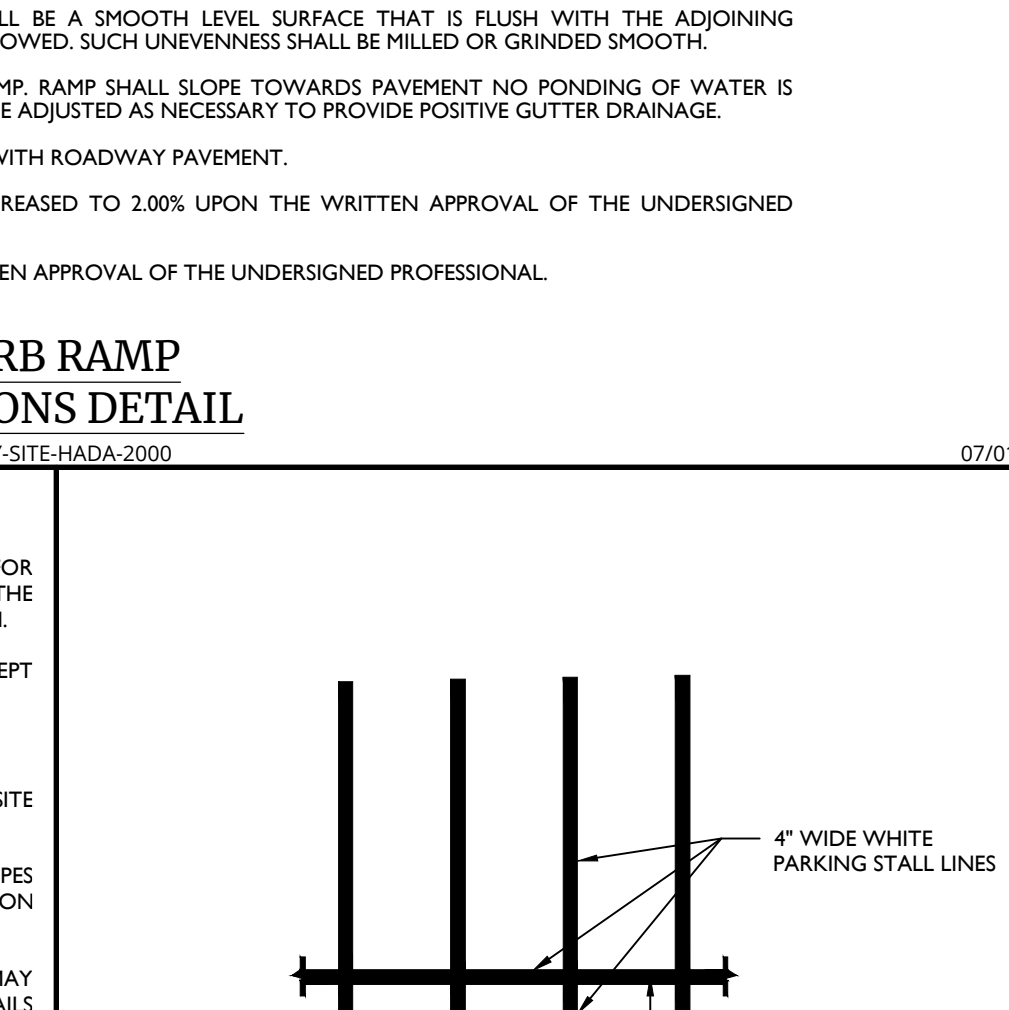
CONCRETE FLUSH CURB DETAIL (continued)
MCNY-SITE-PMVT-1800 07/01/19



