

**LIST OF SITE PLAN DRAWINGS**

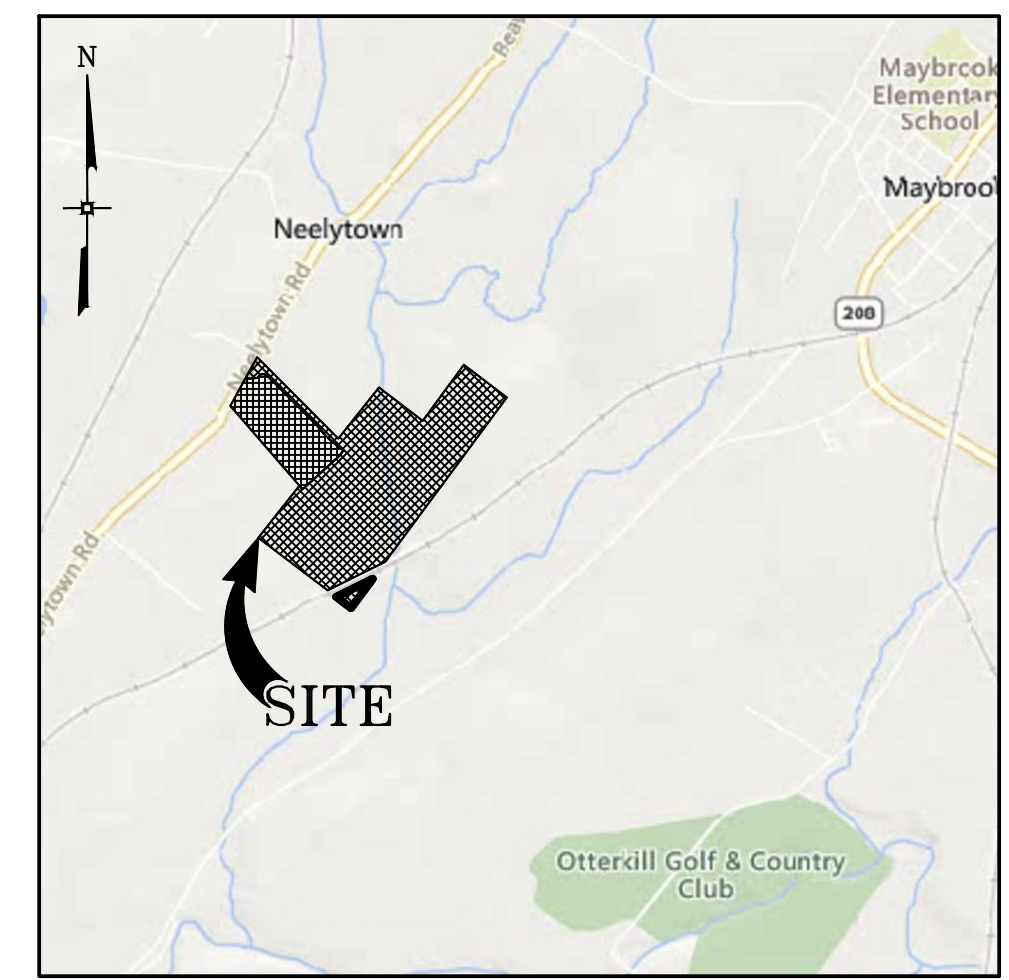
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**DRAWINGS PREPARED BY OTHERS:**

LANDSCAPE PLANS BY STEVEN T. ESPOSITO, R.L.A. ESPOSITO & ASSOCIATES
L-1 LANDSCAPING PLAN
L-2 LANDSCAPING & WETLAND MITIGATION PLAN
L-3 LANDSCAPING PLAN & DETAILS
L-4 LANDSCAPING PLAN & DETAILS

**GENERAL NOTES**

- TAX MAP IDENTIFICATION NUMBER: SECTION 1, BLOCK 1, LOT(S) 6.1 & 6.2
- TOTAL AREA OF SUBJECT PARCEL: 277.95 ACRES (LOT 6.1: 114.66 ACRES; LOT 6.2: 163.29 ACRES)
- BOUNDARY INFORMATION BASED UPON THE REALTY SUBDIVISION PLAN FOR "TOM GROUP" AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, PC ON JANUARY 22, 2020 LAST REVISED MARCH 11, 2022 AND FILED WITH ORANGE COUNTY CLERK'S OFFICE AS FILED MAP 443-22 ON DECEMBER 29, 2022.
- EXISTING PLANNETRIC INFORMATION BASED UPON FIELD SURVEY AS PERFORMED BY ENGINEERING & SURVEYING PROPERTIES, PC ON OCTOBER 17, 2018.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, PC FROM USGS 1M HYDRO-LATTITED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS DEC AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE ADJACENT PROPERTY BOUNDARIES ARE BASED UPON DEED PLOTS AND ARE APPROXIMATE AS THE NEIGHBORING PROPERTIES HAVE NOT BEEN SURVEYED.
- THE WETLANDS SHOWN ON SITE WERE FIELD DELINEATED BY PETER TORGERSEN ON AUGUST 9, 2018 AND LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC. THE WETLAND DELINEATION WAS VALIDATED BY THE NYSDEC ON JUNE 5, 2019.
- THE WETLANDS SHOWN ALONG NEELYTOWN ROAD WERE DETERMINED BASED UPON DISCUSSIONS WITH NYSDEC STAFF. THE LIMITS OF THESE WETLANDS WERE VALIDATED BY THE NYSDEC ON AUGUST 28, 2021.
- OWNERS: LOT 1: L&P CAPITAL NEELYTOWN, LLC 5 CORPORATE DRIVE, SUITE 100 CENTRAL VALLEY, NY 10917; LOT 2: 230 N.I. HOLDINGS, LLC 21 PHILIPS PKWY MONTVALE, NJ 07645
- APPLICANT: RDM GROUP 21 PHILIPS PKWY MONTVALE, NJ 07645
- ALL PROPOSED USES SHALL BE SERVICED BY INDIVIDUAL WELLS AND SEPTICS.
- PROPOSED USE: WAREHOUSE(S) HOURS OF OPERATION: MONDAY - FRIDAY 12:00AM - 12:00AM; INTERMITTENT TO BUILDING DELIVERIES (IN & OUT) 6:00AM - 9:00PM; WEEKENDS 7:00AM - 7:00PM
- THE PROJECT SITE LIES WITHIN THE ORANGE COUNTY AIRPORT OVERLAY DISTRICT.
- SECTION 150-22.8(2)(4) ALLOWS FOR A PORTION OF THE REQUIRED PARKING SPACES TO BE PLACED IN RESERVE (LANDSCAPED). THE LANDSCAPED PARKING SHALL BE CONSTRUCTED UPON RECEIPT OF WRITTEN NOTICE FROM THE TOWN OF HAMPTONBURGH CODE ENFORCEMENT.
- THERE SHALL BE NO WASHING / CLEANING OF VEHICLES / TRACTOR TRAILERS WITHIN THE LOADING AREAS OR ANYWHERE ON SITE.
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO A KNOWN INDIANA BAT HIBERNACULUM, ANY TREE CUTTING OR REMOVAL SHALL OCCUR WITHIN THE APPROPRIATE TIME OF YEAR WORK WINDOW, OCTOBER 1 THROUGH MARCH 31, TO AVOID DIRECT IMPACTS TO INDIVIDUALS AND THE NEED FOR AN ARTICLE 11 TAKE PERMIT.
- THE BUILDING ON LOT 2 MUST HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM WHICH MUST BE APPROVED BY THE TOWN OF HAMPTONBURGH FIRE MARSHAL PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR LOT 2.
- THE APPLICANT SHALL BE RESPONSIBLE FOR ALL NEELYTOWN ROAD IMPROVEMENTS AS SHOWN ON SHEETS C-401 - C-404 WHICH SHALL BE COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING CONSTRUCTED.
- PRIOR TO INSTALLATION OF THE PETROMAT AND ASPHALT OVERLAY, A SITE VISIT WITH THE DESIGN ENGINEER, TOWN ENGINEER, AND TOWN OF HAMPTONBURGH HIGHWAY SUPERINTENDENT SHALL OCCUR TO WALK THE WESTERLY SIDE OF NEELYTOWN ROAD TO DETERMINE ANY AREAS OF BROKEN PAVEMENT DECKS, POTHOLES, ETC. THAT WILL BE REQUIRED TO BE SAWCUT AND REPAIRED.
- ALL CATCH BASINS ON SITE SHALL HAVE A FLO-GRAB-PLUS CATCH BASIN INSERT FILTER (OR APPROVED EQUAL) INSTALLED.
- THE USE OF FERTILIZERS, PESTICIDES, HERBICIDES AND/OR INSECTICIDES SHALL BE PROHIBITED ANYWHERE ON SITE.
- ANY OUTDOOR STORAGE OF PETROLEUM PRODUCTS SHALL BE PROHIBITED.
- ANY COMMERCIAL GENERATION, STORAGE OR DISPOSAL OF ANY HAZARDOUS WASTE SHALL BE PROHIBITED.
- ANY OUTDOOR STORAGE OF ROAD SALT OR DEICING AGENT SHALL BE PROHIBITED. ADDITIONALLY, SIGNAGE REFLECTING THIS PROHIBITION SHALL BE PROMINENTLY DISPLAYED IN ALL PARKING AND LOADING AREAS ON SITE.
- THE USE OF PURE SALT FOR DEICING IS PROHIBITED. A SAND & SALT MIXTURE MAY BE UTILIZED ON THE ROADWAYS, PARKING AND LOADING AREAS. THE SAND AND SALT MIXTURE MUST CONTAIN A MINIMUM OF 60% SAND.
- THE PROPOSED WETLAND DISTURBANCE AND MITIGATION ARE SUBJECT TO ACCE AND NYSDEC REVIEW AND APPROVAL.
- ALL TENANTS SHALL REQUIRE ALL DELIVERY TRUCKS TO HAVE "SHUSHER" TYPE BACK-UPS ALARMS INSTALLED AND UTILIZED.
- THE DESIGN FOR THE PROPOSED FIRE PROTECTION SYSTEM (WATER STORAGE TANK AND PUMP BUILDING) AND THE TWO SUBSURFACE SEWAGE DISPOSAL SYSTEMS ARE NOT SUBJECT TO THE REVIEW AND APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH. REVIEW AND APPROVAL OF THESE SITE IMPROVEMENTS ARE LEFT TO THE TOWN OF HAMPTONBURGH.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENT FACTS AND ANY REGULATIONS, OR GUIDANCE, IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- DIG SAFETY NEW YORK MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION (DIAL 811 OR WWW.DIGSAFEENYNEWYORK.COM).



**LEGEND**

BUILDING LINE	EXISTING BUILDING LINE	WATER MAIN GATE VALVE
BUILDING GARAGE LINE	EXISTING MAJOR CONTOUR LINE	BORING LOCATION
BUILDING ROOF LINE	EXISTING MINOR CONTOUR LINE	SPOT GRADE ELEVATION
CONCRETE PAD LINE	EXISTING EDGE OF PAVEMENT LINE	PERC TEST LOCATION
CONCRETE HATCH	EXISTING EDGE OF CURBED PAVEMENT LINE	DEEP TEST HOLE LOCATION
MAJOR CONTOUR LINE	EXISTING EASEMENT LINE	WETLAND FLAG LOCATION AND DESIGNATION
MINOR CONTOUR LINE	EXISTING FENCE LINES	LIGHT POLE
LIMIT OF DISTURBANCE LINE	EXISTING GUIDERAIL LINES	SIGN & POST
EDGE OF GRAVEL LINE	ADJACENT PROPERTY LINE	WELL LOCATION
EASEMENT LINE	EXISTING PROPERTY LINE	SEWER CLEANOUT
SILT FENCE LINES	EXISTING EDGE OF SIDEWALK LINES	UTILITY POLE
FENCE LINES	EXISTING STORM DRAIN LINES	STONE CHECK DAM
GUIDERAIL LINES	EXISTING LIMIT OF TREE LINES	DECIDUOUS TREE LANDSCAPE SYMBOL
MATCHLINES	LIMIT OF ACOE WETLAND	EVERGREEN TREE LANDSCAPE SYMBOL
PARKING STALL STRIPE	LIMIT OF NYSDEC WETLAND	SHRUB PLANTING LANDSCAPE SYMBOL
CONSTRUCTION PHASING LINE	LIMIT OF NYSDEC WETLAND BUFFER LINE	SHRUB PLANTING LANDSCAPE SYMBOL
PROPERTY LINE	MUNICIPAL BOUNDARY	GROUND COVERING LANDSCAPE SYMBOL (HATCH 155)
ROAD CENTERLINE	ORANGE CONSTRUCTION FENCE	ROAD STATIONING LABEL
EDGE OF PAVEMENT LINE	TEMPORARY SEDIMENT BASIN CONTOUR	CATCH BASIN
EDGE OF CURBED PAVEMENT LINE	WETLAND DISTURBANCE AREAS	YARD DRAIN
SEPTIC SYSTEM LATERALS	WETLAND ADJACENT AREA DISTURBANCE AREAS	FILTER FABRIC DROP INLET PROTECTION
BUILDING SETBACK LINES	WETLAND MITIGATION AREAS	STORM DRAINAGE MANHOLE
SEWER MAIN LINES	ITEM TO REMOVED (DEMOLITION PLAN)	SEWER MANHOLE
EDGE OF SIDEWALK LINES		STORM DRAINAGE PIPE END SECTION
STORM DRAIN LINES		6 HOLE DROP BOX
STRIPING LINE		12 HOLE DISTRIBUTION BOX
LIMIT OF TREE CLEARING LINES		20 HOLE DISTRIBUTION BOX
WATER MAIN LINES		END SECTION RIP-RAP OUTLET PROTECTION
DRAINAGE SWALE		POND OUTLET STRUCTURE
		END SECTION RIP-RAP LEVEL SPREADER OUTLET

**BULK REQUIREMENTS**

TOWN OF HAMPTONBURGH - ZONING DISTRICT - I

MINIMUM BUILDING REQUIREMENTS	REQUIRED	LOT 1	LOT 2
LOT AREA	40,000 SF	648,688 SF	2,742,476 SF
STREET FRONTAGE	105 FEET	339.9 FEET	239.2 FEET
LOT WIDTH	150 FEET	402.6 FEET	182.7 FEET
FRONT YARD	80 FEET	657.8 FEET	1,305.5 FEET
REAR YARD	30 FEET	50.5 FEET	611.2 FEET
SIDE YARD (ONEBOTH)	30/60 FEET	106.9 / 305.5 FEET	133.0 / 1,299.3 FEET
MAXIMUM ALLOWABLE			
MAXIMUM BUILDING HEIGHT	35 FT	≤ 35 FT	≤ 35 FT
MAXIMUM DEVELOPMENT COVERAGE	70%	±35%	±17%
MAXIMUM BUILDING COVERAGE	35%	±15%	±8%

**PARKING REQUIREMENTS**

TOTAL SPACES REQUIRED:

LOT 1:	1 SPACE PER EMPLOYEE PER MAXIMUM SHIFT + 3 SPACES
LOT 2:	OR 1 SPACE PER 1,000 SQ-FT OF FLOOR AREA (WHICHEVER IS GREATER)

SPACES PROVIDED:

LOT 1:	PAVED SPACES: 52
	LANDBANKED SPACES: 50
	TOTAL SPACES: 102
LOT 2:	PAVED SPACES: 106
	LANDBANKED SPACES: 110
	TOTAL SPACES: 216

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	03/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

**DRAWING STATUS**

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	ISSUE DATE: 07/19/2023
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	1 OF 33
OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
OCODH APPROVAL	1 OF 5
NYSDEC APPROVAL	1 OF 33
NYSDOT APPROVAL	N/A OF N/A
OTHER	1 OF 33
FOR BID	N/A OF N/A
FOR CONSTRUCTION	N/A OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

100 0 50 100 150  
1 inch = 100 ft.

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**AMENDED OVERALL SITE PLAN**

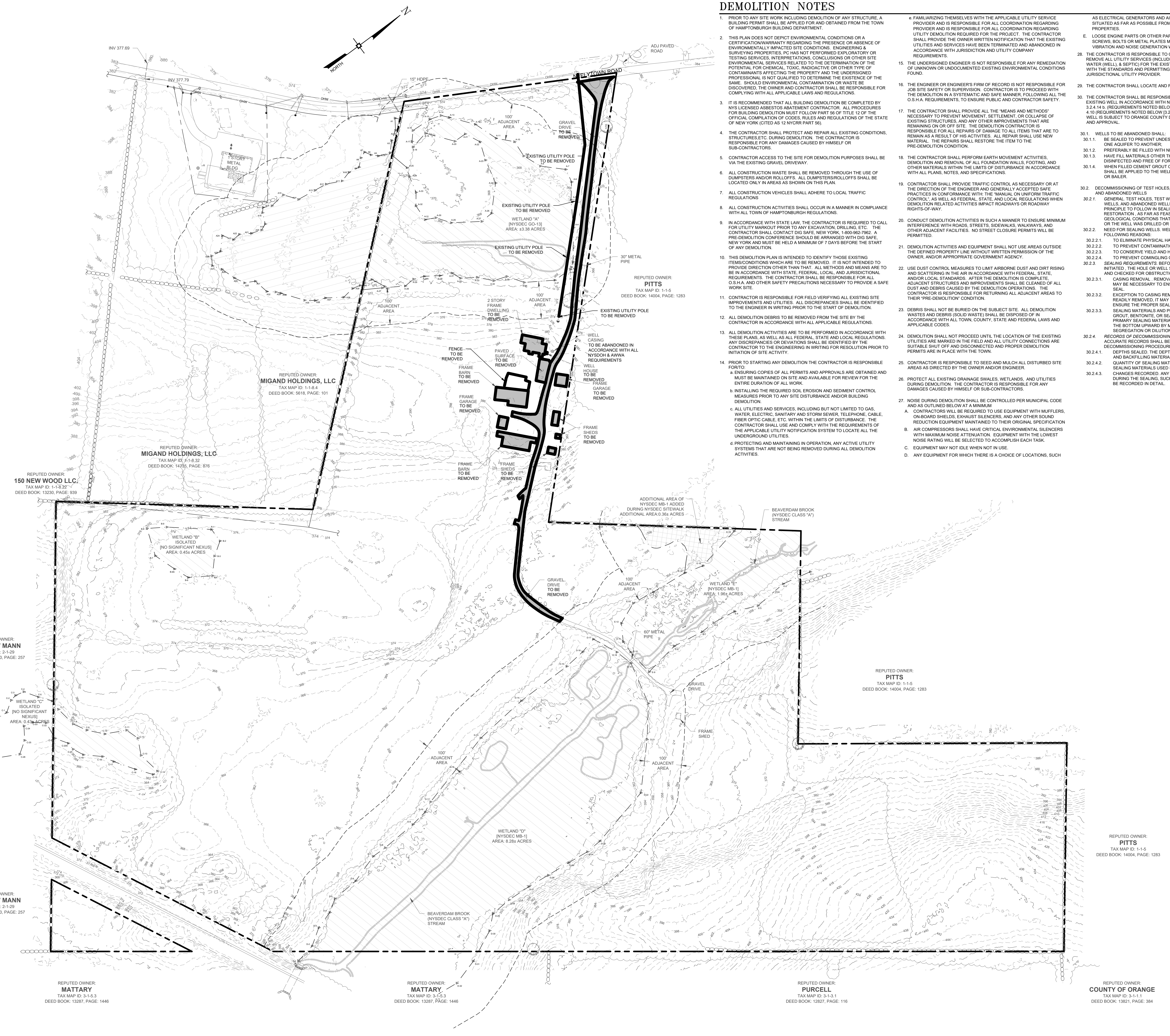
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1284.02 DRAWN BY: JS  
DATE: 01/23/19 SCALE: 1" = 100'  
REVISION: 16 - 07/19/2023 TAX LOT: 1-1-6.1 & 6.2

REPUTED OWNER: MATTARY TAX MAP ID: 3-1-5.3 DEED BOOK: 13287, PAGE: 1446  
REPUTED OWNER: PURCELL TAX MAP ID: 3-1-3.1 DEED BOOK: 12827, PAGE: 116  
REPUTED OWNER: PITTS TAX MAP ID: 1-1-5 DEED BOOK: 14004, PAGE: 1283  
REPUTED OWNER: HODGES / MANN TAX MAP ID: 2-1-29 DEED BOOK: 4770, PAGE: 257  
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**DEMOLITION NOTES**