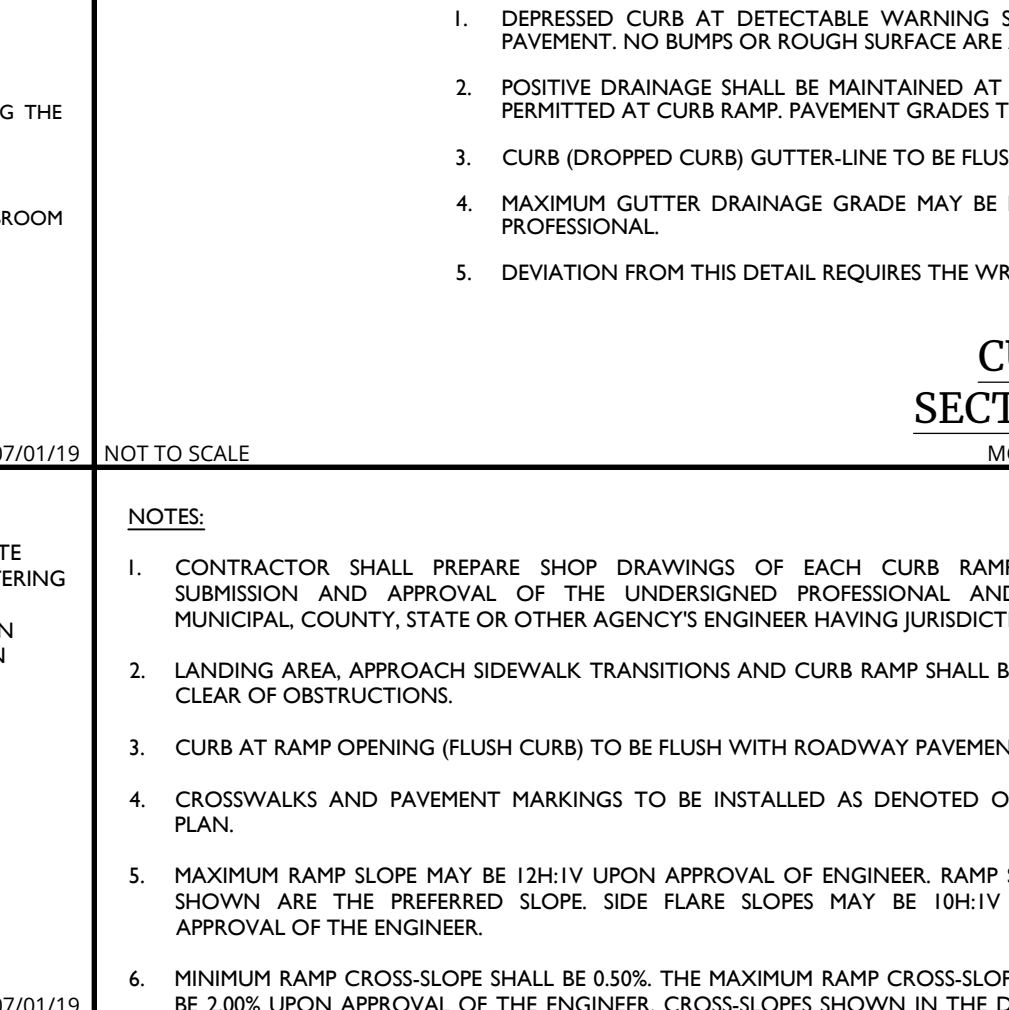
CONCRETE CURB (ASPHALT PAVEMENT) DETAIL
MCNY-SITE-CURB-1000 07/01/19



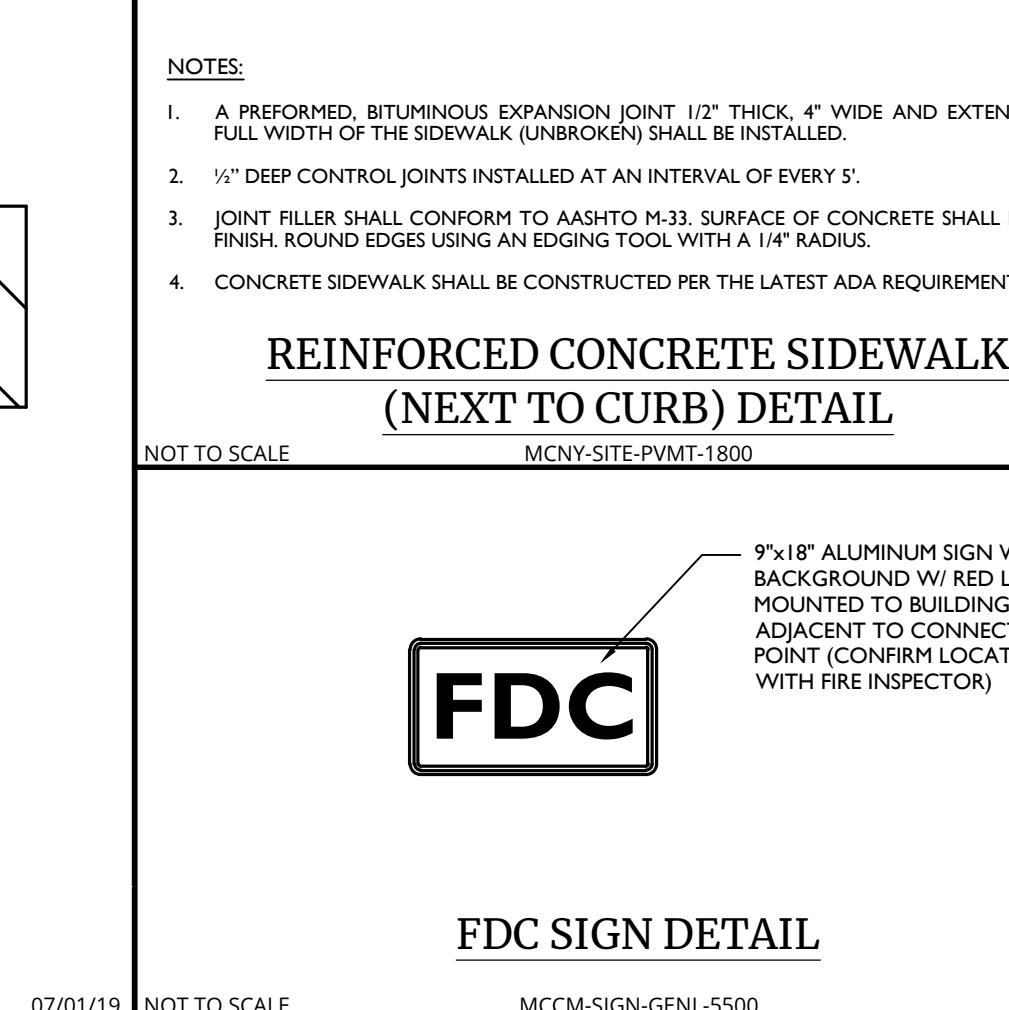
ACCESSIBLE PARKING SIGN DETAIL