- PRIOR TO ANY SITE WORK INCLUDING DEMOLITION OF ANY STRUCTURE, A BUILDING PERMIT SHALL BE APPLIED FOR AND OBTAINED FROM THE TOWN OF HAMPTONBURGH BUILDING DEPARTMENT.
- THIS PLAN DOES NOT DEFECT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. ENGINEERING & SURVEYING PROPERTIES, P.C. HAS NOT PERFORMED EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE PRESENCE OF THE SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- IT IS RECOMMENDED THAT ALL BUILDING DEMOLITION BE COMPLETED BY NYS LICENSED ASBESTOS ABATEMENT CONTRACTOR. ALL PROCEDURES FOR BUILDING DEMOLITION MUST FOLLOW PART 56 OF TITLE 23 OF THE OFFICIAL COMPILATION OF CODES, RULES AND REGULATIONS OF THE STATE OF NEW YORK (CITED AS 12 NYCRR PART 56).
- THE CONTRACTOR SHALL PROTECT AND REPAIR ALL EXISTING CONDITIONS, STRUCTURES, ETC. DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.
- CONTRACTOR ACCESS TO THE SITE FOR DEMOLITION PURPOSES SHALL BE VIA THE EXISTING GRAVEL DRIVEWAY.
- ALL CONSTRUCTION WASTE SHALL BE REMOVED THROUGH THE USE OF DUMPSTERS AND/OR ROLLOFFS. ALL DUMPSTERS/ROLLOFFS SHALL BE LOCATED ONLY IN AREAS AS SHOWN ON THIS PLAN.
- ALL CONSTRUCTION VEHICLES SHALL ADHERE TO LOCAL TRAFFIC REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL OCCUR IN A MANNER IN COMPLIANCE WITH ALL TOWN OF HAMPTONBURGH REGULATIONS.
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR IS REQUIRED TO CALL FOR UTILITY MARKOUT PRIOR TO ANY EXCAVATION, DRILLING, ETC. THE CONTRACTOR SHALL CONTACT DIG SAFE, NEW YORK, 1-800-962-7962. A PRE-DEMOLITION CONFERENCE SHOULD BE ARRANGED WITH DIG SAFE, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IF IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING PRIOR TO THE START OF DEMOLITION.
- ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION THE CONTRACTOR IS RESPONSIBLE FOR:
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS ARE OBTAINED AND MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW FOR THE ENTIRE DURATION OF ALL WORK.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SITE DISTURBANCE AND/OR BUILDING DEMOLITION.
  - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECTING AND MAINTAINING IN OPERATION, ANY ACTIVE UTILITY SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH ALL PLANS, NOTES, AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS NECESSARY OR AT THE DIRECTION OF THE ENGINEER AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. NO STREET CLOSURE PERMITS WILL BE PERMITTED.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- DEMOLITION SHALL NOT PROCEED UNTIL THE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLE SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE TOWN.
- CONTRACTOR IS RESPONSIBLE TO SEED AND MULCH ALL DISTURBED SITE AREAS AS DIRECTED BY THE OWNER AND/OR ENGINEER.
- PROTECT ALL EXISTING DRAINAGE SWALES, WETLANDS, AND UTILITIES DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.
- NOISE DURING DEMOLITION SHALL BE CONTROLLED PER MUNICIPAL CODE AND AS OUTLINED BELOW AT A MINIMUM:
  - CONTRACTORS WILL BE REQUIRED TO USE EQUIPMENT WITH MUFFLERS, ON-BOARD SHIELDS, EXHAUST SILENCERS, AND ANY OTHER SOUND REDUCTION EQUIPMENT MAINTAINED TO THEIR ORIGINAL SPECIFICATION.
  - AIR COMPRESSORS SHALL HAVE CRITICAL ENVIRONMENTAL SILENCERS WITH MAXIMUM NOISE ATTENUATION. EQUIPMENT WITH THE LOWEST NOISE RATING WILL BE SELECTED TO ACCOMPLISH EACH TASK.
  - EQUIPMENT MAY NOT IDLE WHEN NOT IN USE.
  - ANY EQUIPMENT FOR WHICH THERE IS A CHOICE OF LOCATIONS, SUCH AS ELECTRICAL GENERATORS AND AIR COMPRESSORS, WILL BE SITUATED AS FAR AS POSSIBLE FROM THE ADJACENT RESIDENTIAL PROPERTIES.
  - LOOSE ENGINE PARTS OR OTHER PARTS WITH LOOSE OR MISSING SCREWS, BOLTS OR METAL PLATES MUST BE REPAIRED SO THAT VIBRATION AND NOISE GENERATION WILL BE MINIMIZED.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE, TERMINATE AND REMOVE ALL UTILITY SERVICES (INCLUDING BUT NOT LIMITED TO ELECTRIC, WATER (WELL), & SEPTIC) FOR THE EXISTING STRUCTURES IN ACCORDANCE WITH THE STANDARDS AND PERMITTING REQUIREMENTS OF THE JURISDICTIONAL UTILITY PROVIDER.
- THE CONTRACTOR SHALL LOCATE AND REMOVE THE EXISTING SEPTIC TANK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABANDONMENT OF THE EXISTING WELL IN ACCORDANCE WITH NYSOHD APPENDIX A SECTION 3.2.4.14 (b) (REQUIREMENTS NOTED BELOW (5) (I)) AND AWWA A100.47 SECTION 4 (b) (REQUIREMENTS NOTED BELOW (3) (D)). ABANDONMENT OF THE EXISTING WELL IS SUBJECT TO ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.
  - WELLS TO BE ABANDONED SHALL:
    - BE SEALED TO PREVENT UNDESIRABLE EXCHANGE OF WATER FROM ONE AQUIFER TO ANOTHER.
    - PREFERABLY BE FILLED WITH NEAT CEMENT GROUT.
    - HAVE FILL MATERIALS OTHER THAN CEMENT GROUT OR CONCRETE, DISINFECTED AND FREE OF FOREIGN MATERIALS, AND WHEN FILLED CEMENT GROUT OR CONCRETE, THESE MATERIALS SHALL BE APPLIED TO THE WELL HOLE THROUGH A PIPE, TREMIE, OR BALLER.
  - DECOMMISSIONING OF TEST HOLES, PARTIALLY COMPLETED WELLS, AND ABANDONED WELLS
    - GENERAL TEST HOLES, TEST WELLS, PARTIALLY COMPLETED WELLS, AND ABANDONED WELLS SHALL BE SEALED. THE GUIDING PRINCIPLE TO FOLLOW IN SEALING ABANDONED WELLS IS THE REQUIREMENT, AS FAR AS FEASIBLE, OF THE CONTROLLING GEOLOGICAL CONDITIONS THAT EXISTED BEFORE THE TEST HOLE OR THE WELL WAS DRILLED OR CONSTRUCTED.
    - NEED FOR SEALING WELLS. WELLS NEED TO BE SEALED FOR THE FOLLOWING REASONS:
      - TO ELIMINATE PHYSICAL HAZARDS.
      - TO PREVENT CONTAMINATION OF GROUNDWATER.
      - TO CONSERVE YIELD AND HYDROSTATIC HEAD OF AQUIFERS.
      - TO PREVENT COMINGLING OF WATERS.
    - SEALING REQUIREMENTS. BEFORE SEALING OPERATIONS ARE INITIATED, THE HOLE OR WELL SHALL BE MEASURED FOR DEPTH AND CHECKED FOR OBSTRUCTIONS.
      - CASING REMOVAL. REMOVAL OF CASING FROM SOME WELLS MAY BE NECESSARY TO ENSURE PLACEMENT OF AN EFFECTIVE SEAL.
      - EXCEPTION TO CASING REMOVAL. IF THE CASING CANNOT BE READILY REMOVED, IT MAY NEED TO BE PERFORATED TO ENSURE THE PROPER SEALING REQUIRED.
      - SEALING MATERIALS AND PLACEMENT. CONCRETE, CEMENT GROUT, BENTONITE OR SEALING GLAY SHALL BE USED AS PRIMARY SEALING MATERIALS AND SHALL BE PLACED FROM THE BOTTOM UPWARD BY METHODS THAT WILL AVOID SEGREGATION OR DILUTION OF MATERIAL.
      - RECORDS OF DECOMMISSIONING PROCEDURES. COMPLETE, ACCURATE RECORDS SHALL BE KEPT OF THE ENTIRE DECOMMISSIONING PROCEDURE.
      - DEPTH SEALING. THE DEPTH OF EACH LAYER OF ALL SEALING AND BACKFILLING MATERIALS SHALL BE RECORDED.
      - QUANTITY OF SEALING MATERIAL USED. THE QUANTITY OF SEALING MATERIALS USED SHALL BE RECORDED.
      - CHANGES RECORDED. ANY CHANGES IN THE WELL MADE DURING THE SEALING, SUCH AS PERFORATING CASING, SHALL BE RECORDED IN DETAIL.



No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	02/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OGDH APPROVAL	2 OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	2 OF 33	
<input type="checkbox"/> NYSOT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	2 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

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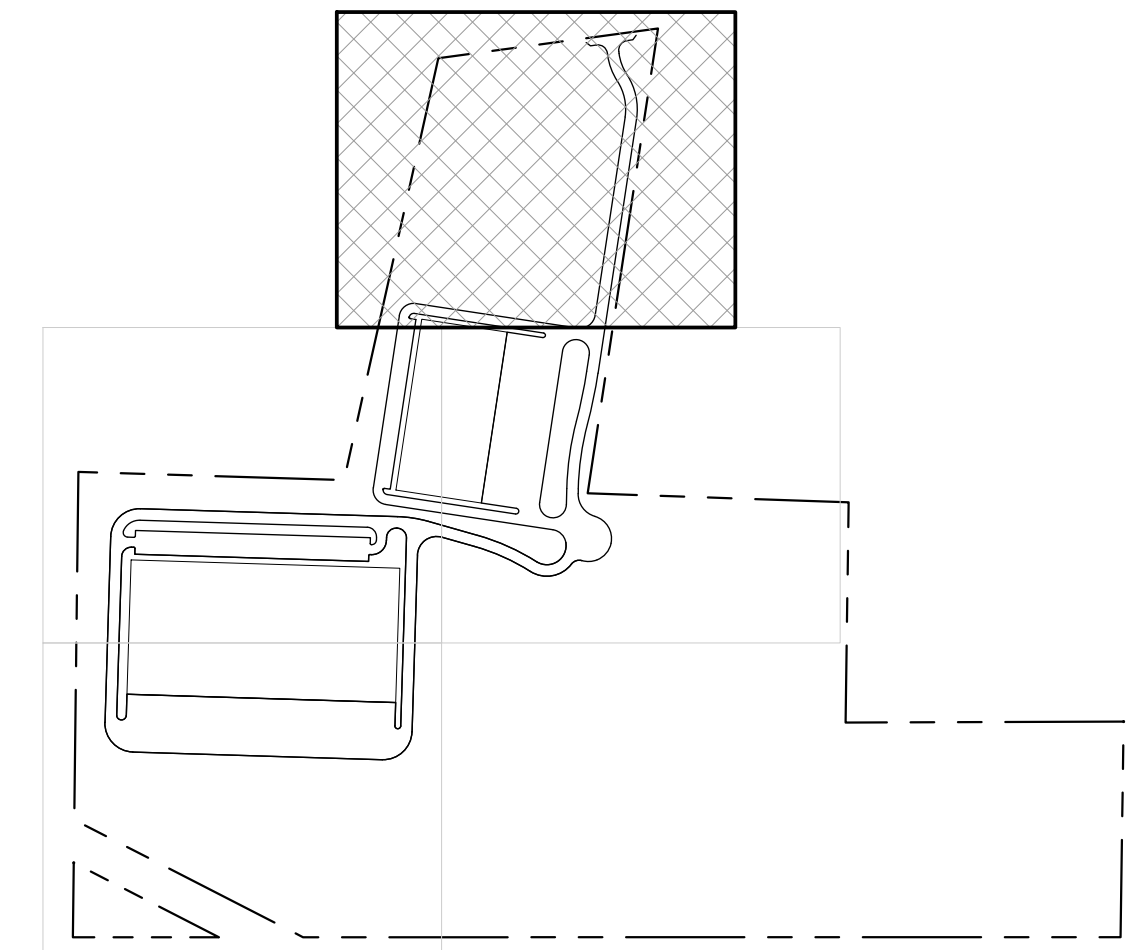
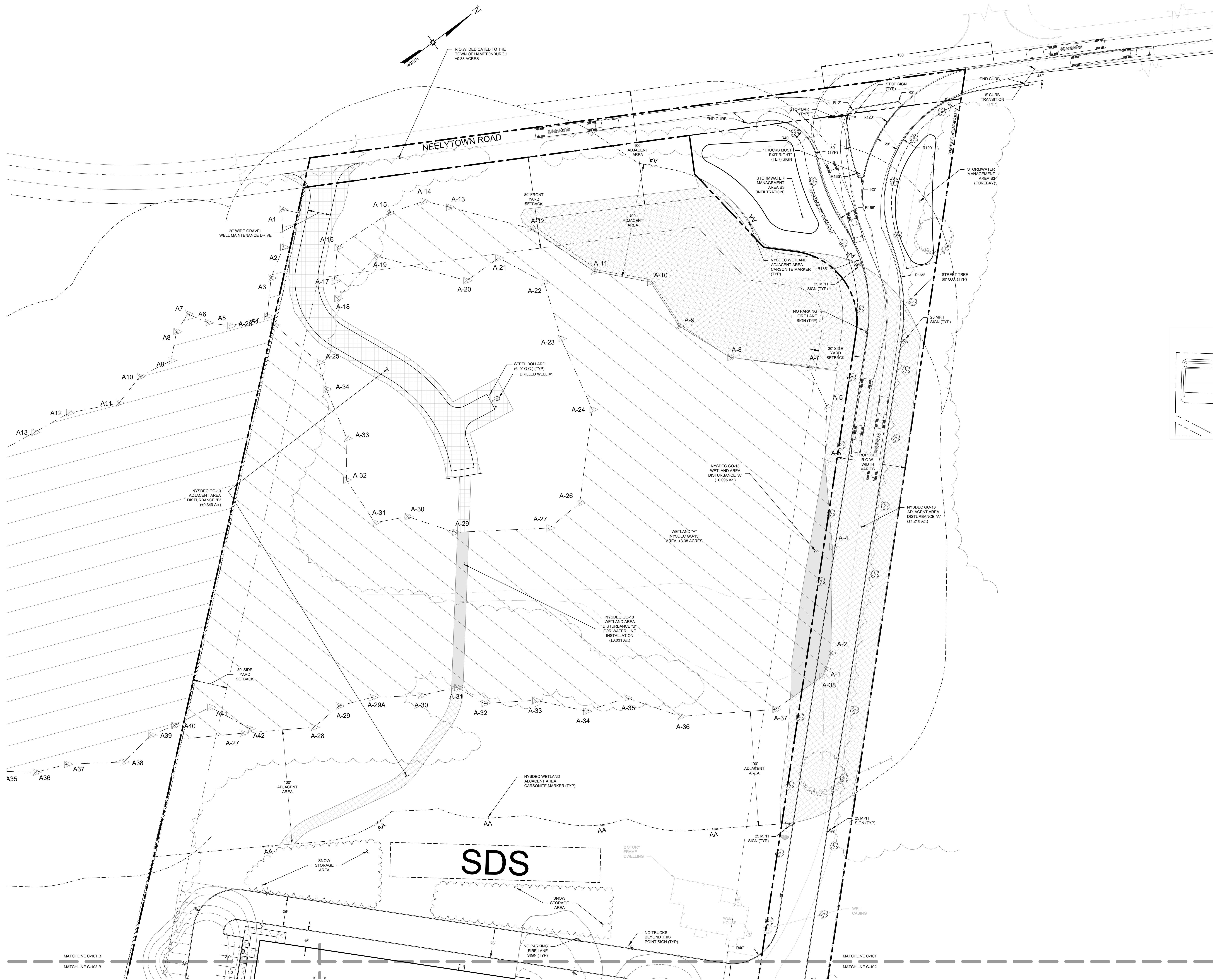
**EXISTING CONDITIONS & DEMOLITION PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1284.02  
DATE: 01/23/19  
REVISION: 16 - 07/19/2023

DRAWN BY: JS  
SCALE: 1" = 100'  
TAX LOT: 1-1-6.1 & 6.2

**C-100**



**KEY MAP**  
SCALE: 1"=30.00'

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	03/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
SHEET NUMBER		
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH APPROVAL	N/A OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	3 OF 33	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	3 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

1 inch = 30 ft.

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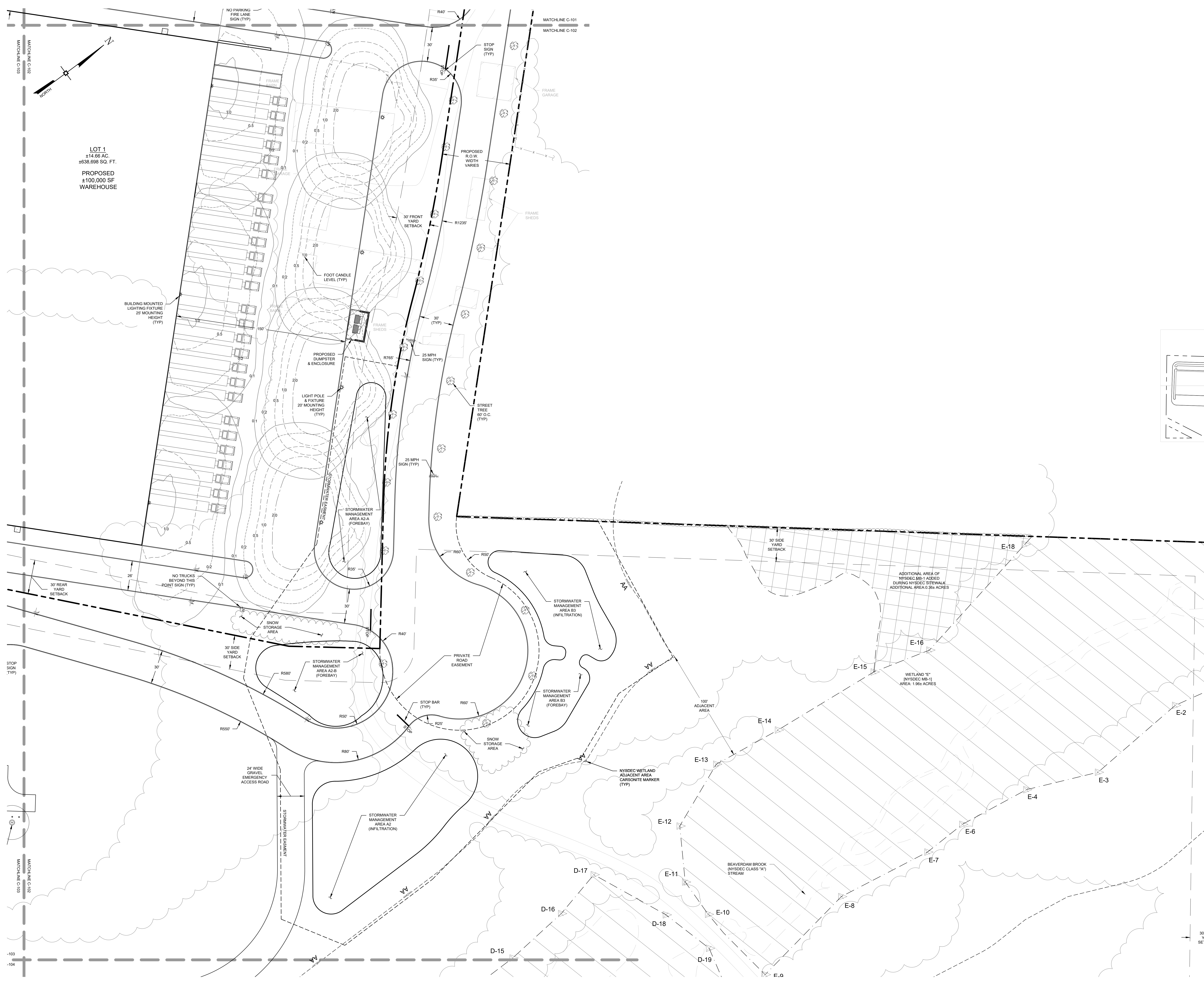
**SITE PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

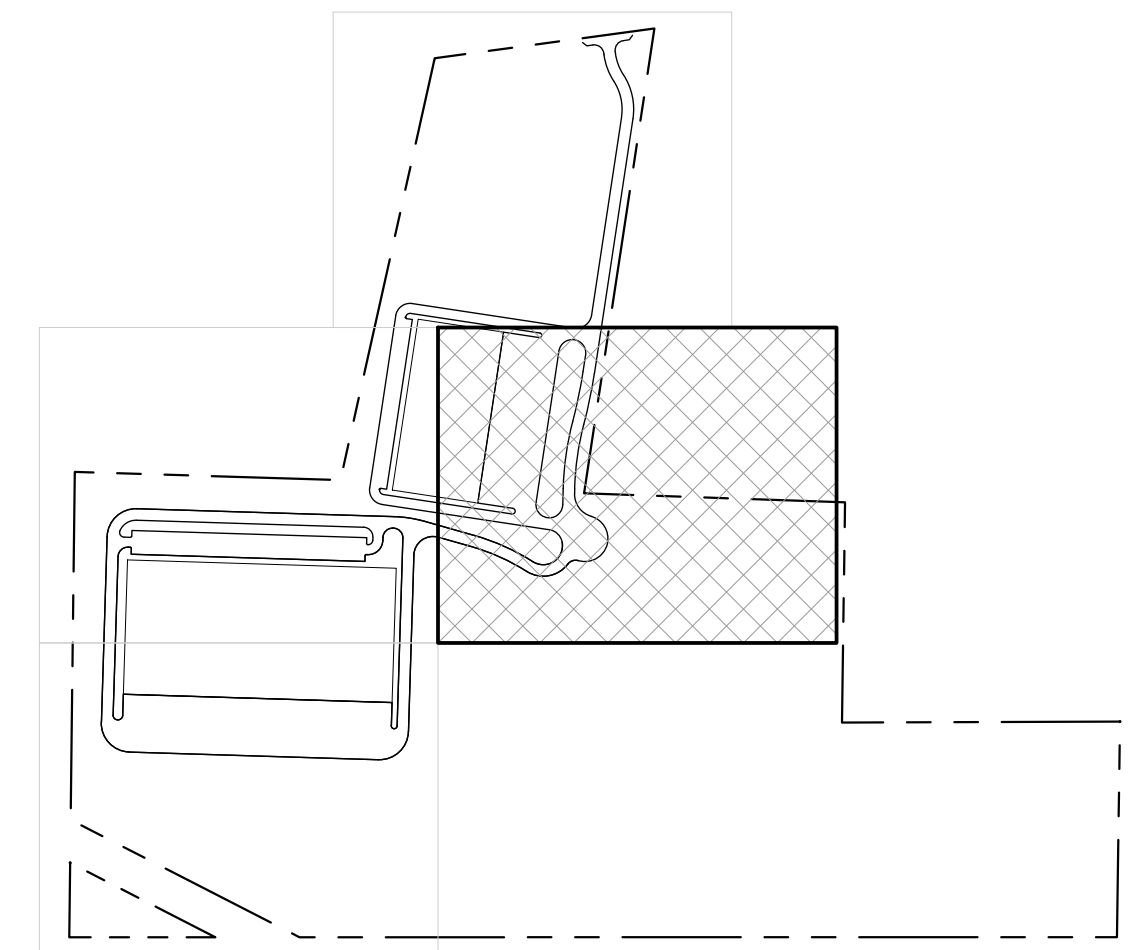
JOB #: 1284.02  
DATE: 01/23/19  
REVISION: 16 - 07/19/2023

DRAWN BY: JS  
SCALE: 1" = 30'  
TAX LOT: 1-1-6.1 & 6.2

**C-101**



LOT 1  
±14.85 AC.  
±838,698 SQ. FT.  
PROPOSED  
±100,000 SF  
WAREHOUSE



KEY MAP  
SCALE: 1"=5,000'

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	03/22/20	REVISED PER ENGINEER COMMENTS
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5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER WISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 33
<input type="checkbox"/>	OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDH APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	4 OF 33
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	4 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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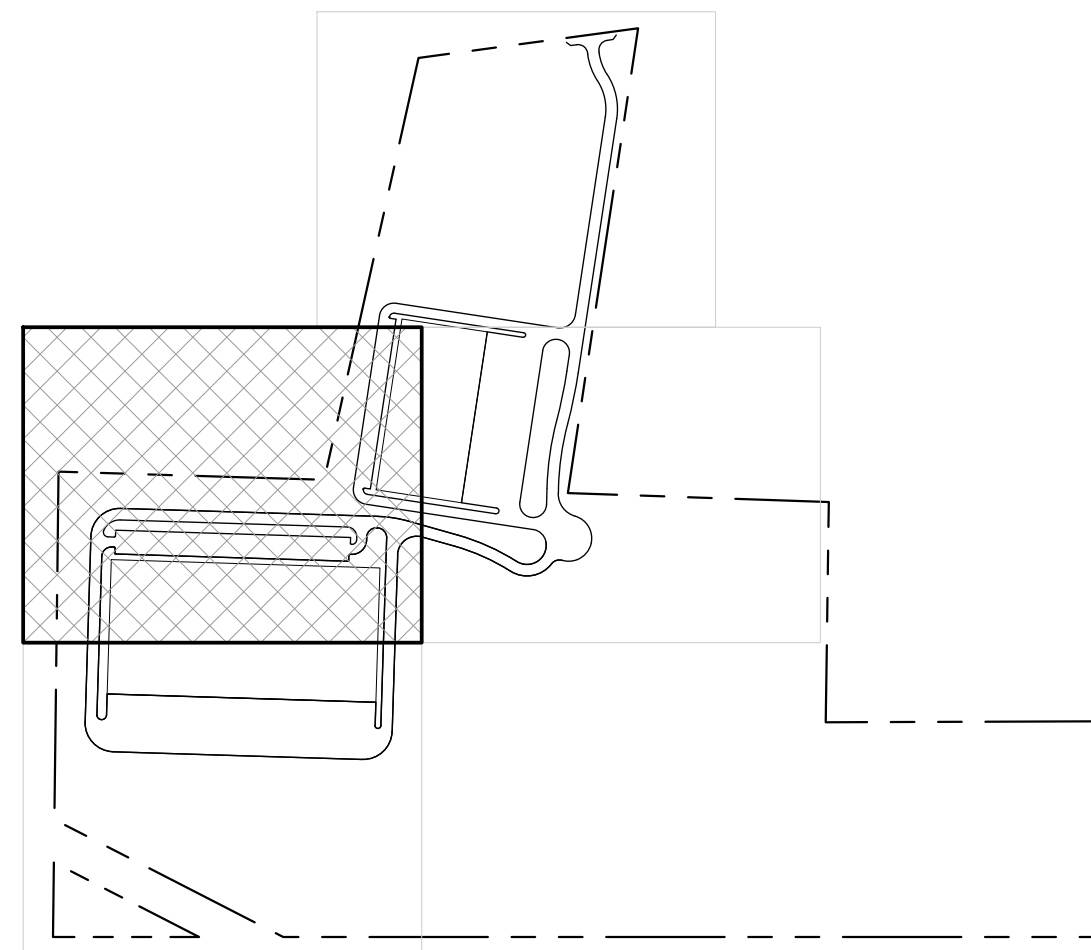
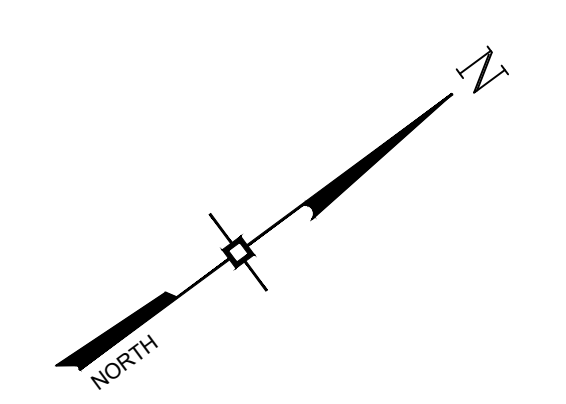
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71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
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**SITE PLAN**

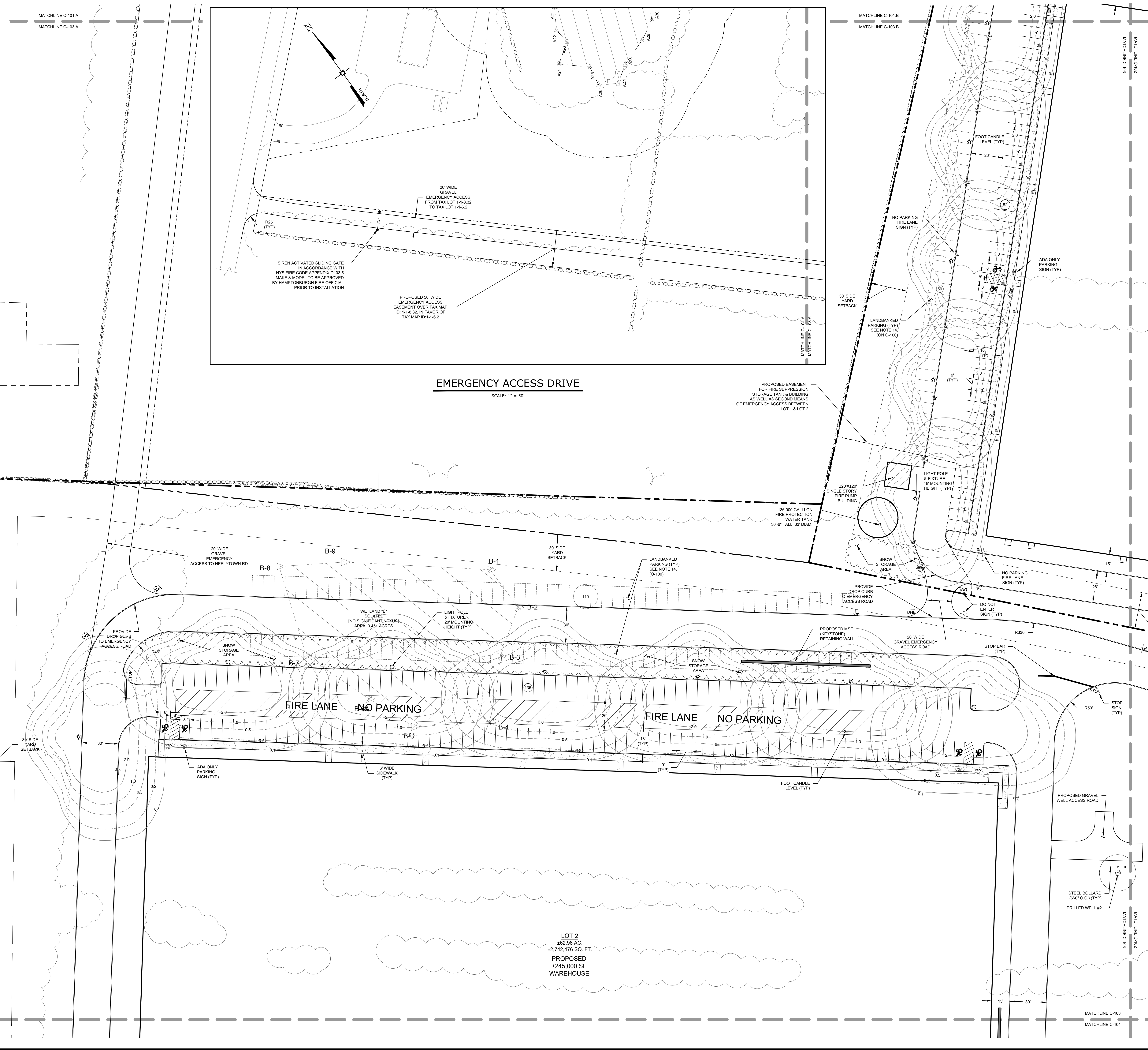
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-102**



**KEY MAP**  
SCALE: 1"=5,000'



**EMERGENCY ACCESS DRIVE**  
SCALE: 1" = 50'

LOT 2  
±62.96 AC.  
±2,742,476 SQ. FT.  
PROPOSED  
±245,000 SF  
WAREHOUSE

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	03/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADOPTED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	5 OF 33
<input type="checkbox"/>	OGDCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDCH APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	5 OF 33
<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	5 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 080023

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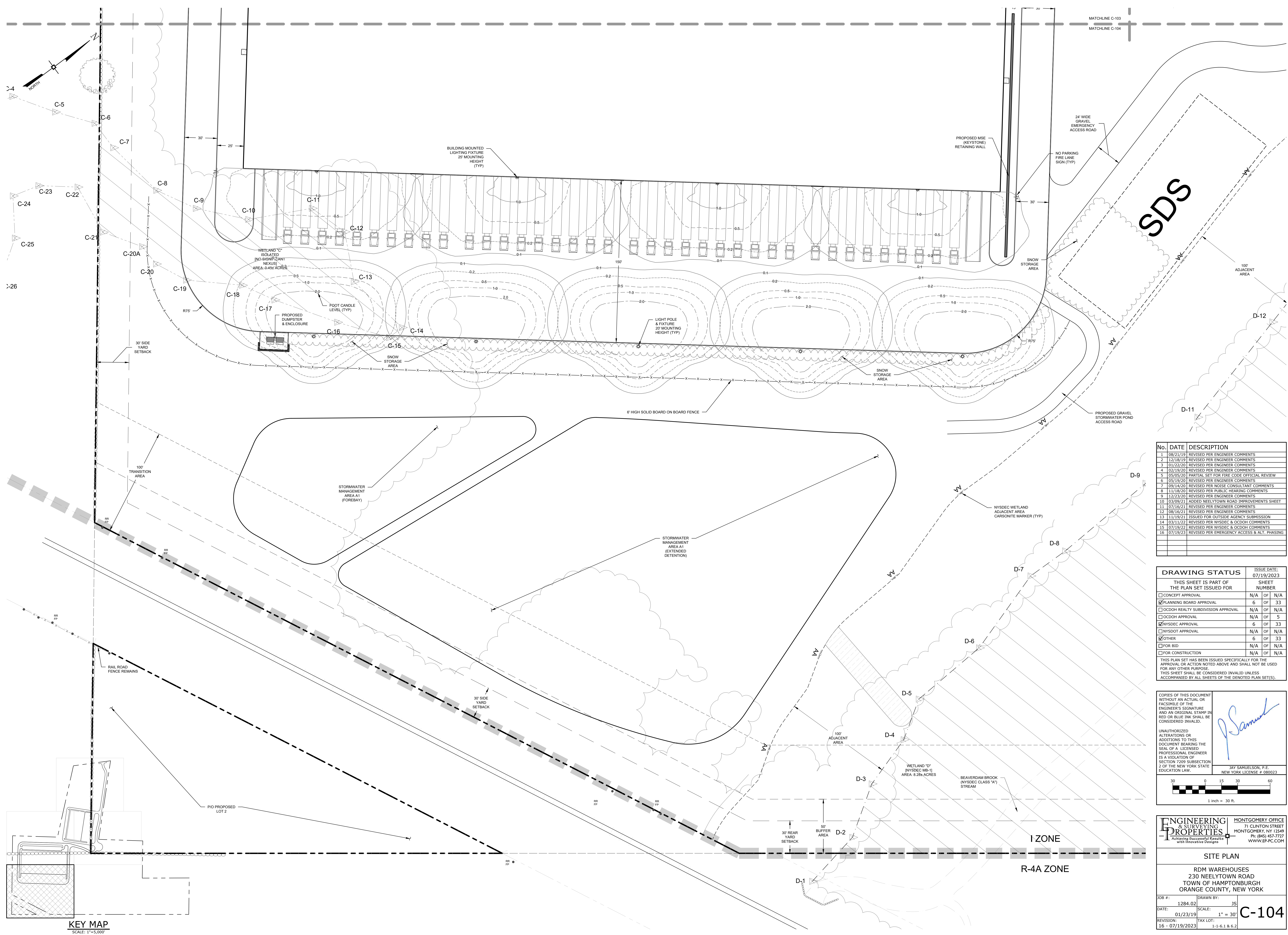
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**SITE PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-103**



SDS

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	02/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH APPROVAL	N/A OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	6 OF 33	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	6 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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NEW YORK LICENSE # 080023

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71 CLINTON STREET  
MONTGOMERY, NY 12549  
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**SITE PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

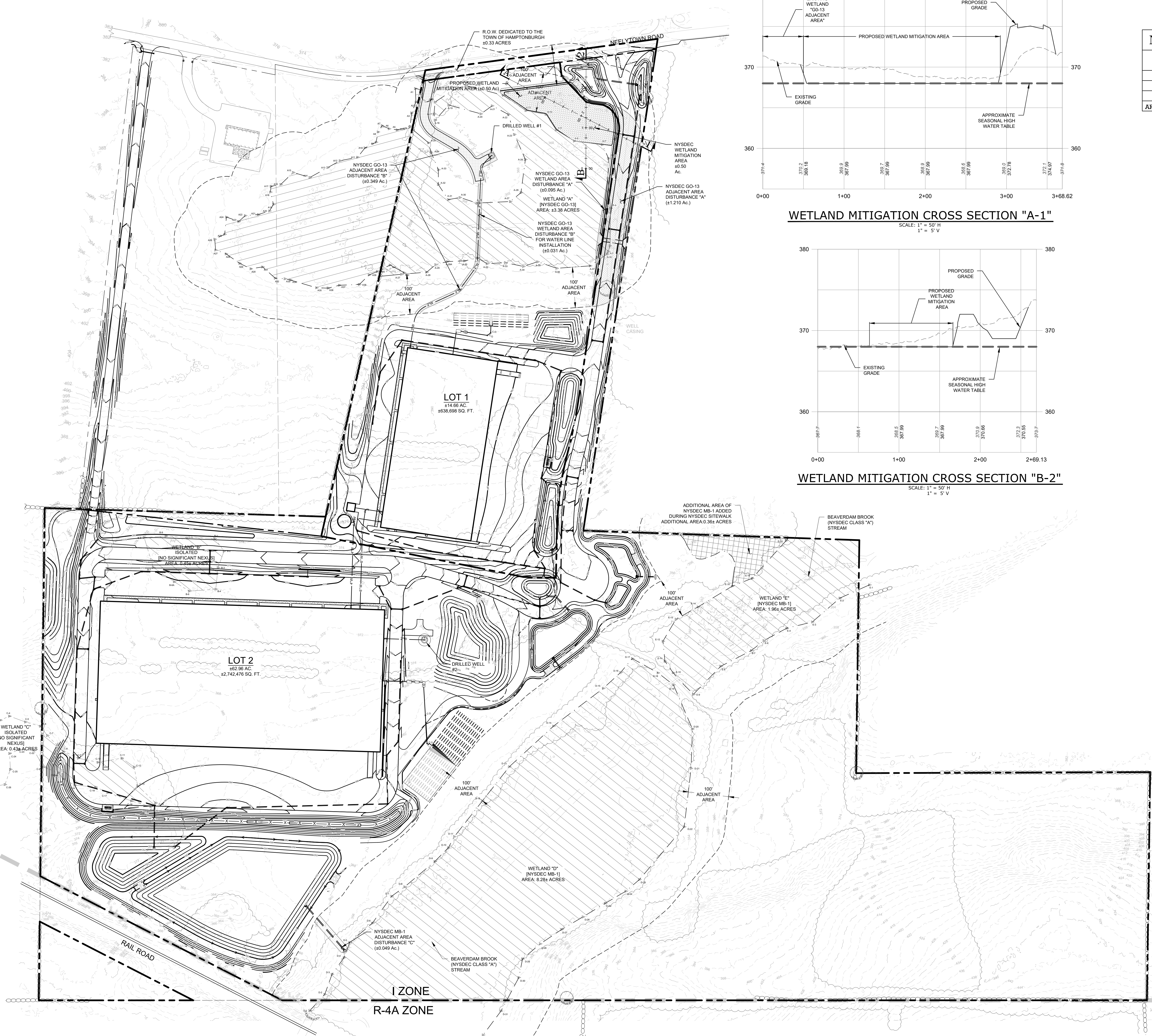
JOB #: 1284.02 DRAWN BY: JS  
DATE: 01/23/19 SCALE: 1" = 30'  
REVISION: 16 - 07/19/2023 TAX LOT: 1-1-6.1 & 6.2

**C-104**

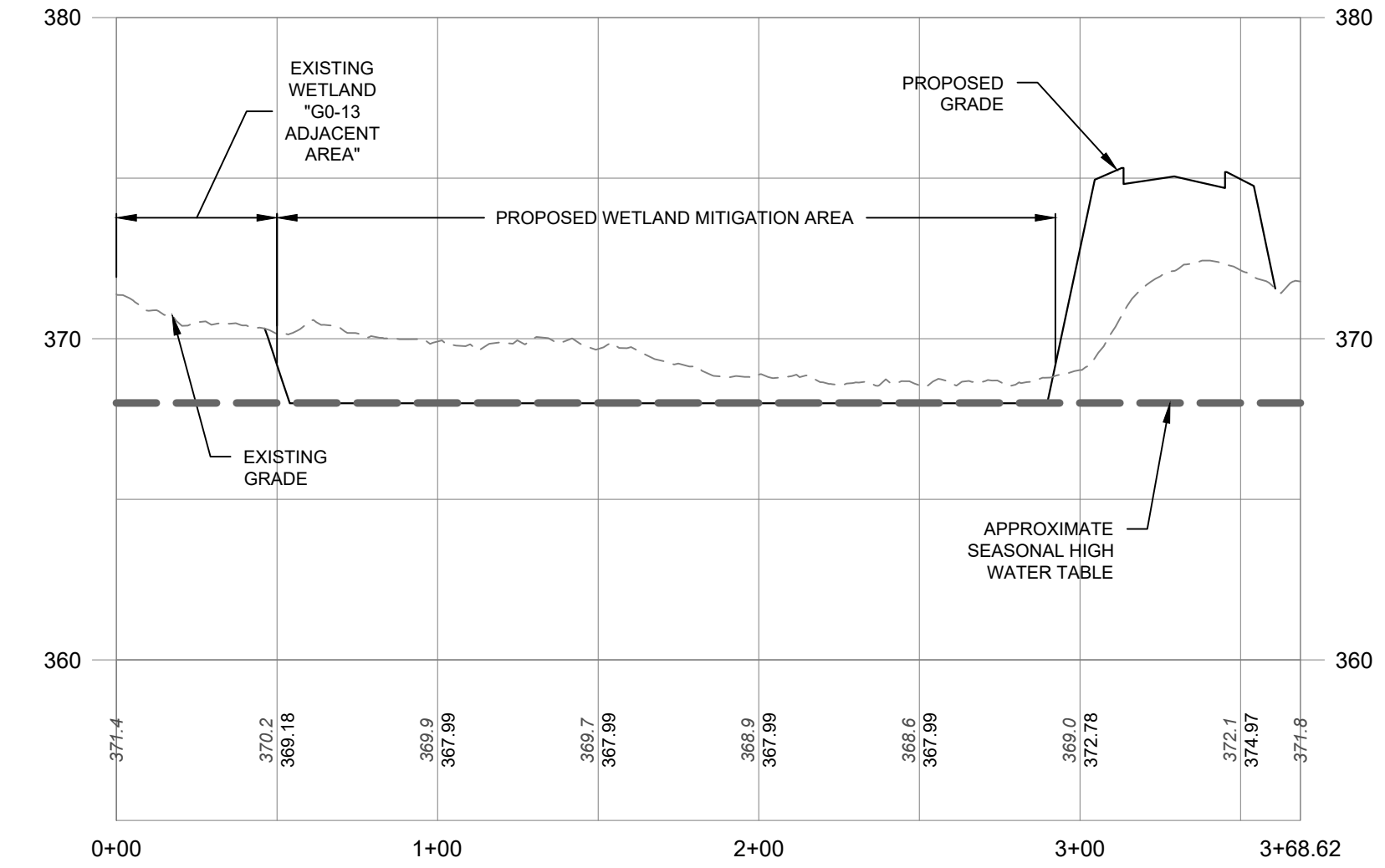
KEY MAP  
SCALE: 1" = 5,000'

11/20/23 - 1284.02 - RDM Warehouse - 230 Neelytown Rd - Hamptnburgh Site Phasing  
Date Printed: Jul 18, 2023, 5:17pm

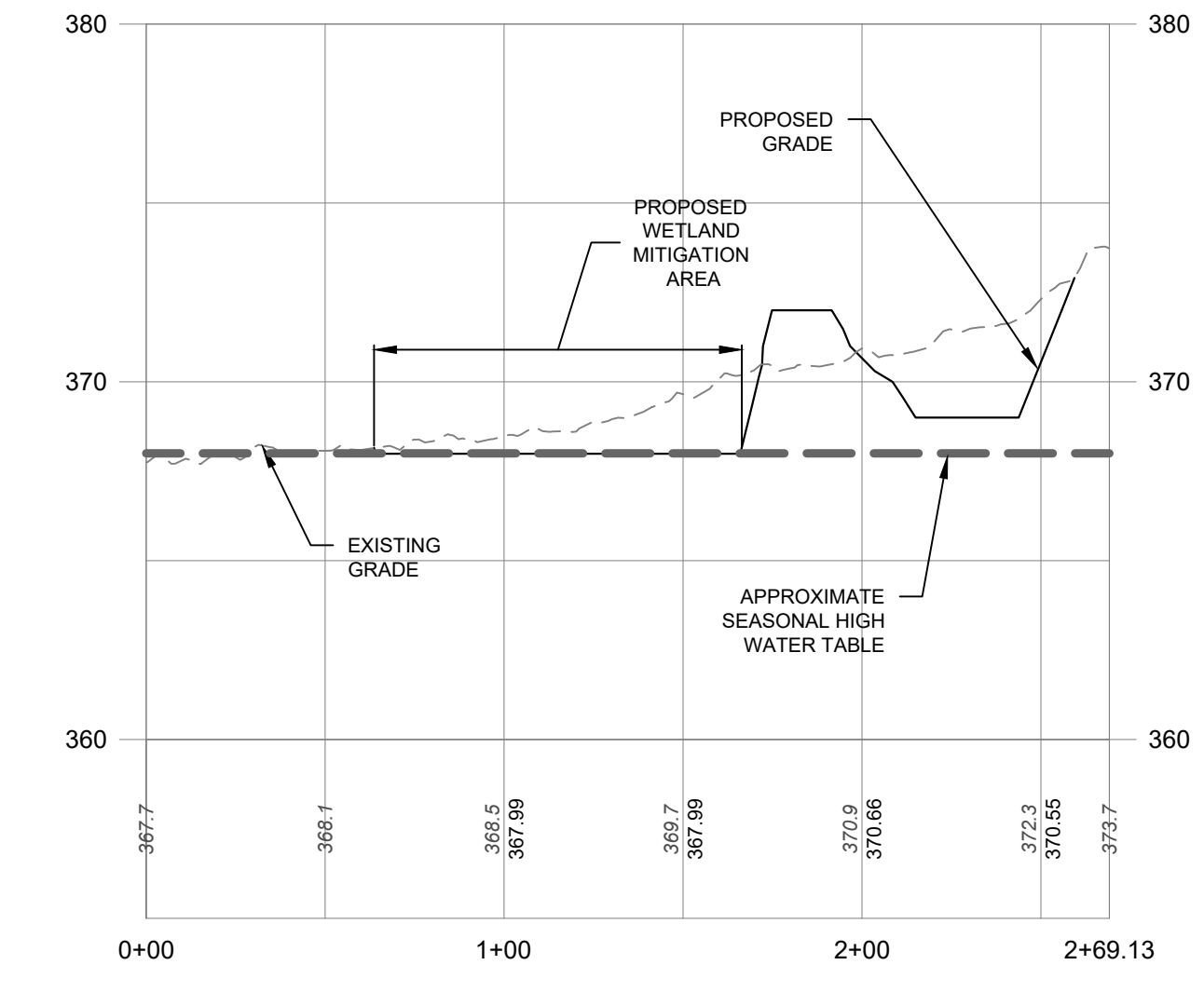
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NYSDEC WETLAND DISTURBANCE AREAS			
DISTURBANCE AREA	FRESHWATER WETLAND	WETLAND DISTURBANCE	ADJACENT AREA DISTURBANCE
AREA "A"	GO-13	±0.095 Ac.	±1.210 Ac.
AREA "B"	GO-13	±0.031 Ac.	±0.349 Ac.
AREA "C"	MB-1	±0.000 Ac.	±0.049 Ac.
AREA "D" (NEELYTOWN RD)	MB-1	±0.019 Ac. (TEMP)	±0.226 Ac.



WETLAND MITIGATION CROSS SECTION "A-1"  
SCALE: 1" = 50' H  
1" = 5' V



WETLAND MITIGATION CROSS SECTION "B-2"  
SCALE: 1" = 50' H  
1" = 5' V

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
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7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	7 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH APPROVAL	N/A OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	7 OF 33	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	7 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

100 0 50 100 200  
1 inch = 100 ft.