MCNY-SITE-MRKG-2200 07/01/19



TYPICAL PARKING STALL STRIPING DETAIL
MCNY-SITE-MRKG-1000 07/01/19



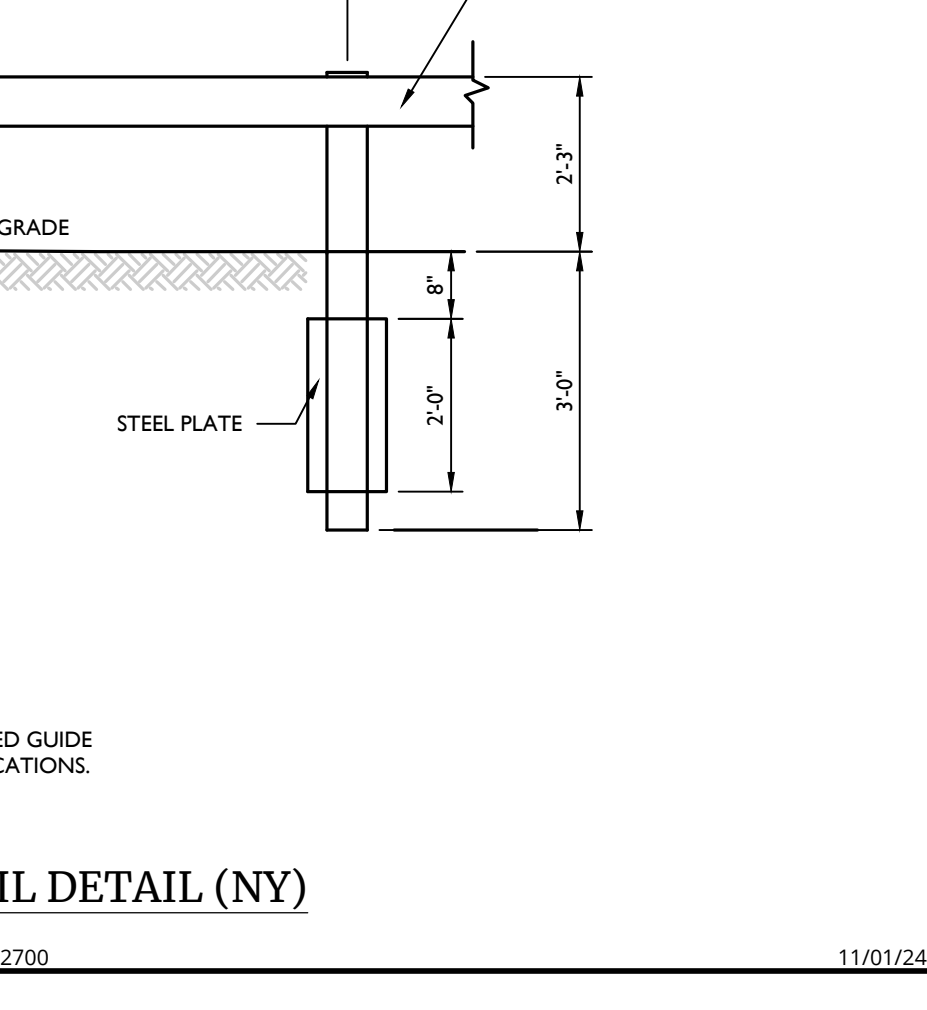
FDC SIGN DETAIL
MCCM-SIGN-GENI-5500 07/01/19



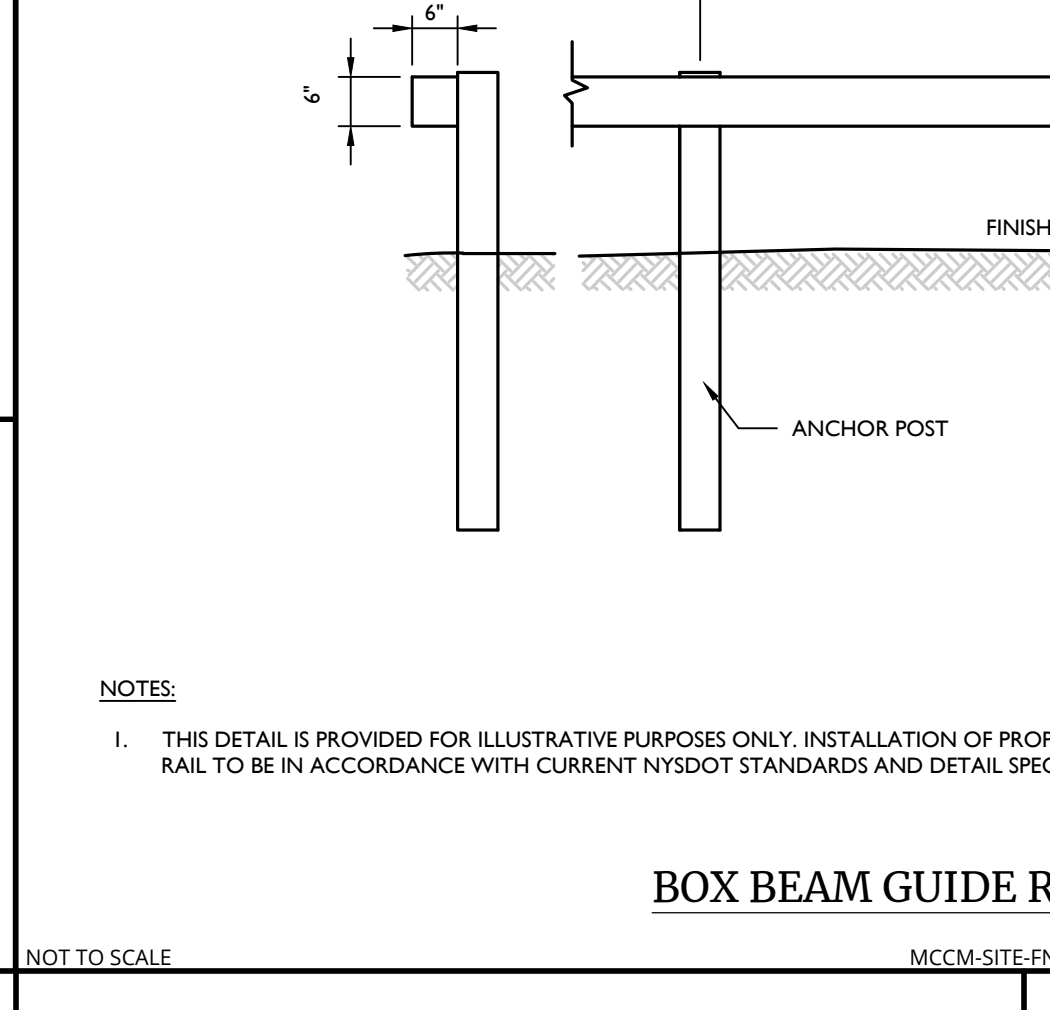
FIRE ZONE / LOADING AREA STRIPING DETAIL
MCNY-SITE-MRKG-2100 07/01/19