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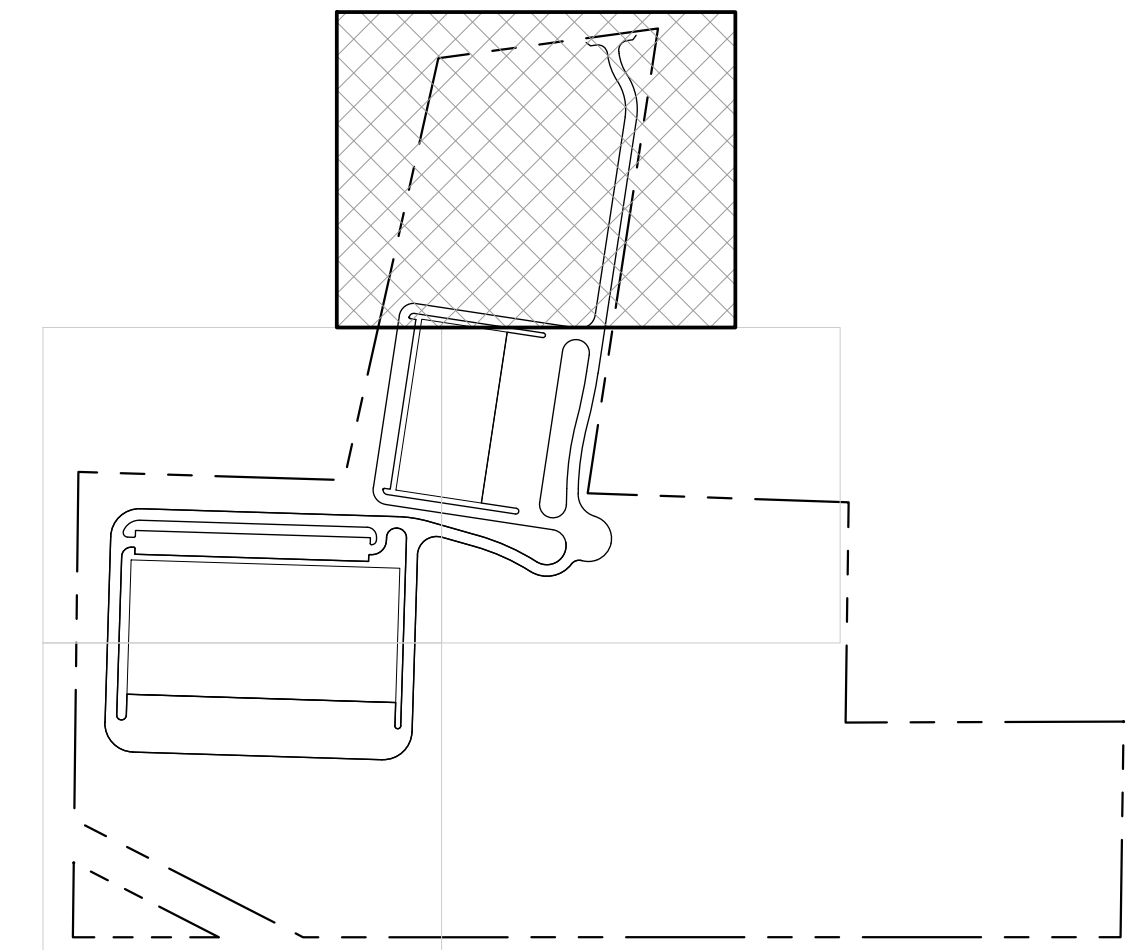
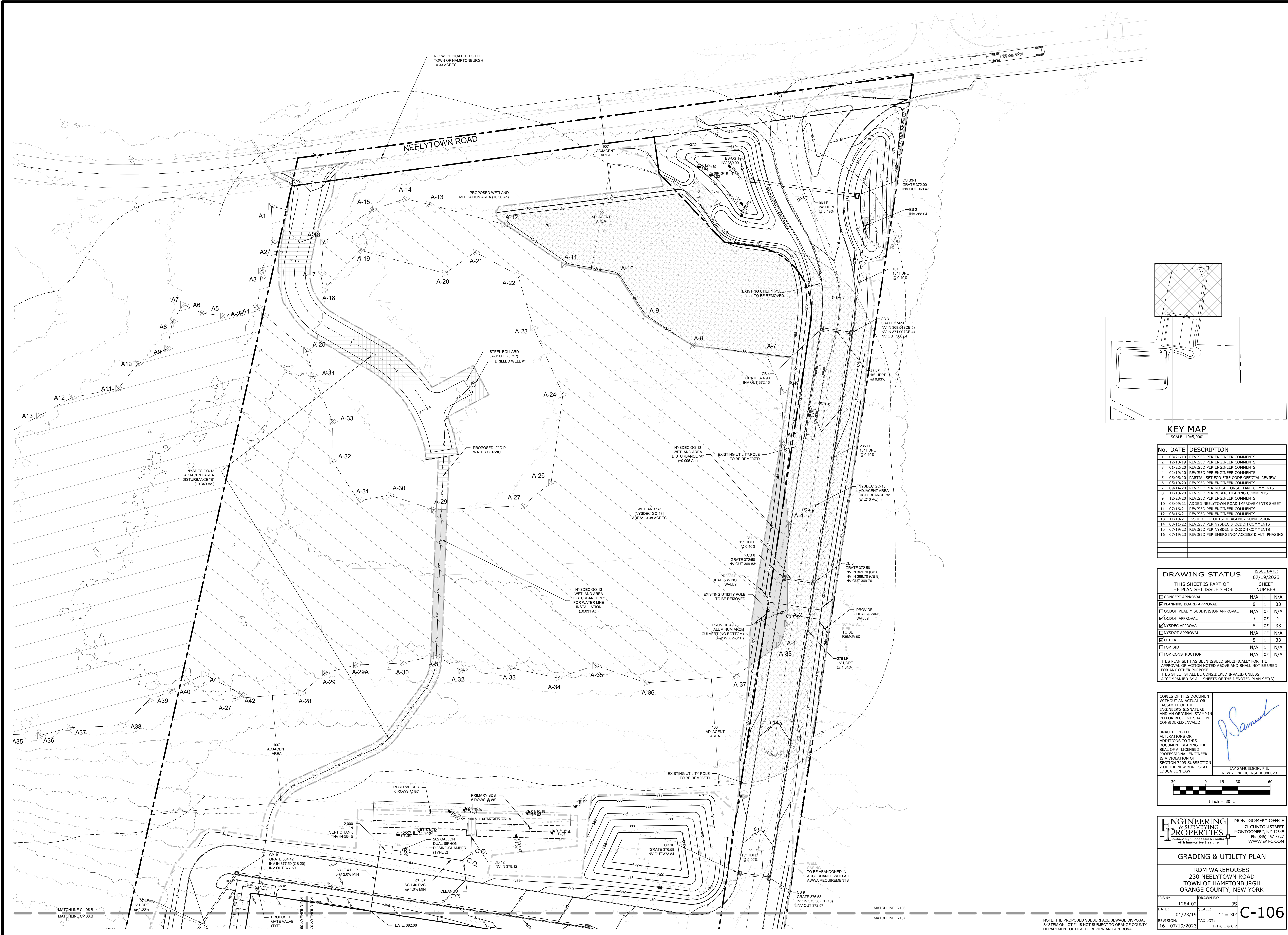
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71 CLINTON STREET  
MONTGOMERY, NY 12549  
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OVERALL GRADING PLAN

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 100'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

C-105



**KEY MAP**  
SCALE: 1"=5,000'

No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	02/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	8 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OGDH APPROVAL	3 OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	8 OF 33	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	8 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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**GRADING & UTILITY PLAN**

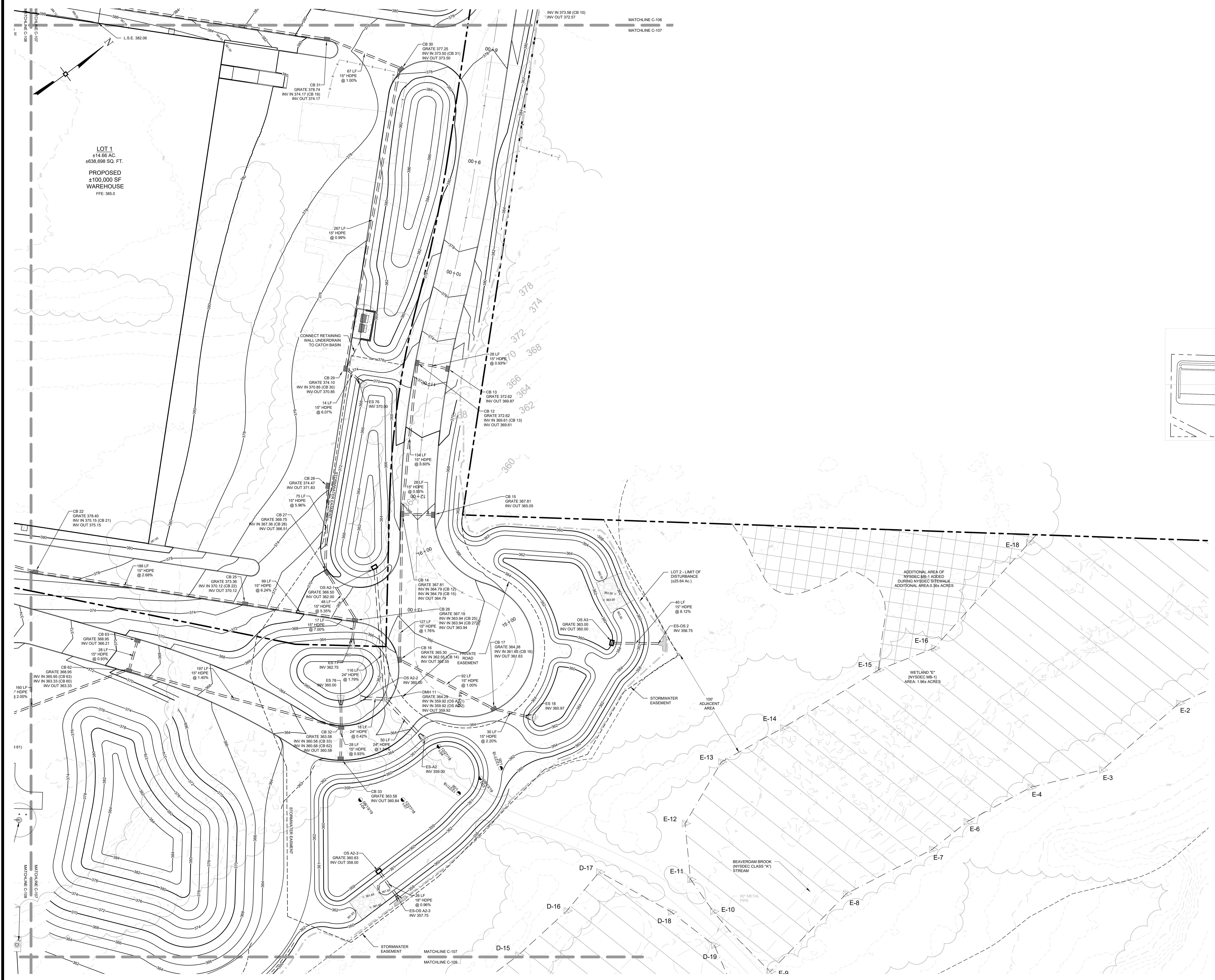
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

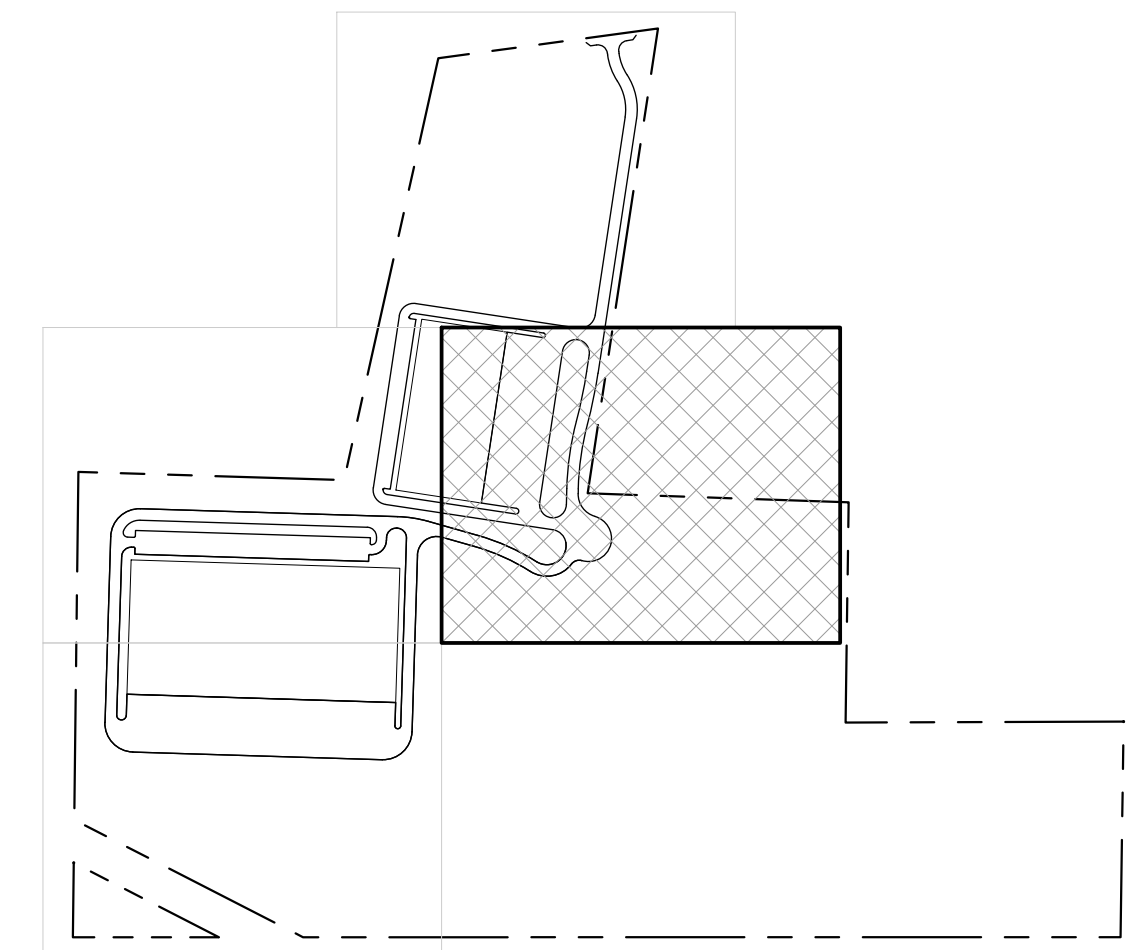
**C-106**

NOTE: THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM ON LOT #1 IS NOT SUBJECT TO ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.





LOT 1  
±14.85 AC.  
±838,698 SQ. FT.  
PROPOSED  
±100,000 SF  
WAREHOUSE  
FFE: 385.0



KEY MAP  
SCALE: 1"=5,000'

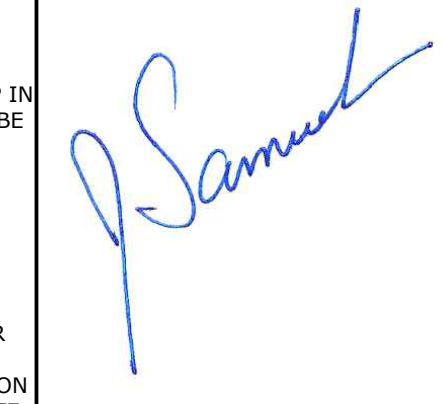
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	9 OF 33
<input type="checkbox"/>	OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
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<input checked="" type="checkbox"/>	NYSDEC APPROVAL	9 OF 33
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	9 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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RDM WAREHOUSES  
230 NEELYTOWN ROAD  
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ORANGE COUNTY, NEW YORK

JOB #: 1284.02 DRAWN BY: JS  
DATE: 01/23/19 SCALE: 1" = 30'  
REVISION: 16 - 07/19/2023 TAX LOT: 1-1-6.1 & 6.2

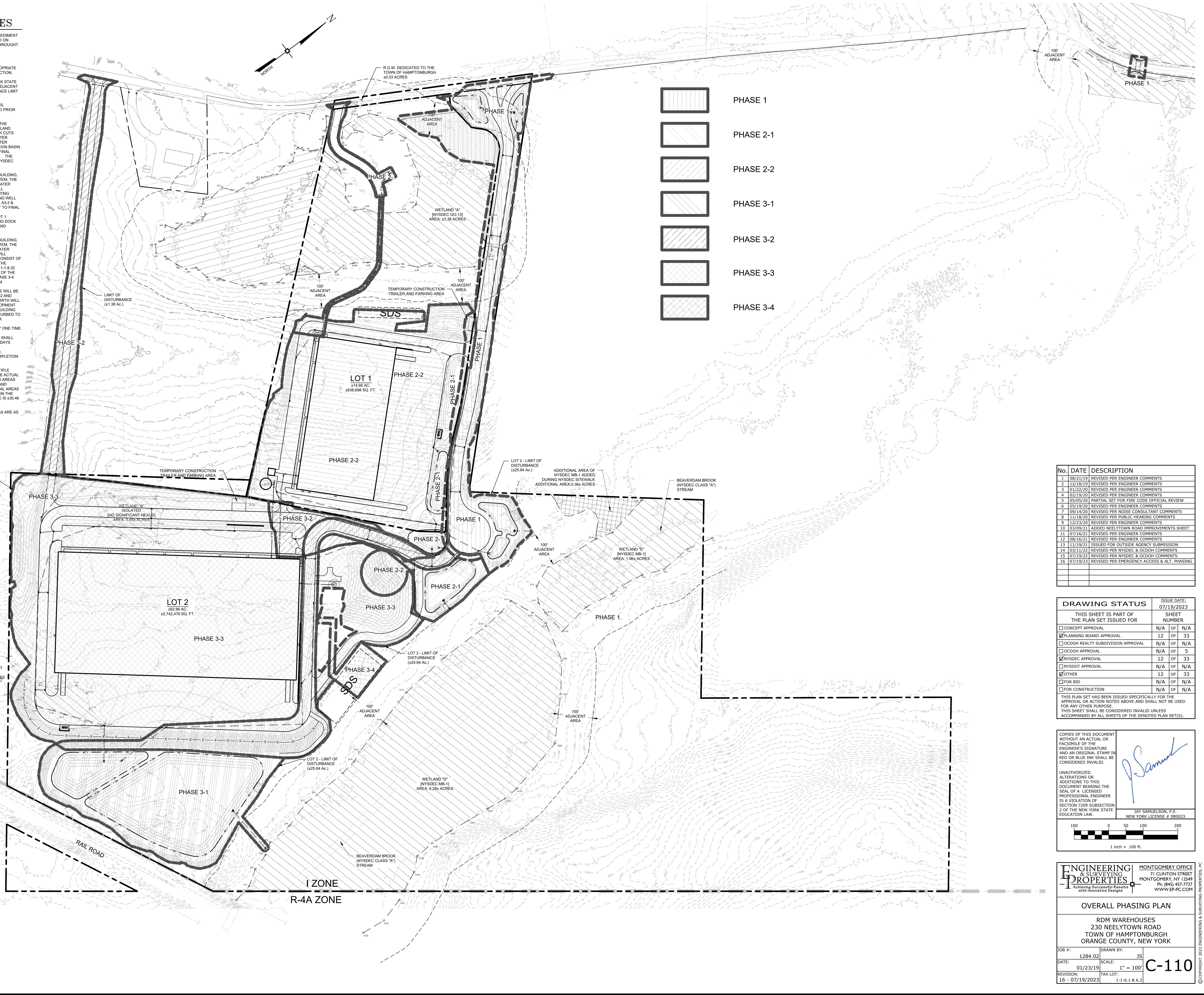
**C-107**












# CONSTRUCTION PHASING NOTES

- ADDITIONAL NOTATION REGARDING SEQUENCING OF CONSTRUCTION, EROSION & SEDIMENT CONTROL, EARTHWORK CONSTRUCTION, AND BLASTING PROTOCOLS ARE DETAILED ON SHEET C-304 AND SHALL BE ADHERED TO. ANY CONFLICT OF NOTATION SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY FOR CLARIFICATION.
- TOTAL AREA OF DISTURBANCE IS ESTIMATED AT 335.46 ACRES
- A PRE-CONSTRUCTION NOTIFICATION AND MEETING WILL BE REQUIRED WITH APPROPRIATE MUNICIPAL AND UTILITY OFFICIALS AT LEAST 7 DAYS PRIOR TO START OF CONSTRUCTION.
- ANY PHASE WITH DISTURBANCE WITHIN 10 FEET TO ANY PORTION OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION WETLANDS AND/OR WETLAND ADJACENT AREA SHALL HAVE ORANGE CONSTRUCTION FENCE STAKED ALONG THE DISTURBANCE LIMIT PRIOR TO ANY CONSTRUCTION WITHIN THAT PHASE OCCURS.
- TEMPORARY EROSION CONTROL MEASURES, SILT FENCES, SEDIMENT TRAP/SIBASINS, TEMPORARY OUTLET STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
- PHASE 1 SHALL CONSIST OF CONSTRUCTION OF THE NEELYTOWN ROAD CULVERT, THE PRIVATE ROADWAY, ASSOCIATED STORMWATER FACILITIES (A2 & B3), AND THE WETLAND MITIGATION AREA. THE ROADWAY CONSTRUCTION SHALL CONSIST OF EARTHWORK CUTS AND FILLS AS NECESSARY TO ESTABLISH SUBGRADE. ALL SUBSURFACE STORMWATER INFRASTRUCTURE SHALL BE INSTALLED PER THE PLAN DESIGN FOR THE STORMWATER MANAGEMENT FACILITIES. CARE SHALL BE TAKEN TO ENSURE THAT THE INFILTRATION BASIN IS NOT CUT TO FINAL GRADE DURING CONSTRUCTION AND SHALL ONLY BE CUT TO FINAL GRADE UPON STABILIZATION OF THE ROADWAY AND ALL ROADWAY EMBANKMENTS. THE WETLAND MITIGATION AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NYSDEC APPROVED WETLAND MITIGATION PLANS.
- PHASE 2 SHALL CONSIST OF LOT 1 CONSTRUCTION, WHICH INCLUDES A 100,000 SF BUILDING, ASSOCIATED PARKING AND LOADING AREAS, INDIVIDUAL SUBSURFACE SEPTIC SYSTEM, THE WATER SERVICE LINE FROM THE EXISTING DRILLED WELL, AND REQUIRED STORMWATER FACILITY (A3). PHASE 2 SHALL BE COMPLETED IN TWO SUB-PHASES. PHASE 2-1 WILL CONSIST OF THE WELL MAINTENANCE DRIVE FROM NEELYTOWN ROAD TO THE EXISTING DRILLED WELL AND TURNAROUND, ALONG WITH THE WATERMAIN FROM THE EXISTING WELL SITE TO THE BUILDING, AND THE CONSTRUCTION OF STORMWATER FACILITIES A3-1, A3-2 & A3-3. CARE SHALL BE TAKEN TO ENSURE THAT THE INFILTRATION BASIN IS NOT CUT TO FINAL GRADE DURING CONSTRUCTION AND SHALL ONLY BE CUT TO FINAL GRADE UPON STABILIZATION OF THE BUILDING, ROADWAY, PARKING AND LOADING AREAS FOR LOT 1. PHASE 2-2 SHALL CONSIST OF THE LOT 1 BUILDING, PARKING AREAS, TRUCK LOADING DOCK AREA, ALONG WITH THE FIRE SUPPRESSION STORAGE TANK AND PUMP BUILDING AND INSTALLATION OF THE LOT 1 SDS.
- PHASE 3 SHALL CONSIST OF LOT 2 CONSTRUCTION, WHICH INCLUDES A 245,000 SF BUILDING, ASSOCIATED PARKING AND LOADING AREAS, INDIVIDUAL SUBSURFACE SEPTIC SYSTEM, THE WATER SERVICE LINE FROM THE EXISTING DRILLED WELL, AND REQUIRED STORMWATER FACILITY (A1). PHASE 3 SHALL BE COMPLETED IN FOUR SUB-PHASES. PHASE 3-1 WILL CONSIST OF THE CONSTRUCTION OF STORMWATER FACILITY A1. PHASE 3-2 WILL CONSIST OF THE LOT 2 ACCESS DRIVEWAY UP TO THE EMPLOYEE PARKING AREA, ALONG WITH THE EMERGENCY ACCESS DRIVE FROM NEELYTOWN ROAD ACROSS ADJACENT TAX LOT 1-14.32 TO THE PARKING AREA OF LOT 2. PHASE 3-3 WILL CONSIST OF THE CONSTRUCTION OF THE 245,000 SF BUILDING ALONG WITH ASSOCIATED PARKING AND LOADING AREAS. PHASE 3-4 WILL CONSIST OF CONSTRUCTION OF THE INDIVIDUAL SUBSURFACE SEPTIC SYSTEM.
- IN AN ATTEMPT TO BALANCE THE SITE WITH REGARDS TO EARTH MOVEMENT, THERE WILL BE A NEED TO HAVE GREATER THAN 5 ACRES DISTURBED AT ANY TIME DURING PHASE 2 AND PHASE 3-1 TO THE SIZE OF THE BUILDINGS AND THE REQUIRED CUTS & FILLS. EARTH WILL BE MOVED FROM LOT 1 AND STOCKPILED ON LOT 2 FOR FUTURE USE IN THE DEVELOPMENT OF LOT 2. PHASE 3, WHICH CONSISTS OF THE CONSTRUCTION OF THE 245,000 SF BUILDING (WHICH ALONE IS 5-AC) WILL REQUIRE AN AREA LARGER THAN 5 ACRES TO BE DISTURBED TO ACCOMPLISH THE LARGE AMOUNTS OF CUTS AND FILLS. ADDITIONAL STORMWATER MANAGEMENT MEASURES AND ARE DETAILED ON SHEET C-304 AND ADDITIONAL REQUIREMENTS FOR SITES WITH GREATER THAN 5 ACRES OF DISTURBANCE AT ANY ONE TIME ARE LISTED BELOW.
  - THE REQUIRED CONSTRUCTION SITE INSPECTIONS BY A QUALIFIED INSPECTOR SHALL OCCUR TWO (2) TIMES EVERY SEVEN (7) DAYS WITH A MINIMUM OF TWO (2) FULL DAYS BETWEEN INSPECTIONS.
  - IN AREAS WHERE DISTURBANCE HAS TEMPORARILY OR PERMANENTLY CEASED, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE COMPLETION OF SOIL DISTURBANCE ACTIVITY.
- AS MANY OF THE PHASES WILL REQUIRE DISTURBANCE OF THE SAME AREA IN MULTIPLE PHASES, THE TOTAL DISTURBANCE OF ALL THE PHASES WILL BE GREATER THAN THE ACTUAL DISTURBANCE. AS CONSTRUCTION PROGRESSES WITHIN EACH PHASE, DISTURBED AREAS WILL BE STABILIZED. IN AN ATTEMPT TO ACHIEVE CONTINUITY OF CONSTRUCTION AND MAXIMIZE EFFICIENCY OF EARTHWORK, UTILITIES, PAVING, ETC., THERE ARE SEVERAL AREAS THAT WILL BE DISTURBED IN MULTIPLE PHASES THAT HAVE BEEN ACCOUNTED FOR IN THE OVERALL DISTURBANCE AREA OF EACH PHASE. THE TOTAL AREA OF DISTURBANCE IS 335.46 AC. BUT AS NOTED PREVIOUSLY, EACH PHASE MAY CONTAIN OVERLAPPING AREAS.
- THE MAXIMUM DISTURBANCE AREA IN EACH OF THE CONSTRUCTION PHASING AREAS ARE AS FOLLOWS:
  - PHASE 1 - 43.95 AC.
  - PHASE 2 - 49.23 AC.
  - PHASE 2-1 - 22.71 AC.
  - PHASE 2-2 - 26.52 AC.
  - PHASE 3 - 220.00 AC.
  - PHASE 3-1 - 25.97 AC.
  - PHASE 3-2 - 11.09 AC.
  - PHASE 3-3 - 113.08 AC.
  - PHASE 3-4 - 40.36 AC.