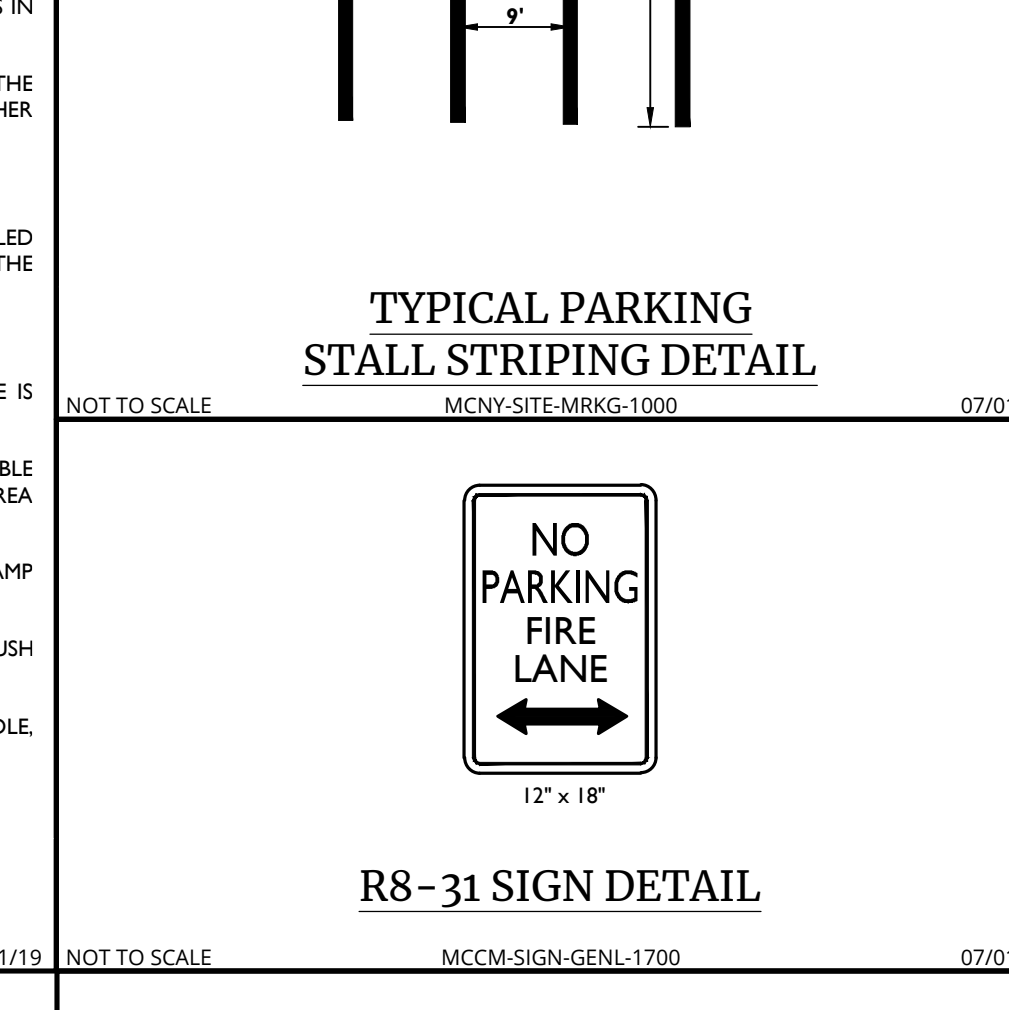
R8-3a SIGN DETAIL
MCCM-SIGN-REGU-88-3A 12/01/20