-  PHASE 1
-  PHASE 2-1
-  PHASE 2-2
-  PHASE 3-1
-  PHASE 3-2
-  PHASE 3-3
-  PHASE 3-4

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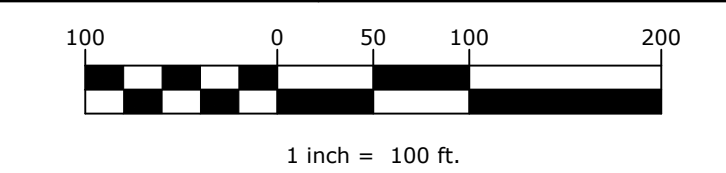
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	12 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH APPROVAL	N/A OF 5	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	12 OF 33	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OTHER	12 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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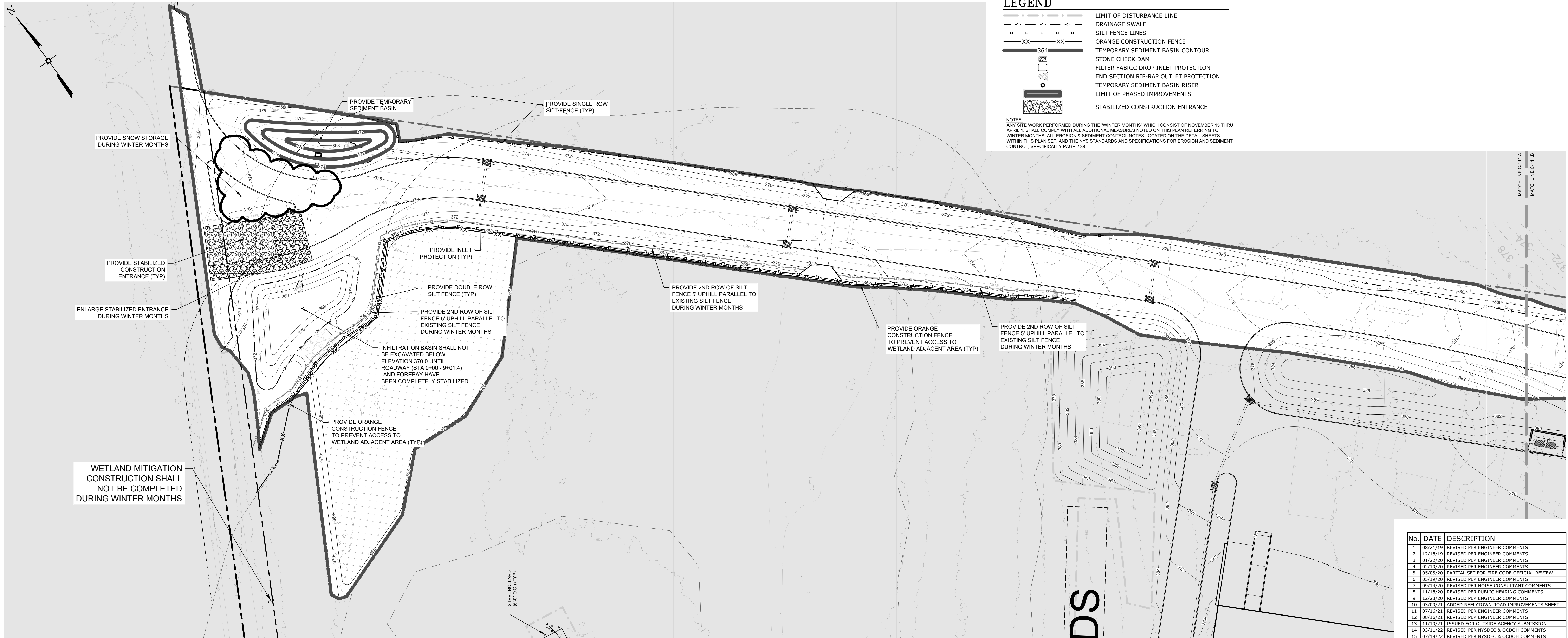
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**OVERALL PHASING PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 100'
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**C-110**

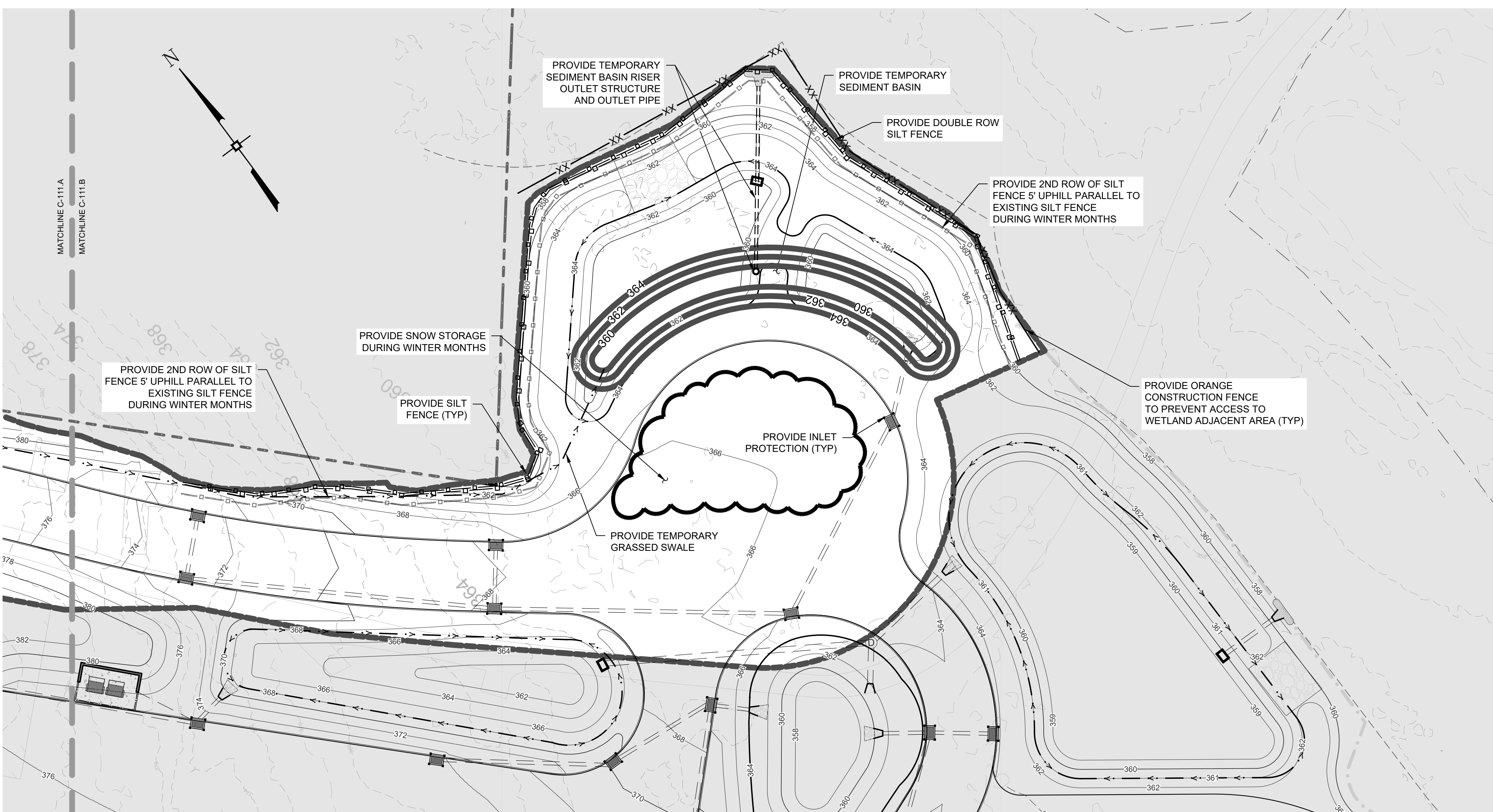


**LEGEND**

- LIMIT OF DISTURBANCE LINE
- - - DRAINAGE SWALE
- - - SILT FENCE LINES
- - - ORANGE CONSTRUCTION FENCE
- - - TEMPORARY SEDIMENT BASIN CONTOUR
- - - STONE CHECK DAM
- - - FILTER FABRIC DROP INLET PROTECTION
- - - END SECTION RIP-RAP OUTLET PROTECTION
- - - TEMPORARY SEDIMENT BASIN RISER
- - - LIMIT OF PHASED IMPROVEMENTS
- - - STABILIZED CONSTRUCTION ENTRANCE

**NOTES:**  
 ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET, AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.

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<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
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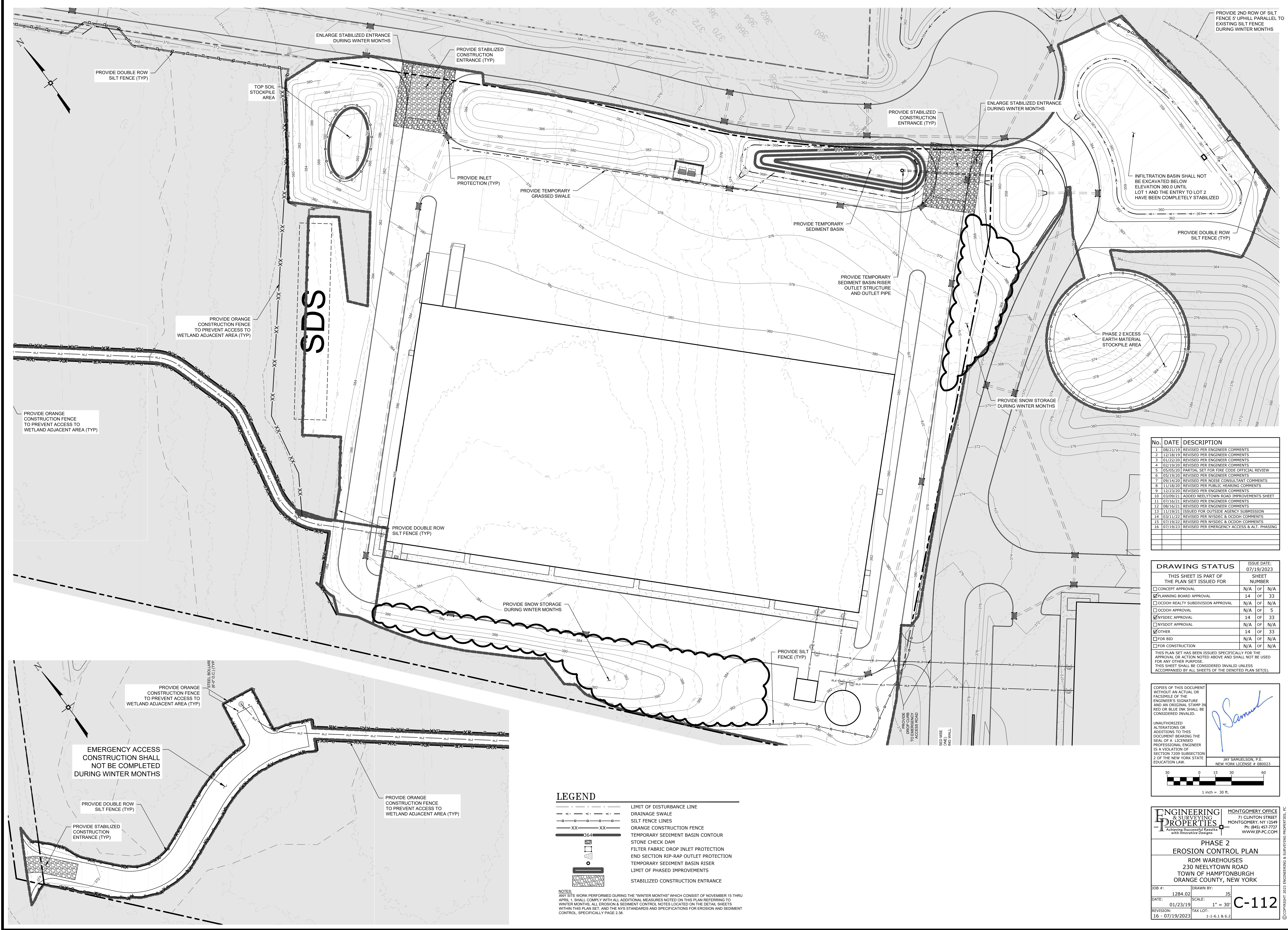
**PHASE 1 EROSION CONTROL PLAN**

RDM WAREHOUSES  
 230 NEELYTOWN ROAD  
 TOWN OF HAMPTONBURGH  
 ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
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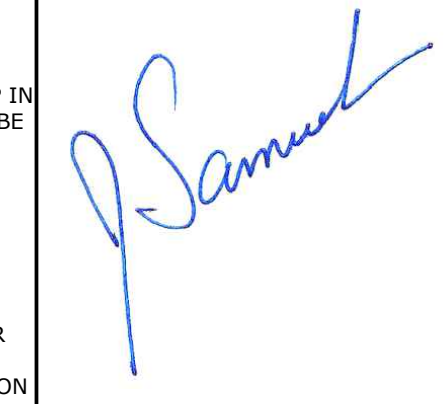
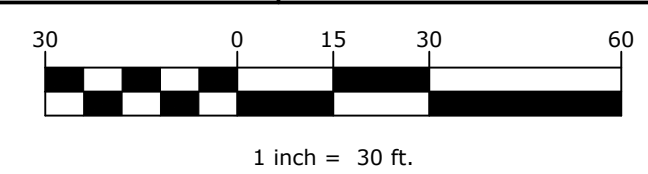
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NEW YORK LICENSE # 080023

LEGEND	
	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

NOTES:  
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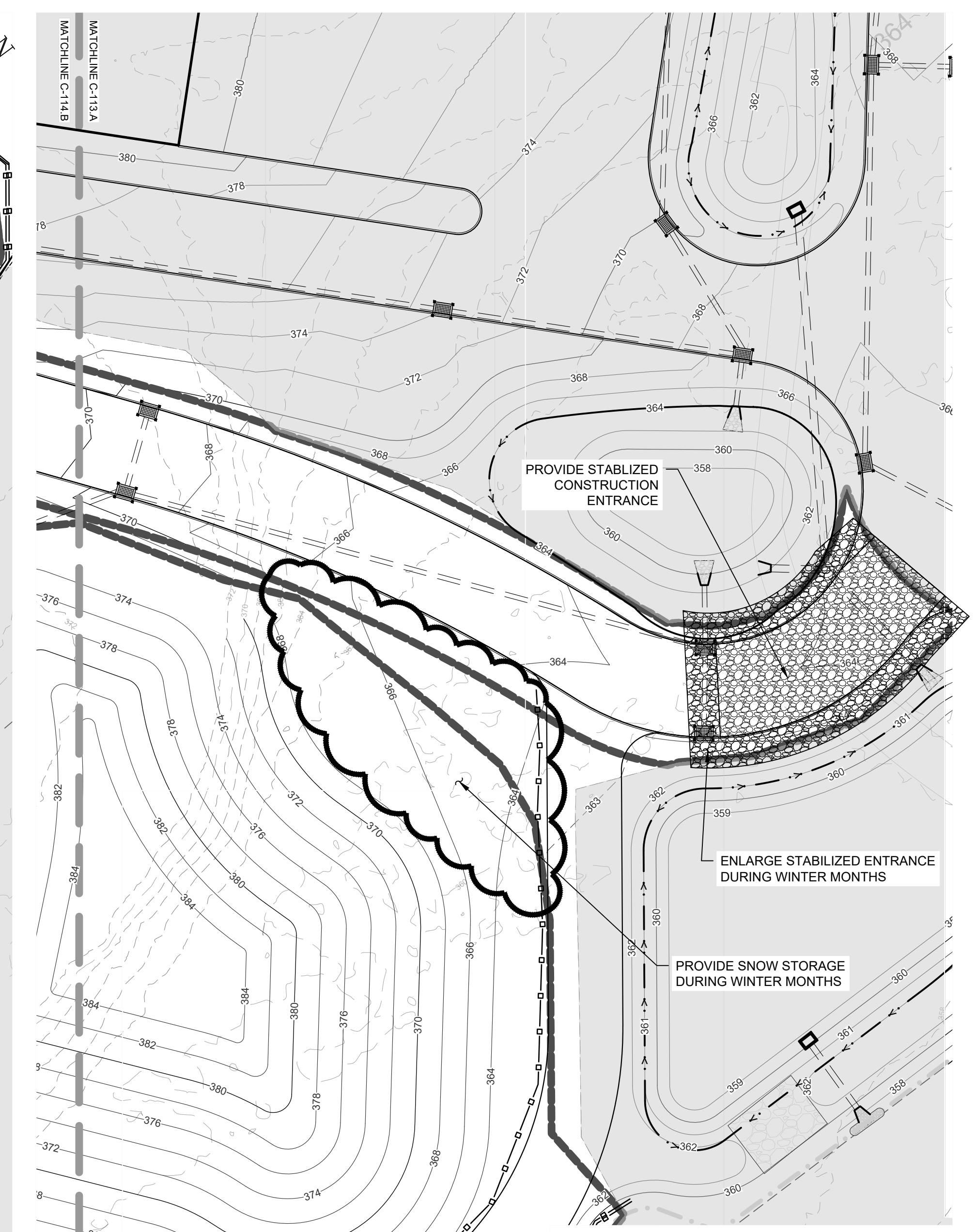
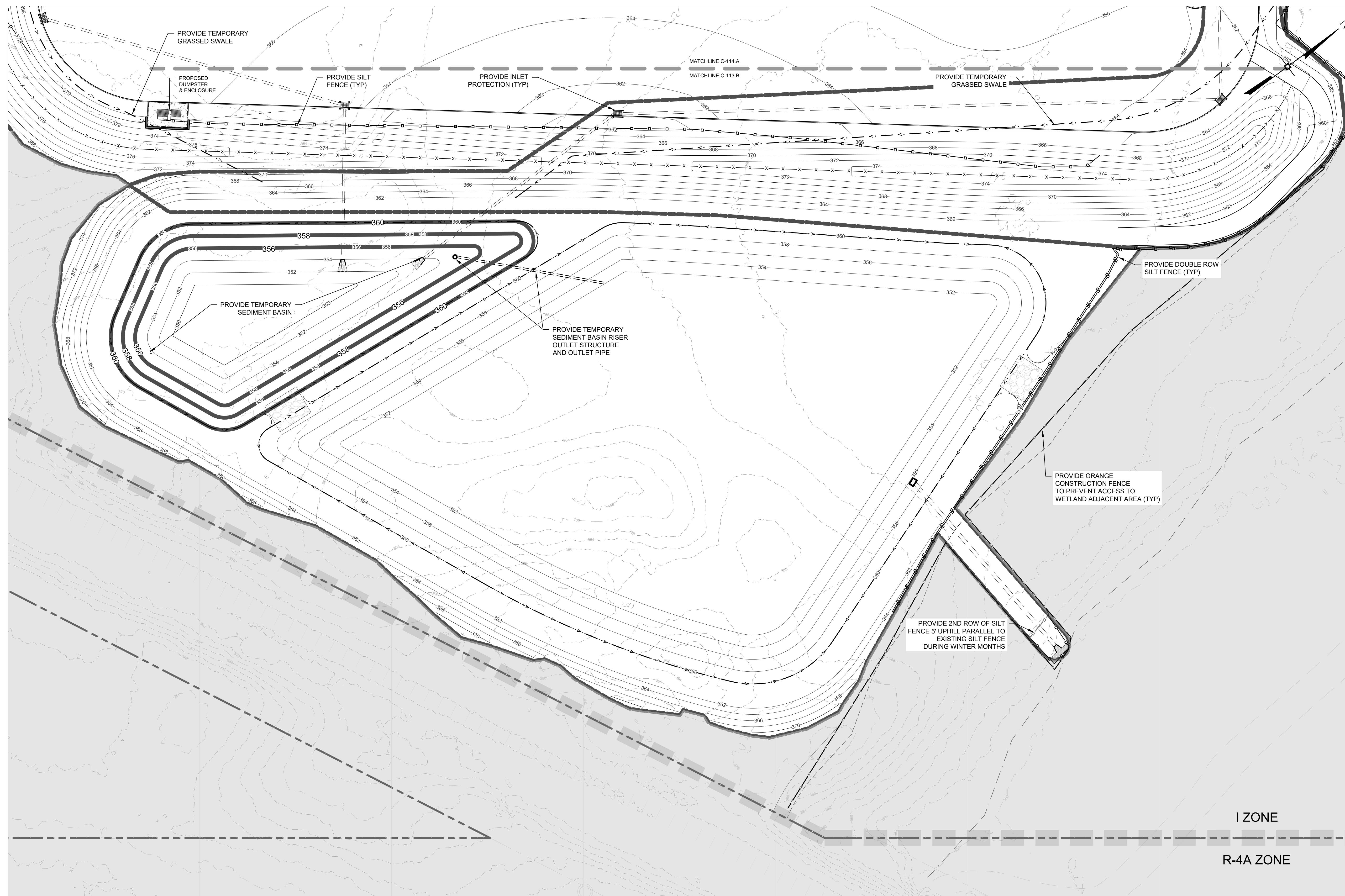
**PHASE 2  
EROSION CONTROL PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-112**

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No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
2	12/18/19	REVISED PER ENGINEER COMMENTS
3	02/22/20	REVISED PER ENGINEER COMMENTS
4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING


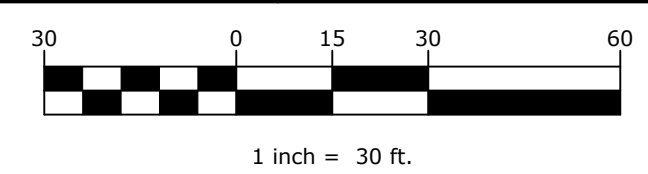
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	15 OF 33
<input type="checkbox"/>	OGDHP REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDHP APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	15 OF 33
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	15 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 080023

LEGEND	
	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

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**PHASE 3  
EROSION CONTROL PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

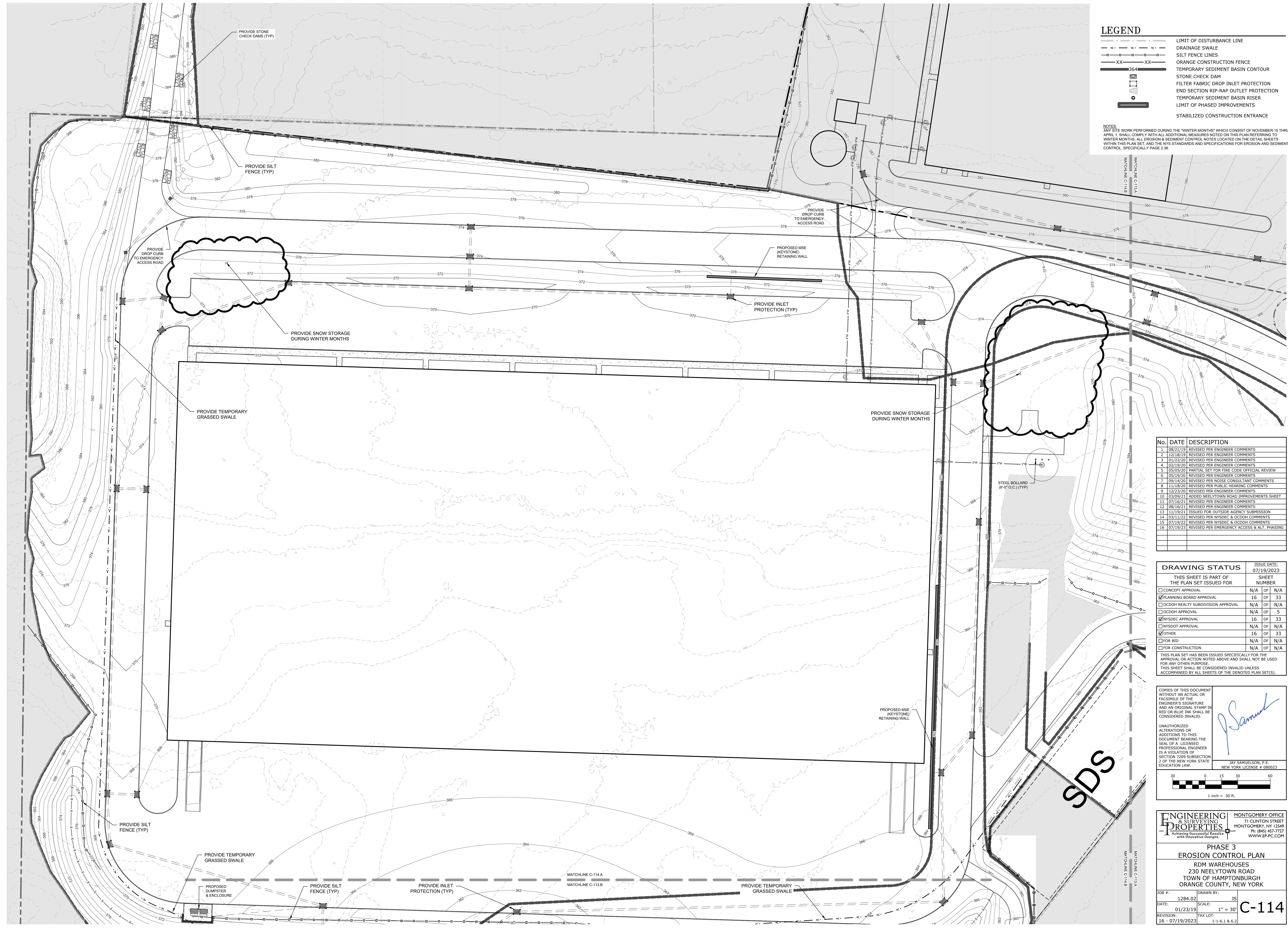
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**LEGEND**