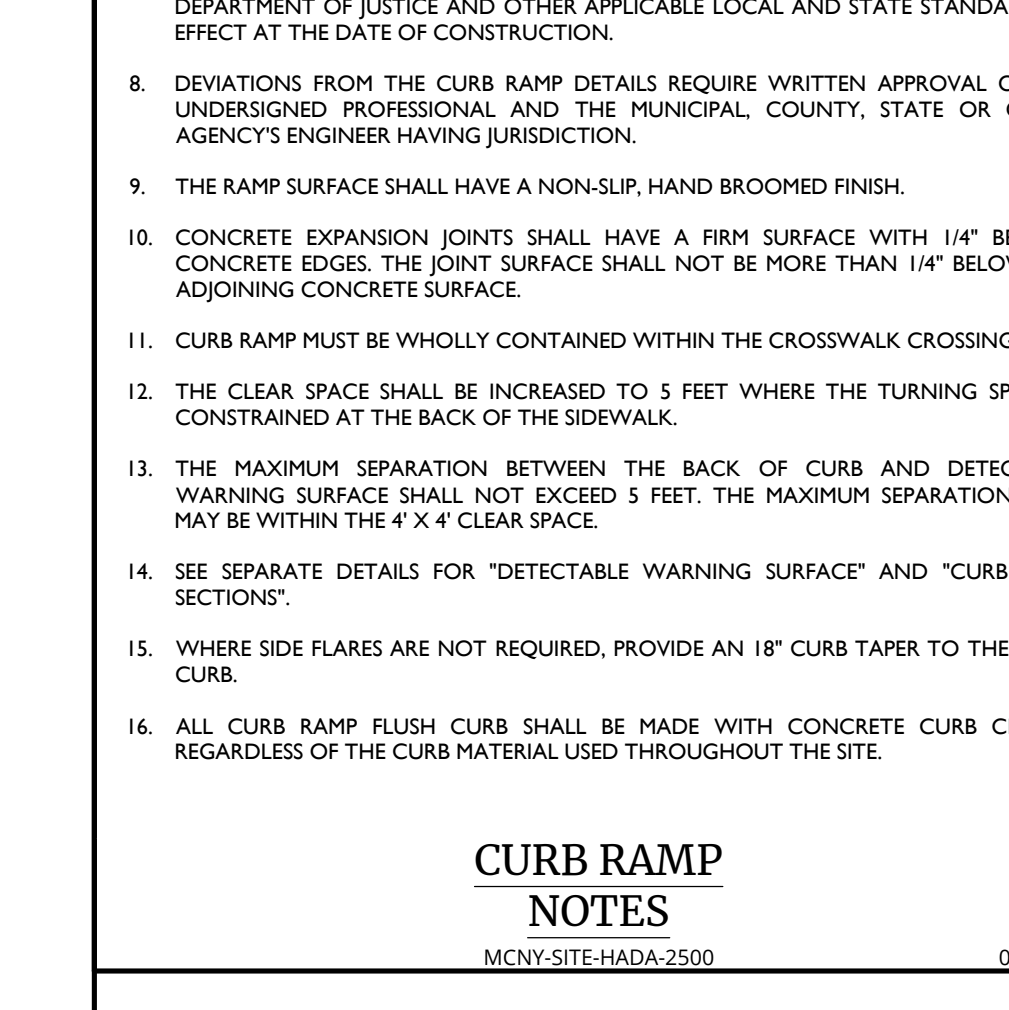
BOX BEAM GUIDE RAIL DETAIL (NY)
MCCM-SITE-FNCE-2700 11/01/24



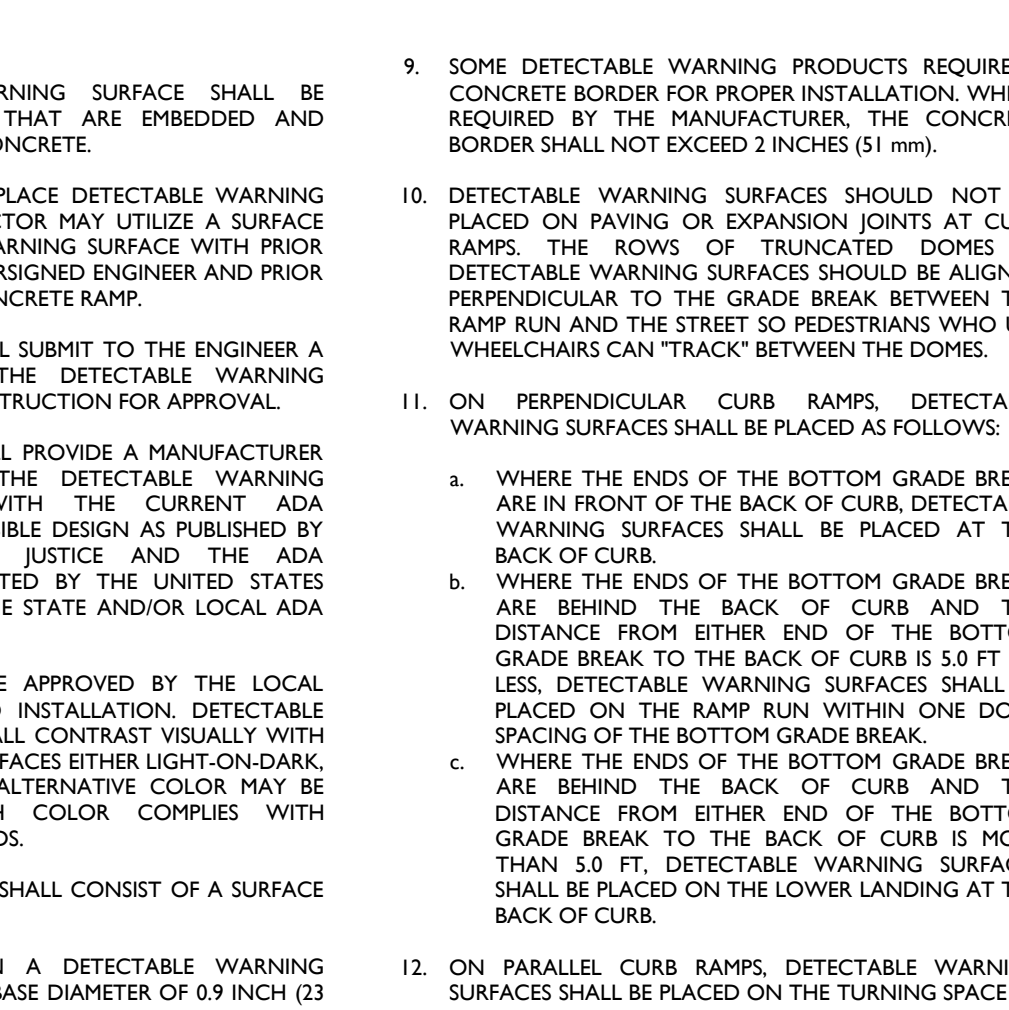