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
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9	12/23/20	REVISED PER ENGINEER COMMENTS
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11	07/16/21	REVISED PER ENGINEER COMMENTS
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16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

DRAWING STATUS		ISSUE DATE:
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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	16 OF 33
<input type="checkbox"/>	OGDHP REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDHP APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	16 OF 33
<input type="checkbox"/>	NYS DOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	16 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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**PHASE 3  
 EROSION CONTROL PLAN**

RDM WAREHOUSES  
 230 NEELYTOWN ROAD  
 TOWN OF HAMPTONBURGH  
 ORANGE COUNTY, NEW YORK

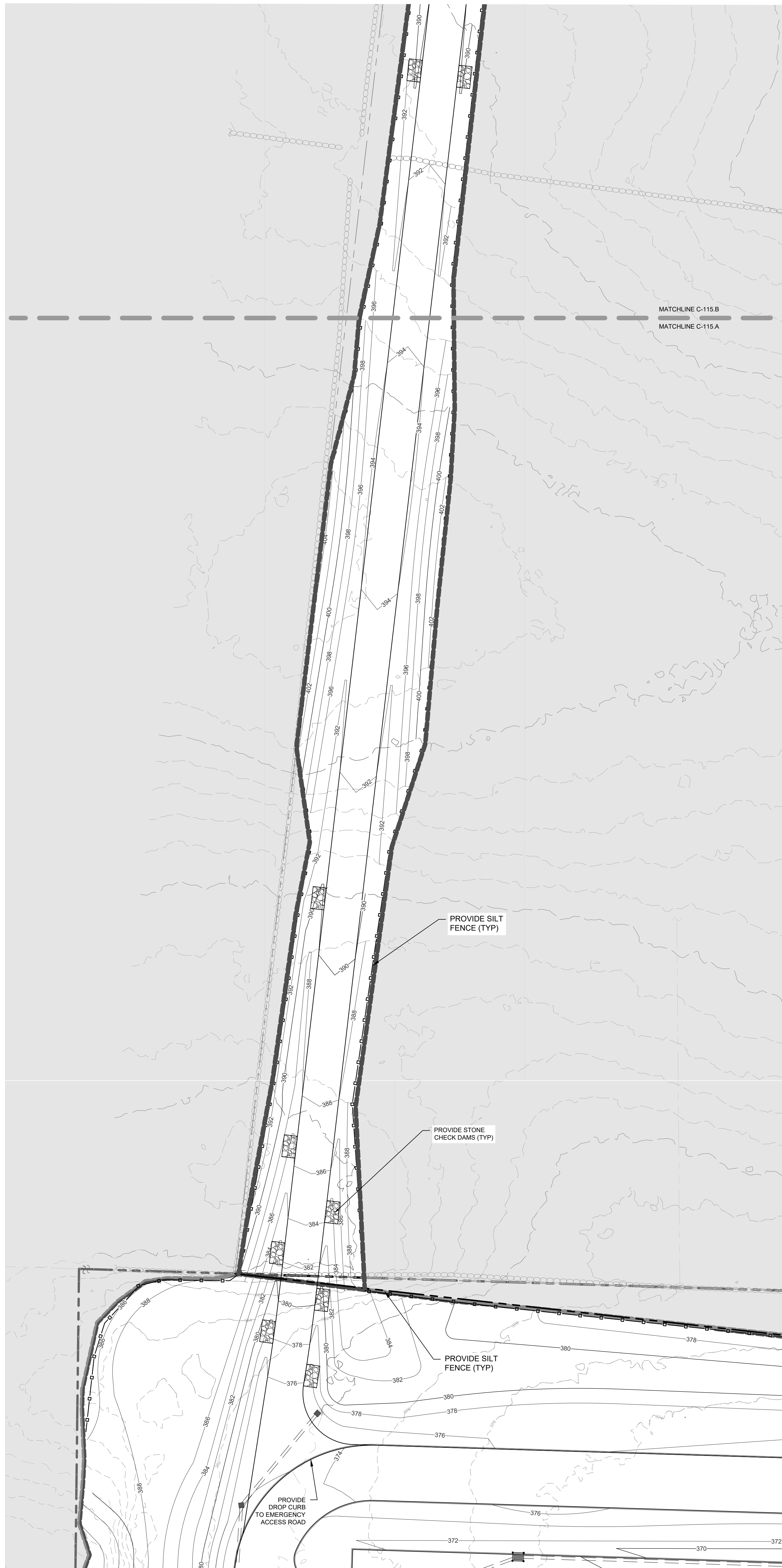
JOB #: 1284.02  
 DATE: 01/23/19  
 REVISION: 16 - 07/19/2023

DRAWN BY: JS  
 SCALE: 1" = 30'  
 TAX LOT: 1-1-6.1 & 6.2

**C-114**

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**LEGEND**

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

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14	03/11/22	REVISED PER NYSDEC & ODDOH COMMENTS
15	07/19/22	REVISED PER NYSDEC & ODDOH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

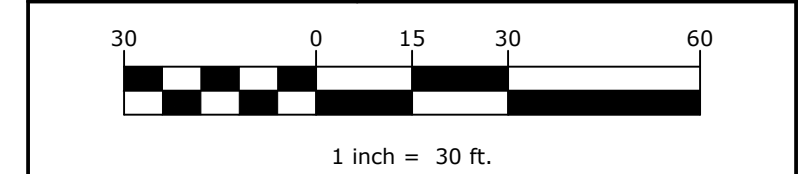
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	17 OF 33
<input type="checkbox"/>	ODDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	ODDOH APPROVAL	N/A OF 5
<input type="checkbox"/>	NYSDEC APPROVAL	17 OF 33
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	17 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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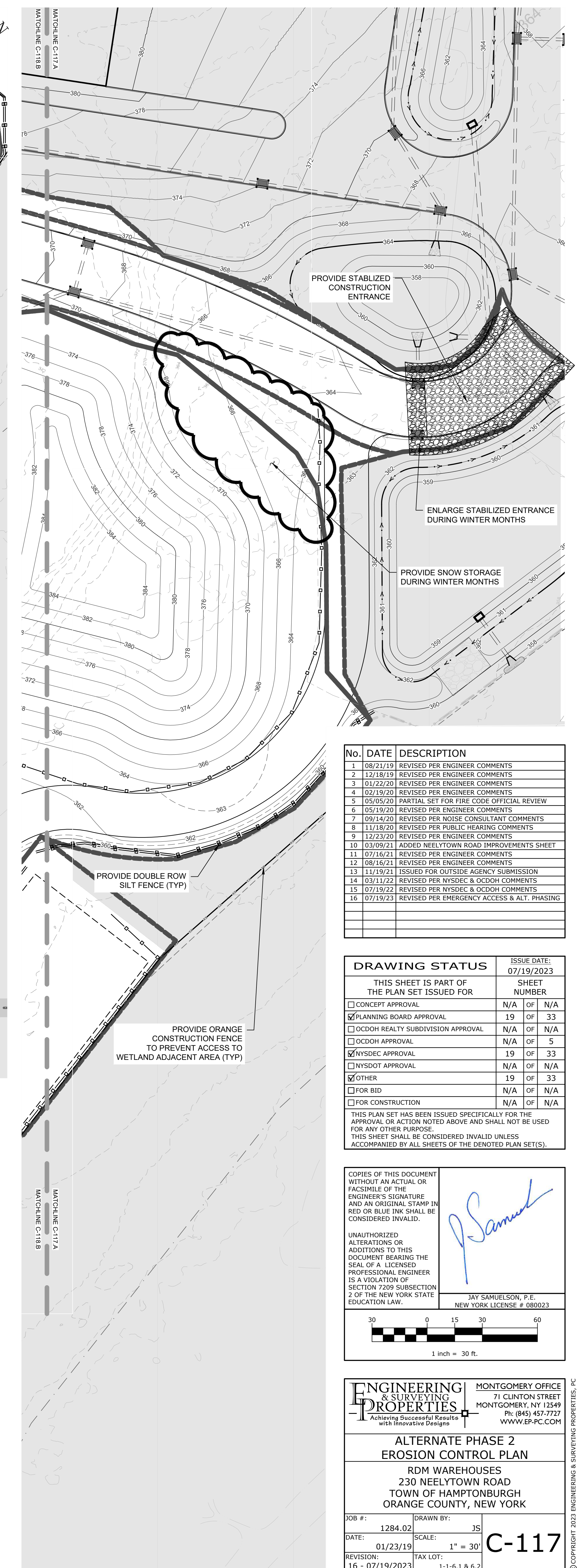
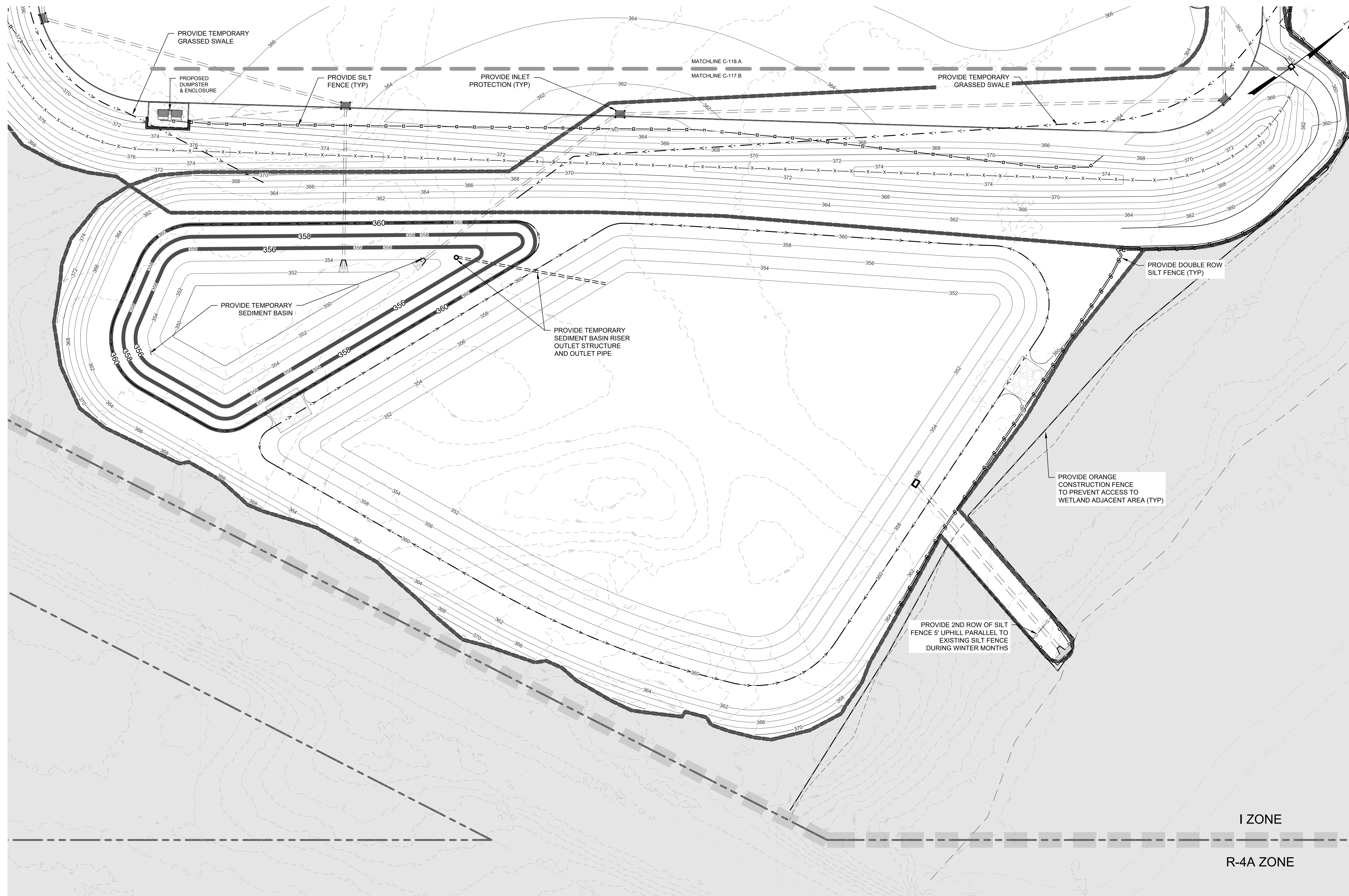
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**PHASE 3  
 EROSION CONTROL PLAN**  
 RDM WAREHOUSES  
 230 NEELYTOWN ROAD  
 TOWN OF HAMPTONBURGH  
 ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-115**





**LEGEND**

- LIMIT OF DISTURBANCE LINE
- DRAINAGE SWALE
- SILT FENCE LINES
- ORANGE CONSTRUCTION FENCE
- TEMPORARY SEDIMENT BASIN CONTOUR
- STONE CHECK DAM
- FILTER FABRIC DROP INLET PROTECTION
- END SECTION RIP-RAP OUTLET PROTECTION
- TEMPORARY SEDIMENT BASIN RISER
- LIMIT OF PHASED IMPROVEMENTS
- STABILIZED CONSTRUCTION ENTRANCE

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10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
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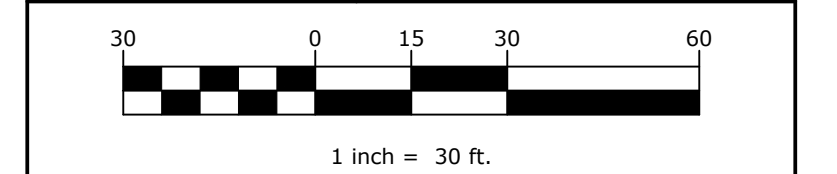
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/19/2023
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	19 OF 33
<input type="checkbox"/>	OGDHP REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDHP APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	19 OF 33
<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	19 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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**ALTERNATE PHASE 2  
 EROSION CONTROL PLAN**

RDM WAREHOUSES  
 230 NEELYTOWN ROAD  
 TOWN OF HAMPTONBURGH  
 ORANGE COUNTY, NEW YORK

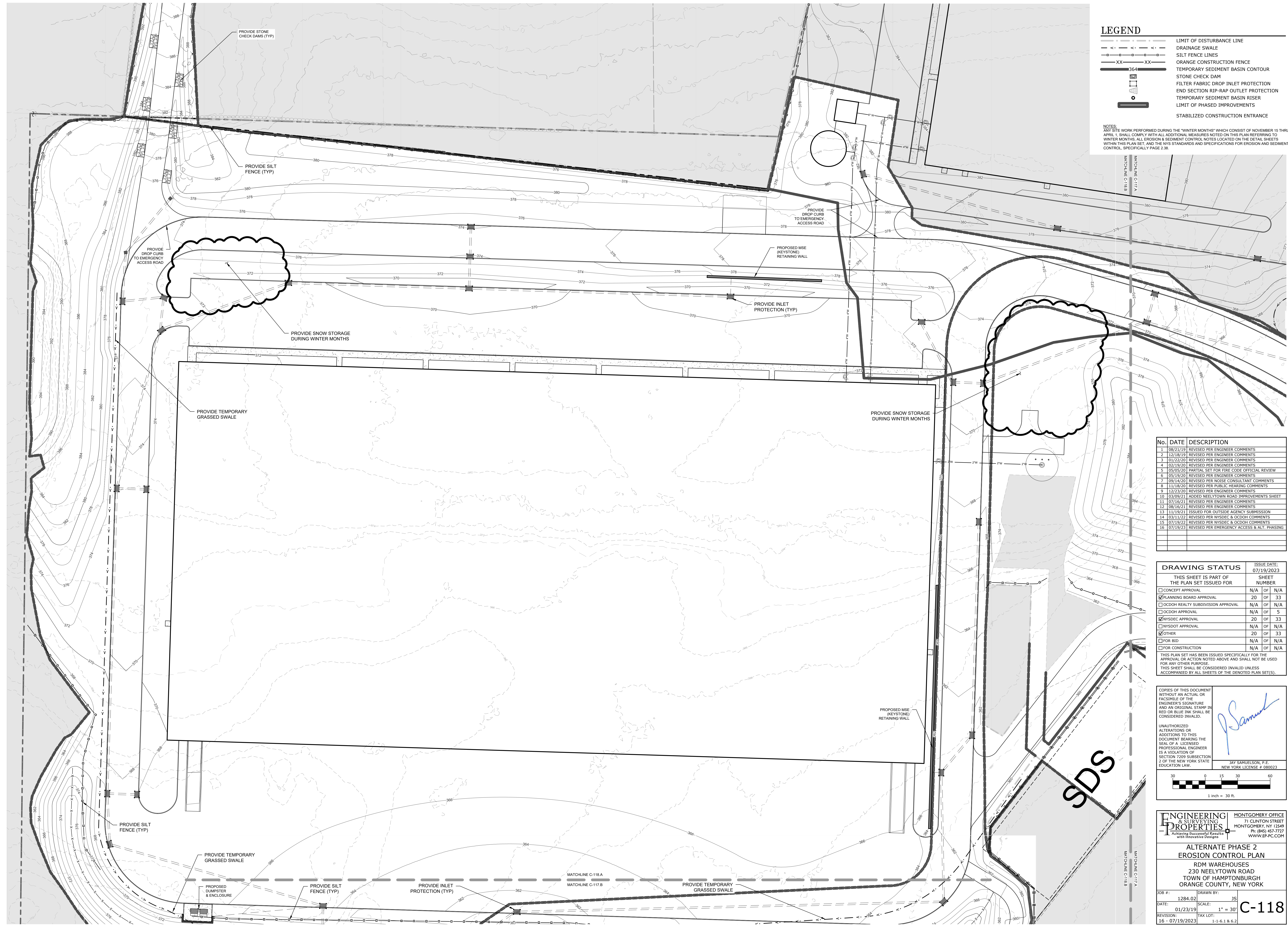
JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-117**

**LEGEND**

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	20 OF 33
<input type="checkbox"/>	ODDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	ODDOH APPROVAL	N/A OF 5
<input type="checkbox"/>	NYSDEC APPROVAL	20 OF 33
<input type="checkbox"/>	NYS DOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	20 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
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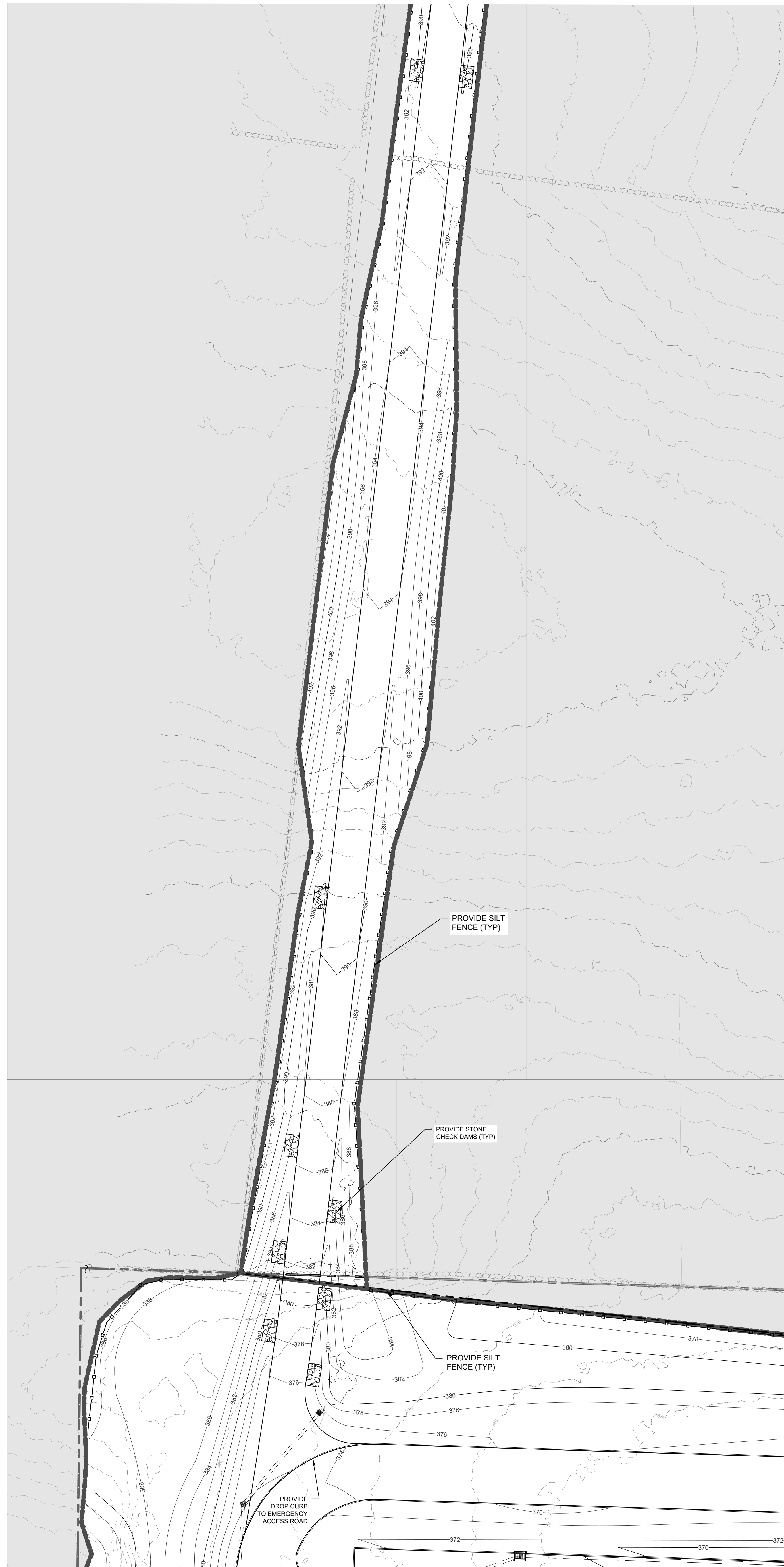
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 ORANGE COUNTY, NEW YORK

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**LEGEND**

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
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10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
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15	07/19/22	REVISED PER NYSDEC & ODDOH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

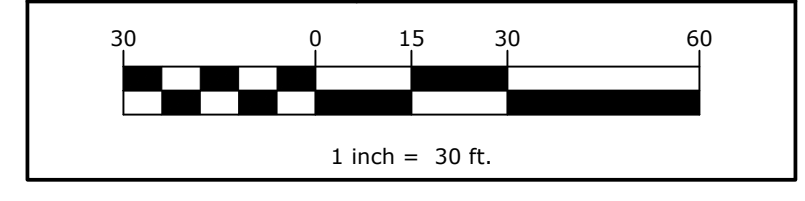
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<input type="checkbox"/>	ODDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	ODDOH APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	21 OF 33
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<input checked="" type="checkbox"/>	OTHER	21 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.  
 NEW YORK LICENSE # 080023