TYPICAL STOP BAR DETAIL
MCNY-SITE-MRKG-1100 07/01/19



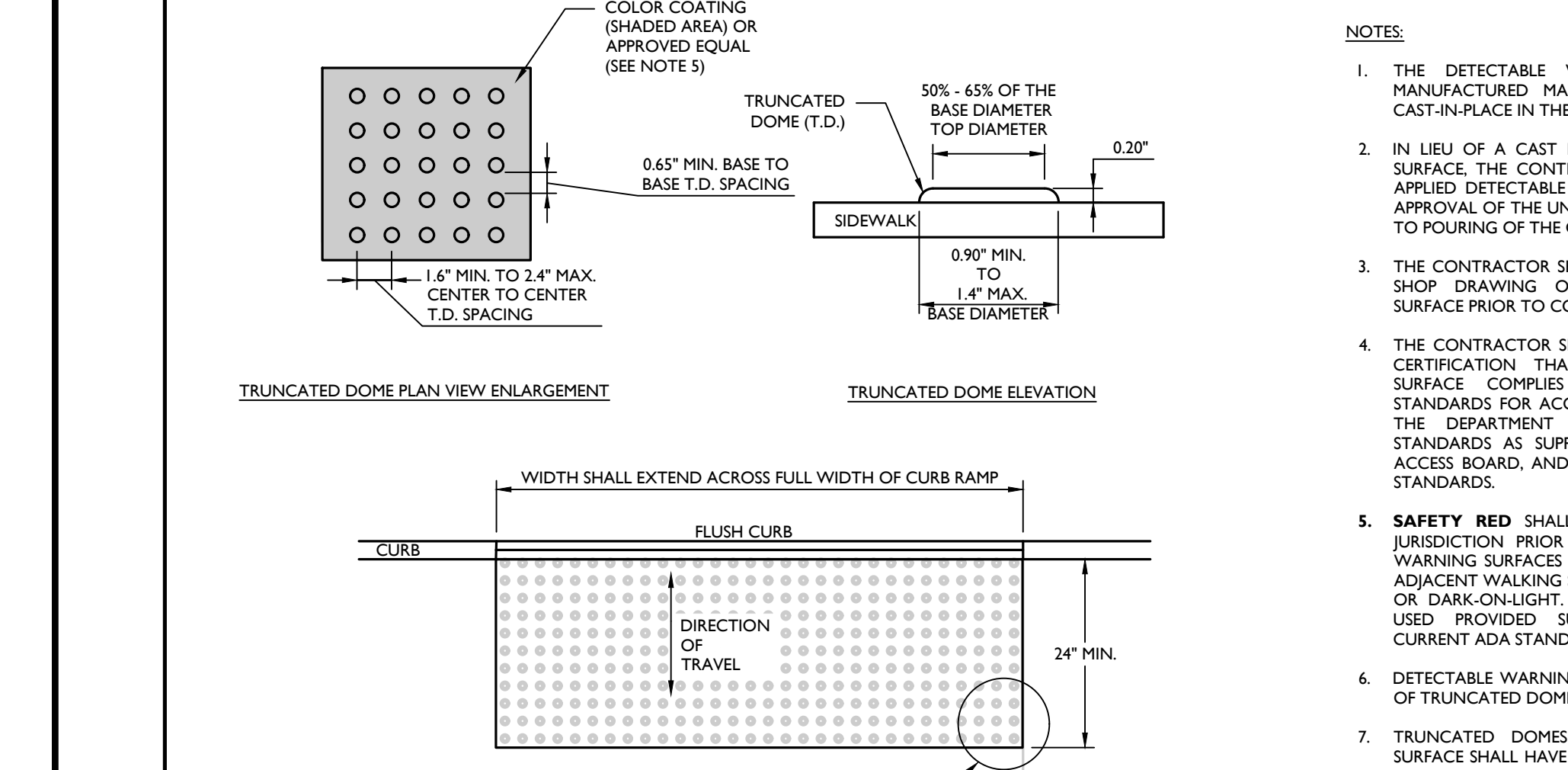
R8-31 SIGN DETAIL
MCCM-SIGN-GENI-1700 07/01/19



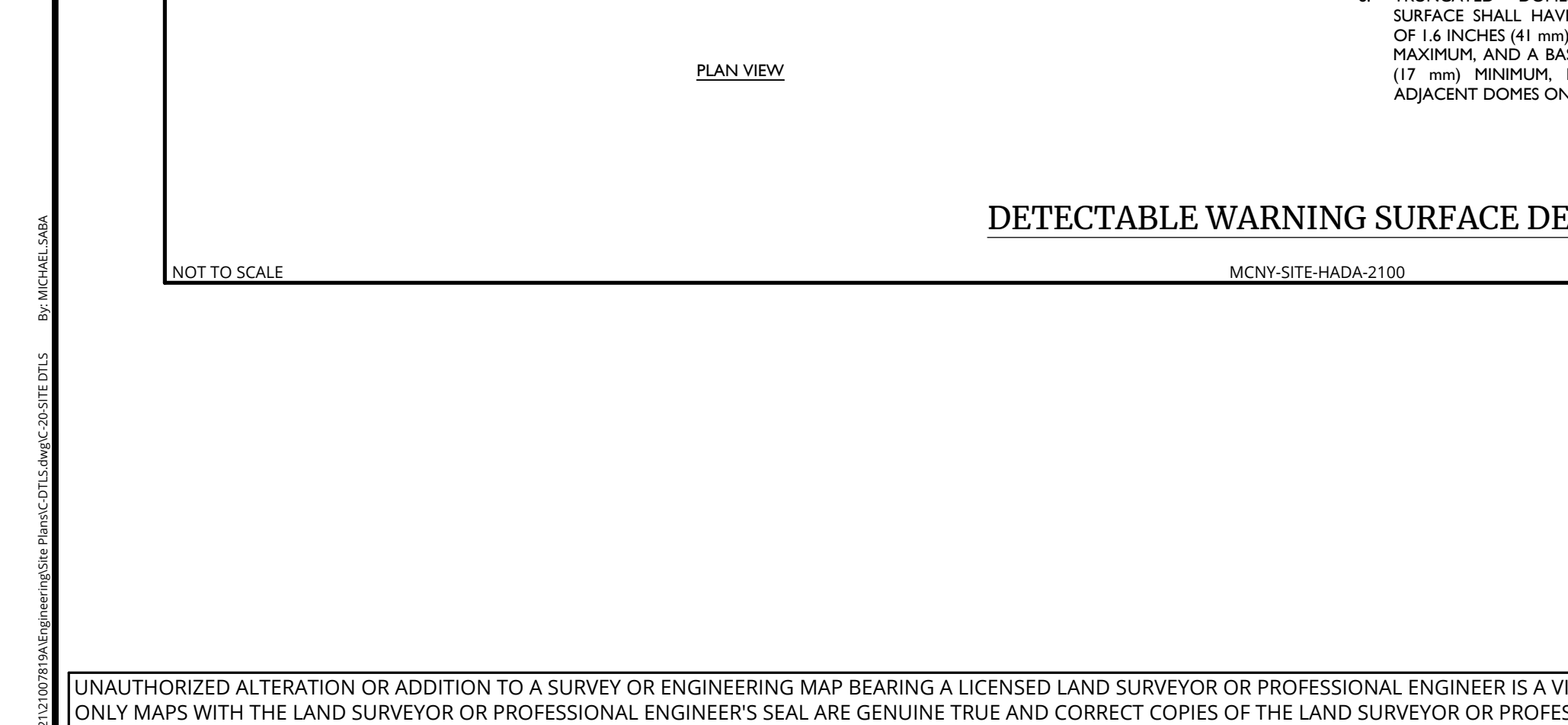
CURB RAMP NOTES
MCNY-SITE-HADA-2500 07/01/19



DETECTABLE WARNING SURFACE DETAIL
MCNY-SITE-HADA-2100 07/01/19



DETECTABLE WARNING SURFACE DETAIL (continued)
MCNY-SITE-HADA-2100 07/01/19



DETECTABLE WARNING SURFACE DETAIL (continued)
MCNY-SITE-HADA-2100 07/01/19

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GRAVEL DRIVEWAY PAVEMENT DETAIL
MCNY-SITE-PMVT-2200 07/01/19

TRUCK DOCK/DOLLY PAD CONCRETE SECTION DETAIL
GNL-DTSL-STD-GRID MOD: 12/20/24 07/01/19

STRAIGHT PAVEMENT ARROW DETAIL
MCNY-SITE-MRKG-1200 07/01/19

REINFORCED CONCRETE SIDEWALK (NEXT TO CURB) DETAIL (continued)
MCNY-SITE-PMVT-1800 07/01/19

ACCESSIBLE SYMBOL DETAIL
MCNY-SITE-MRKG-2000 07/01/19