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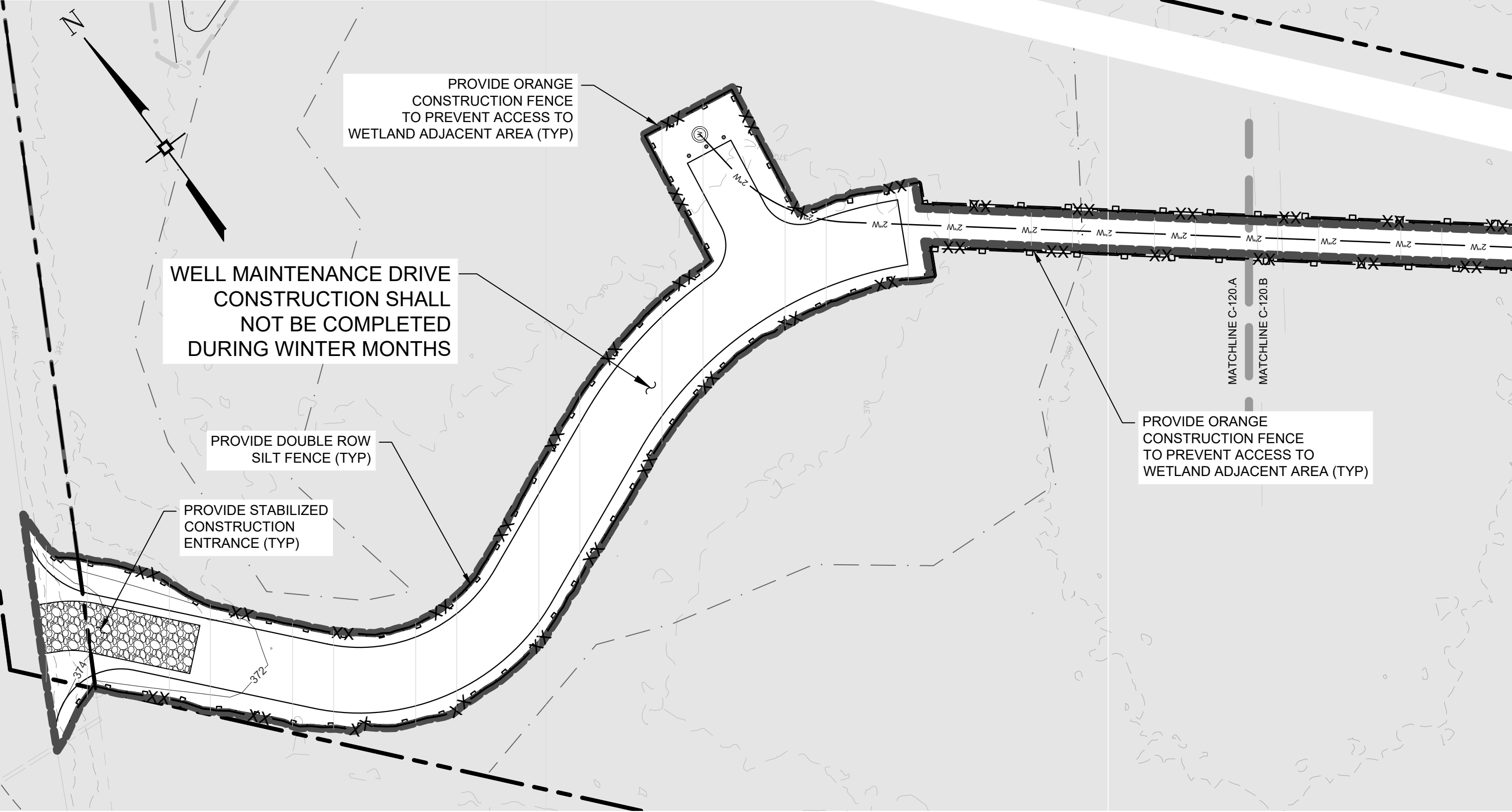
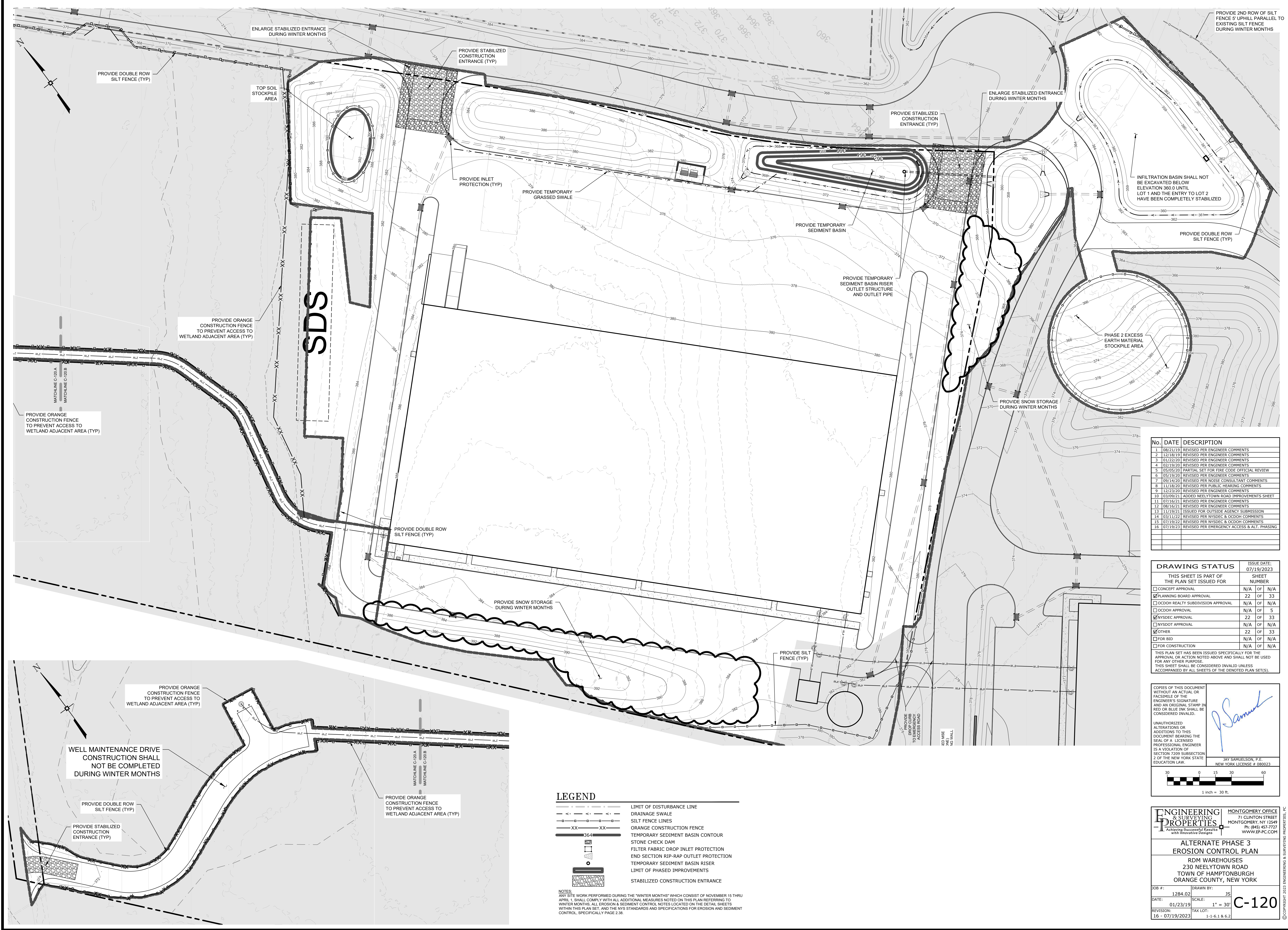
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 71 CLINTON STREET  
 MONTGOMERY, NY 12549  
 Ph: (845) 457-7727  
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**ALTERNATE PHASE 2  
 EROSION CONTROL PLAN**

RDM WAREHOUSES  
 230 NEELYTOWN ROAD  
 TOWN OF HAMPTONBURGH  
 ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-119**



No.	DATE	DESCRIPTION
1	08/21/19	REVISED PER ENGINEER COMMENTS
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	22 OF 33
<input type="checkbox"/>	OGDHP REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDHP APPROVAL	N/A OF 5
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<input type="checkbox"/>	NYS DOT APPROVAL	N/A OF N/A
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<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

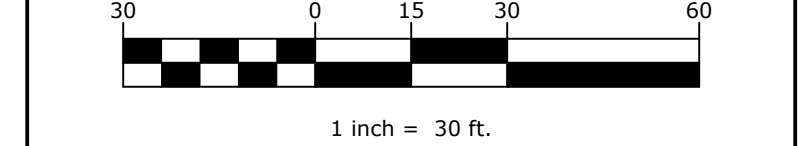
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JAY SARRIELSON, P.E.  
NEW YORK LICENSE # 080023

*J. Sarrelson*



LEGEND	
	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

NOTES:  
ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1. SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET, AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.

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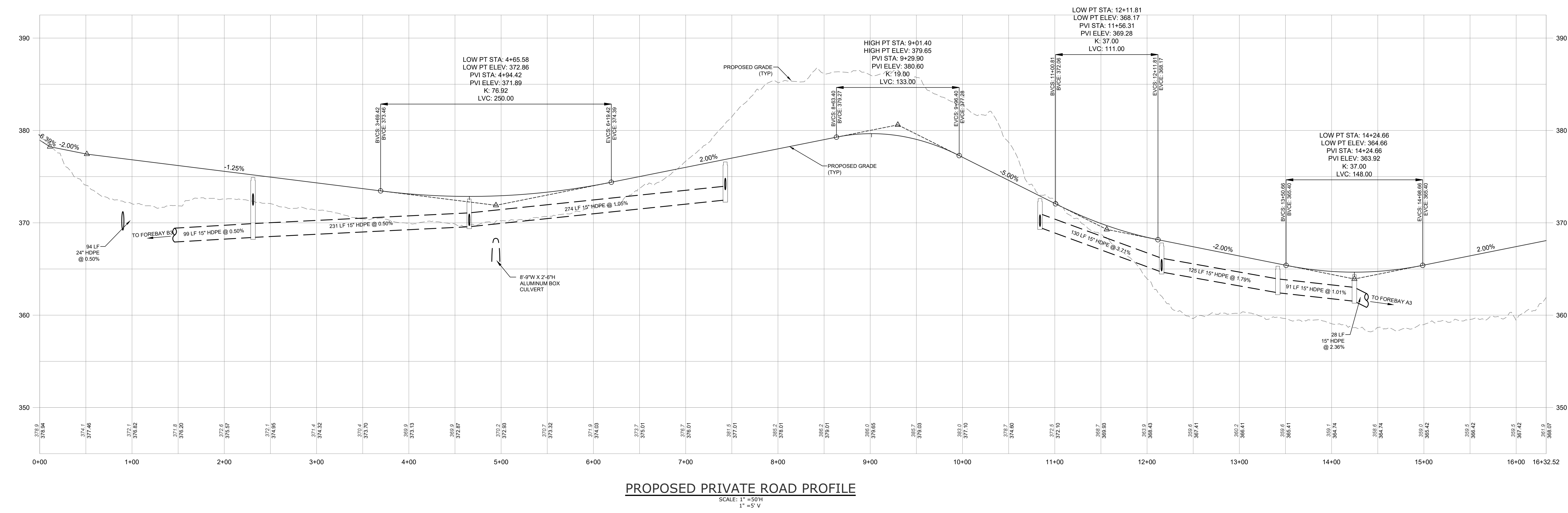
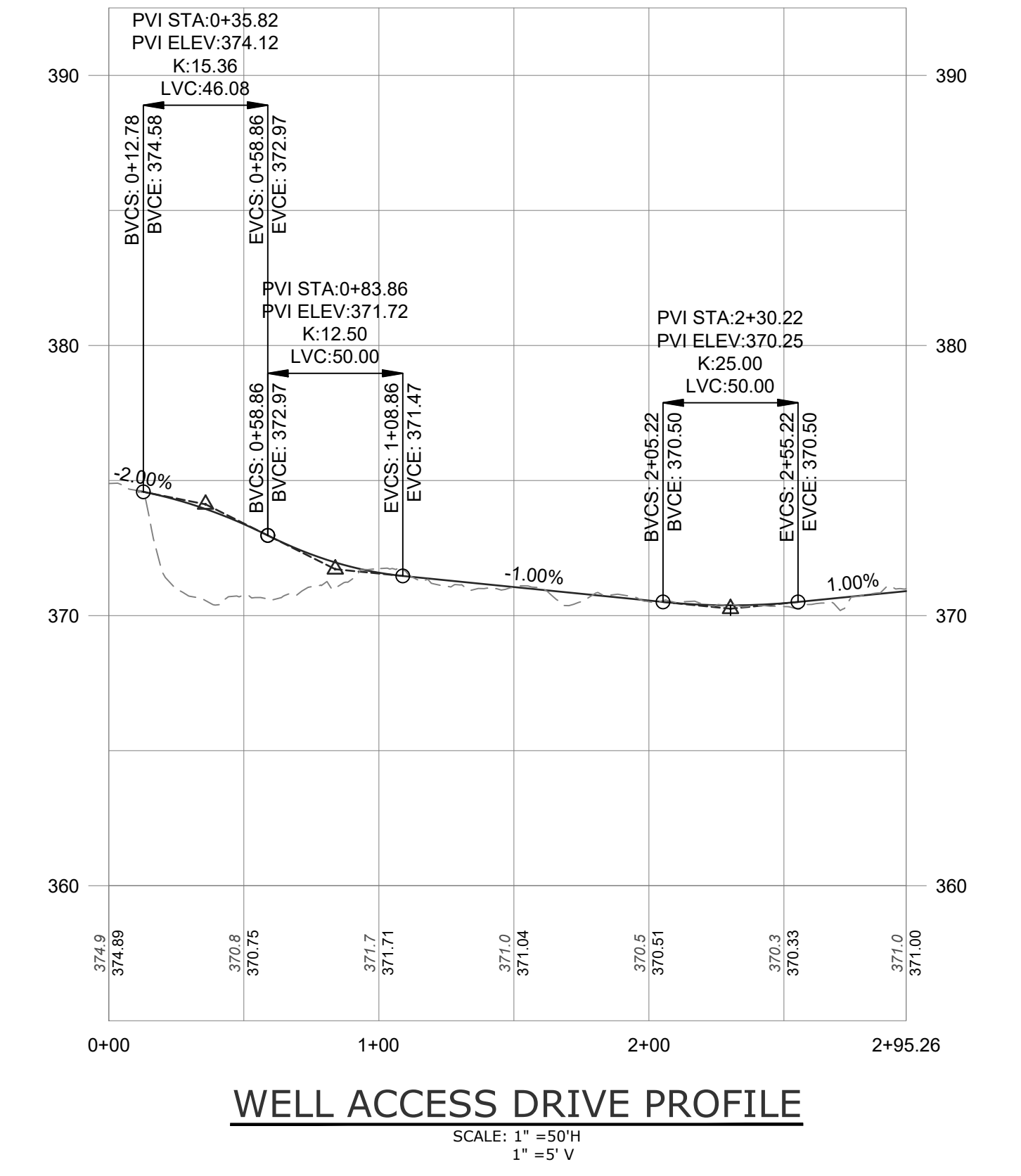
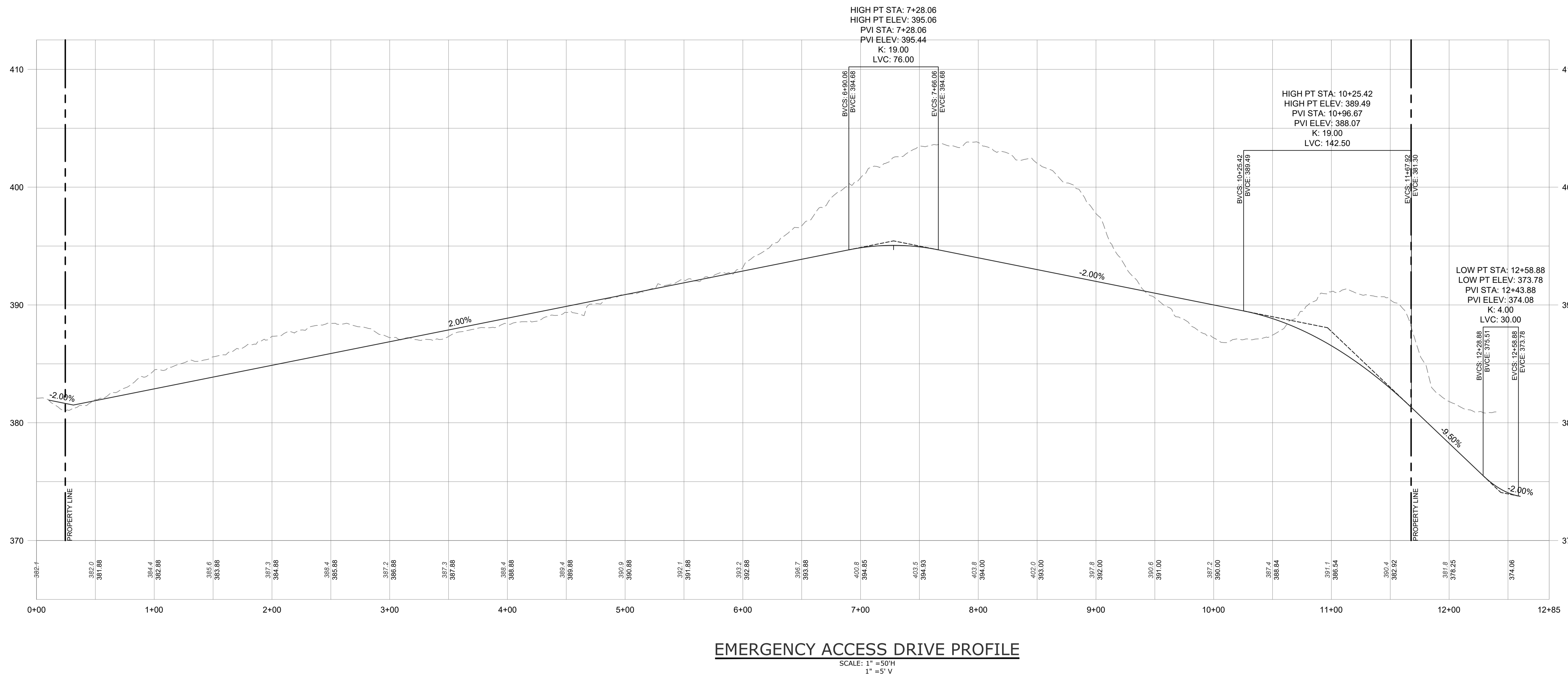
**ALTERNATE PHASE 3  
EROSION CONTROL PLAN**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	1" = 30'
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

**C-120**

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SHEET NUMBER		
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	23 OF 33
<input type="checkbox"/>	OGDCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OGDCH APPROVAL	N/A OF 5
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<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OTHER	23 OF 33
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

50 0 25 50 100  
1 inch = 50 ft.

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**PROFILES**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1284.02  
DATE: 01/23/19  
REVISION: 16 - 07/19/2023

DRAWN BY: JS  
SCALE: 1" = 50'H  
1" = 5' V  
TAX LOT: 1-1-6.1 & 6.2

**C-201**

### PERCOLATION TEST RESULTS

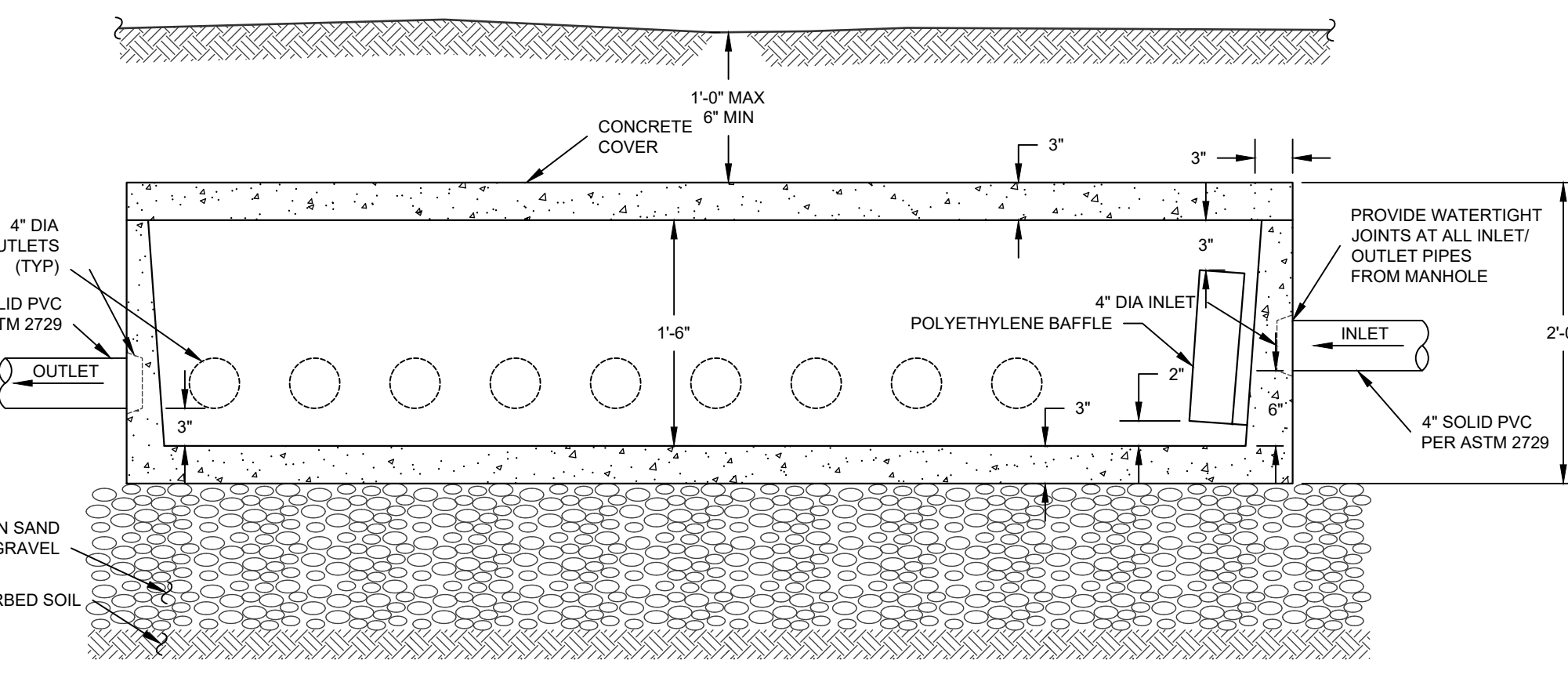
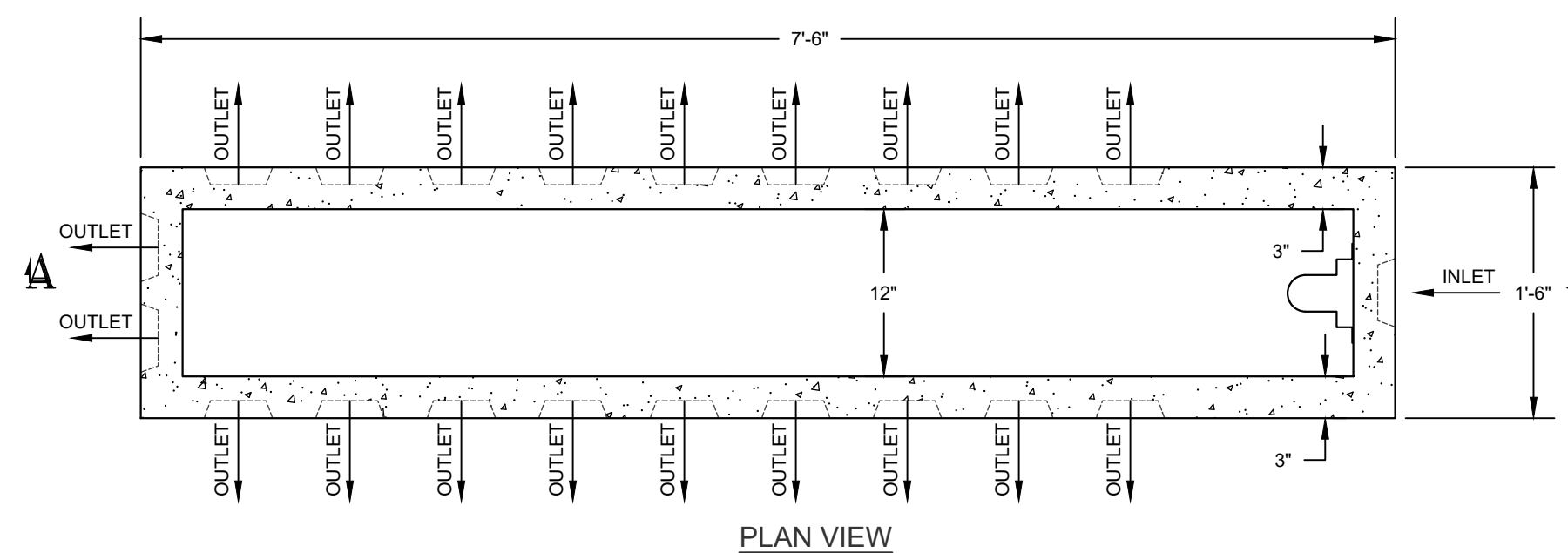
LOT #	PERC HOLE #	PERC HOLE DEPTH	PERC HOLE DIA	TIME	PERCOLATION TEST RUNS (TIME FOR 1" DROP IN WATER LEVEL)	STABILIZED RATE
1	12/27/18 1	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	2 MIN
				START		
				TIME	0:00:56    0:01:01    0:01:02	
1	12/27/18 2	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	3 MIN
				START		
				TIME	0:01:58    0:02:32    0:02:25    0:02:26	
1	12/27/18 3	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	10 MIN
				START		
				TIME	0:05:44    0:09:18    0:09:20	
1	12/27/18 4	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	3 MIN
				START		
				TIME	0:01:36    0:01:55    0:02:04	
2	01/15/19 1	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	9 MIN
				START		
				TIME	0:06:47    0:07:29    0:08:12	
2	01/15/19 2	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	3 MIN
				START		
				TIME	0:02:08    0:02:45    0:02:52	
2	01/15/19 3	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	12 MIN
				START		
				TIME	0:09:41    0:10:30    0:11:01	
2	01/15/19 4	24"	12"	FINISH	STOPWATCH USED FOR TIMING OF TEST RUNS	4 MIN
				START		
				TIME	0:01:16    0:02:27    0:02:57    0:03:31    0:03:36	

### DEEP TEST HOLE RESULTS

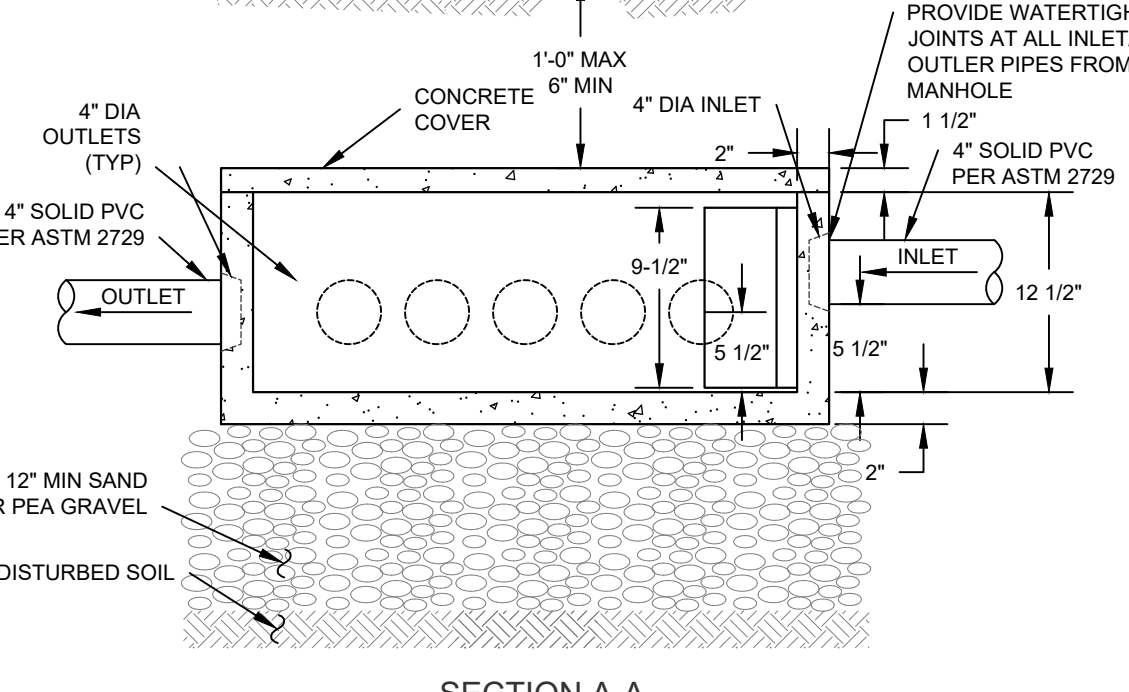
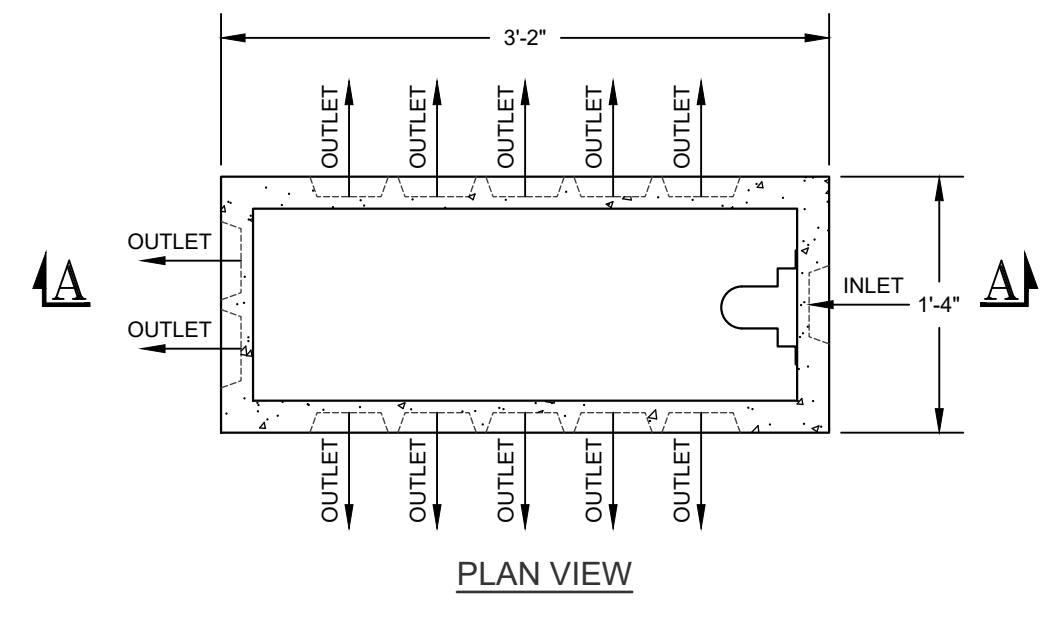
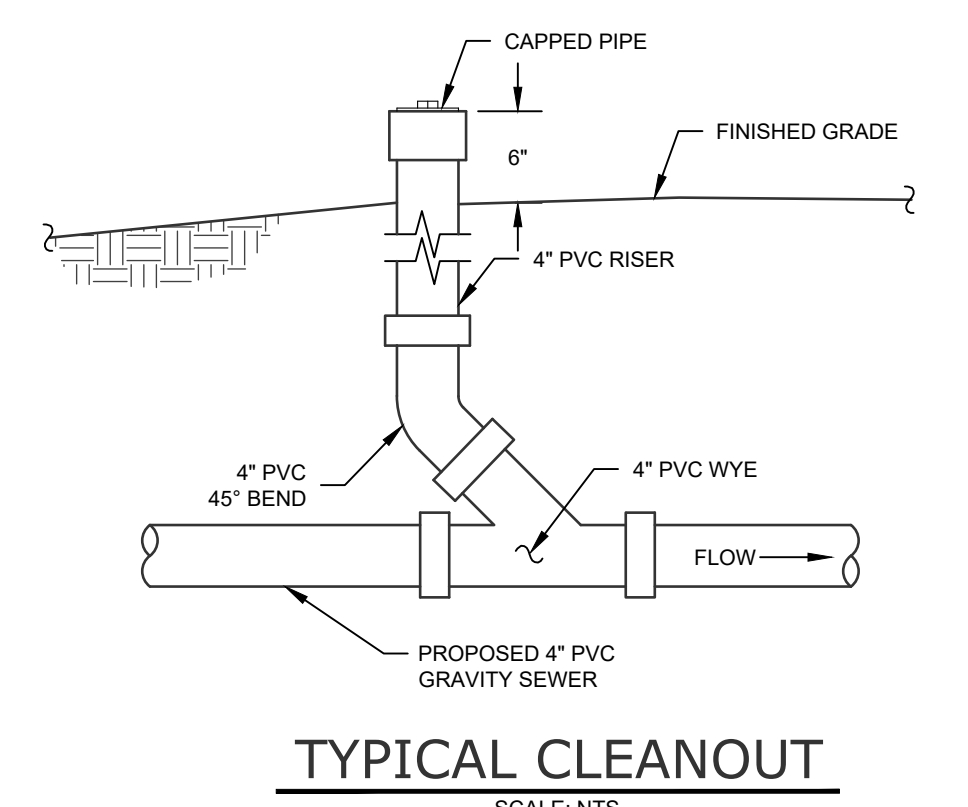
LOT #	TEST HOLE #	DATE	DEPTH	DESCRIPTION
1	TP 01	01/10/19	0'-4"	TOPSOIL
			4'-38"	TAN SILTY SANDY GRAVELLY LOAM
			60'-98"	BROWN GRAY SILTY LOAM W/ COBBLES TAN SILTY SANDY GRAVELLY LOAM GROUNDWATER @ 98', NO MOTTLING, NO ROCK
1	TP 02	01/10/19	0'-10"	TOPSOIL
			10'-44"	TAN SILTY SANDY LOAM
			68'-98"	BROWN GRAY SILTY LOAM W/ COBBLES TAN SILTY SANDY GRAVELLY LOAM GROUNDWATER @ 88', NO MOTTLING, NO ROCK
1	TP 03	01/10/19	0'-4"	TOPSOIL
			4'-20"	TAN SILTY LOAM
			96'-98"	BROWN SILTY SANDY GRAVELLY LOAM W/ COBBLES BROWN SILTY GRAVELLY CLAY LOAM GROUNDWATER @ 78', NO MOTTLING, NO ROCK
1	TP 04	01/10/19	0'-6"	TOPSOIL
			6'-22"	TAN SILTY LOAM
			84'-98"	BROWN SILTY SANDY GRAVELLY CLAY LOAM BROWN SILTY SANDY GRAVELLY LOAM W/ COBBLES GROUNDWATER @ 72', NO MOTTLING, NO ROCK
2	TP 05	01/10/19	0'-10"	TOPSOIL
			10'-21"	TAN SILTY SANDY GRAVEL
			68'-98"	BROWN SILTY SANDY GRAVELLY LOAM W/ COBBLES GROUNDWATER @ 70', NO ROCK, NO MOTTLING
2	TP 06	01/10/19	0'-8"	TOPSOIL
			8'-30"	TAN SILTY LOAM
			88'-98"	BROWN SILTY SANDY GRAVELLY LOAM TAN SILTY CLAY SANDY LOAM GROUNDWATER @ 84', MOTTLING @ 64', NO ROCK
2	TP 07	01/10/19	0'-12"	TOPSOIL
			12'-38"	TAN SILTY LOAM
			68'-98"	TAN SANDY GRAVEL W/ COBBLES GROUNDWATER @ 84', NO MOTTLING, NO ROCK
2	TP 08	01/10/19	0'-12"	TOPSOIL
			12'-38"	TAN SILTY LOAM
			68'-98"	TAN SANDY GRAVEL W/ COBBLES GROUNDWATER @ 72', NO MOTTLING, NO ROCK

### SEPTIC SYSTEM DESIGN SCHEDULE

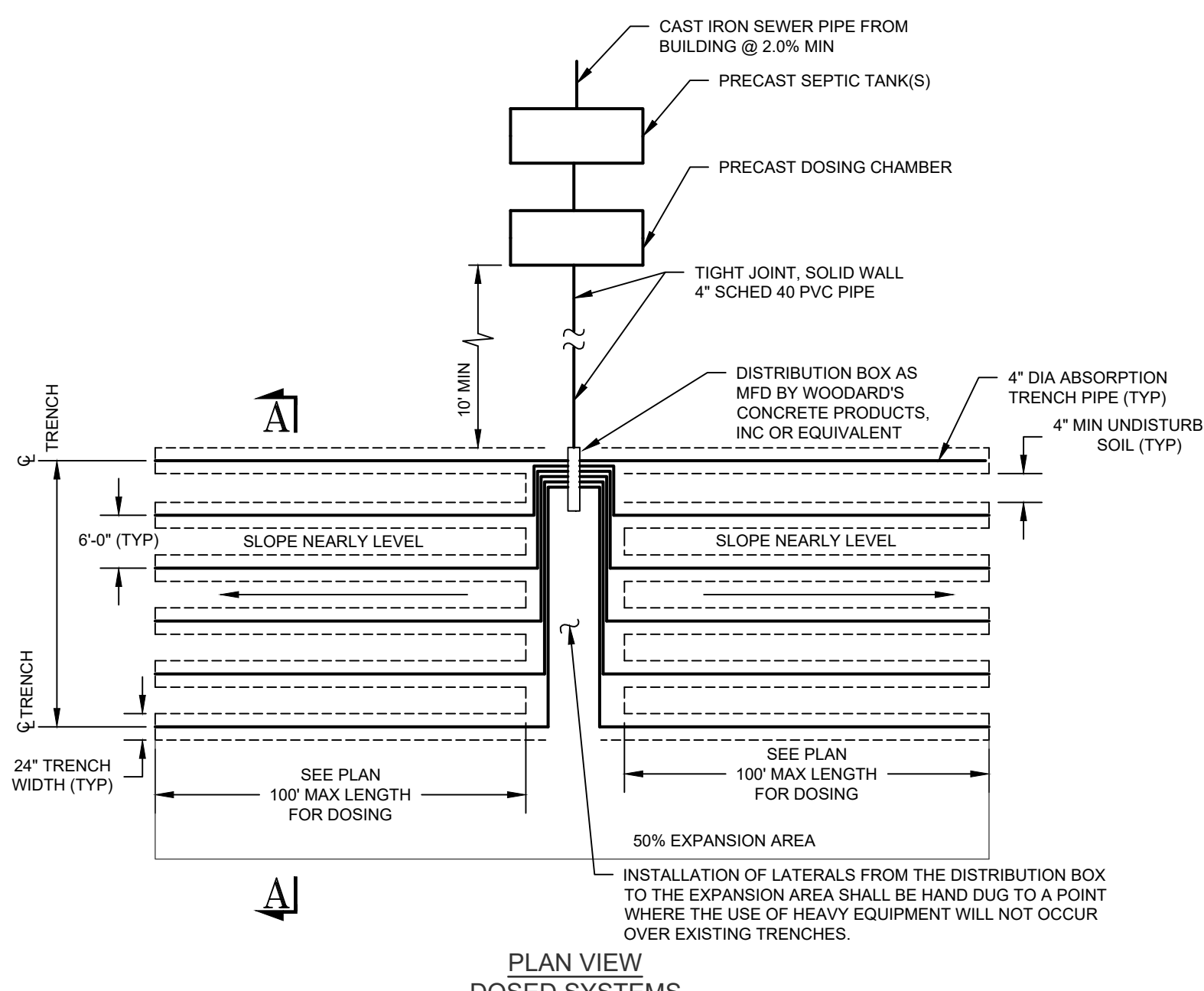
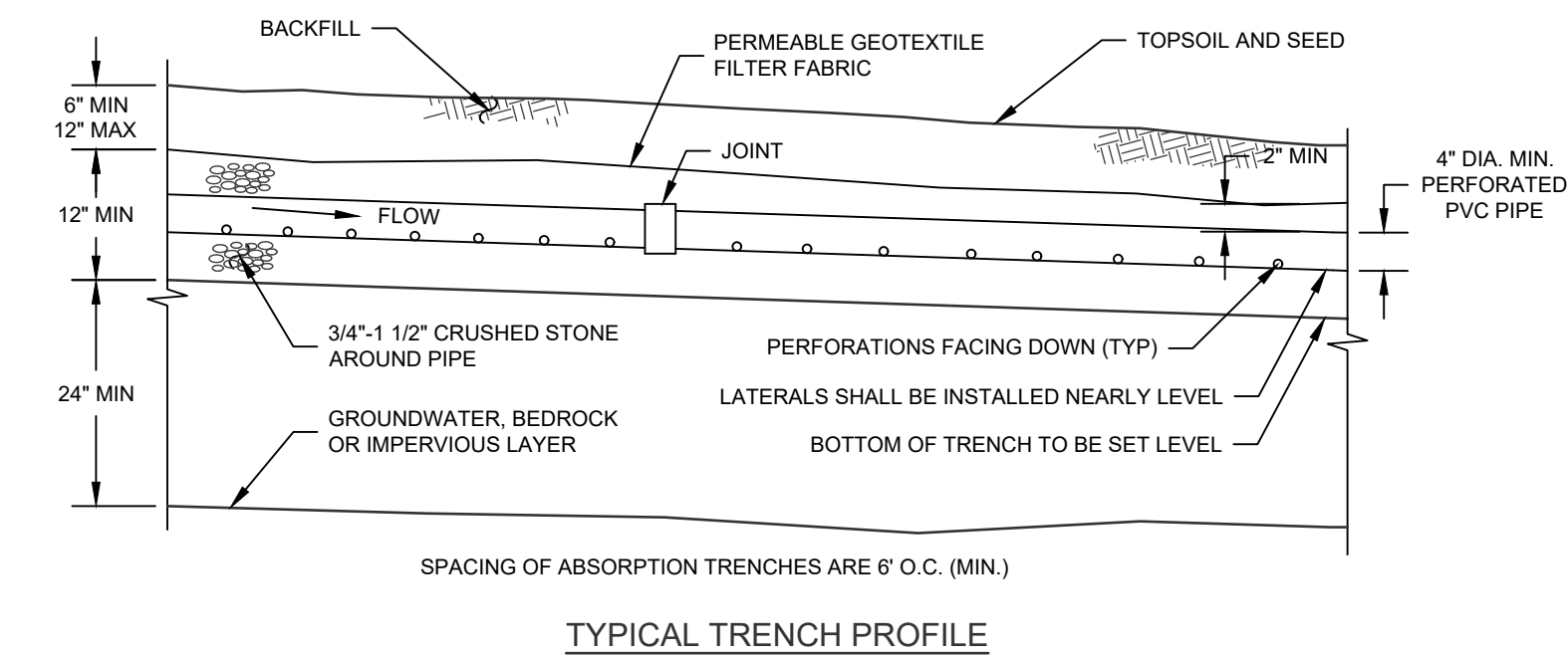
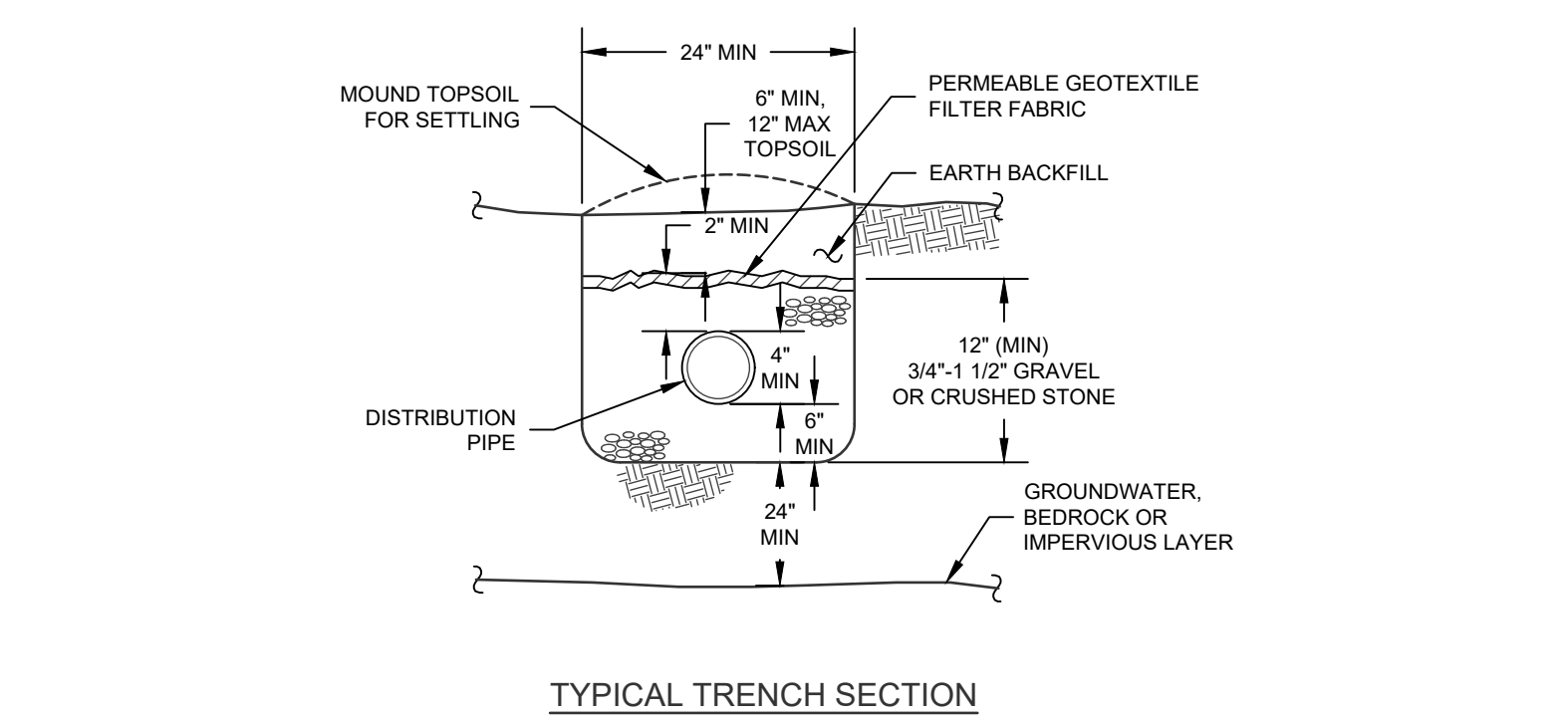
LOT #	STABILIZE PERIOD (min)	FLOW RATE (GPD)	APPLICATION RATE (GPD/Sq. Ft.)	REQUIRED AREA (Sq. Ft.)	REQUIRED ABSORPTION FIELD LENGTH (ft) (BASED UPON 2' WIDE TRENCH)	PROPOSED ABSORPTION FIELD LENGTH (ft)
1	10	900	0.90	1000	500	6 LATERALS @ 85' = 510'
2	12	2175	0.80	2719	1360	14 LATERALS @ 100' = 1,400'



- NOTES:**
- DISTRIBUTION BOX AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. CATALOG No. DB-20 OR APPROVED EQUAL
  - MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS
  - CONCRETE TO BE FIBER REINFORCED PER MANUFACTURER'S SPECIFICATION
  - SEAL ALL JOINTS AT INLET/OUTLET PIPES ASPHALTIC MATERIAL OR EQUIVALENT
  - PROVIDE SPEED LEVELERS AT ALL DISTRIBUTION BOX OUTLETS
  - FIRST 30" MIN OF OUTLET PIPE(S) TO BE SOLID PVC
  - UNUSED OUTLETS TO REMAIN PLUGGED
  - THE FIRST 10' OF ALL PIPES OUT OF THE BOX MUST BE SET AT THE SAME SLOPE
  - THE OUTLETS SHALL BE USED AS SHOWN ON THE PLANS AS TO BE IN A MANNER THAT IF EXPANSION IS REQUIRED, THE EXISTING LATERALS WILL NOT BE DISTURBED
  - ALL INVERTS OF THE OUTLETS MUST BE IDENTICAL



- NOTES:**
- DISTRIBUTION BOX AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. CATALOG No. DB-12 OR APPROVED EQUAL
  - MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS
  - CONCRETE TO BE FIBER REINFORCED PER MANUFACTURER'S SPECIFICATION
  - SEAL ALL JOINTS AT INLET/OUTLET PIPES ASPHALTIC MATERIAL OR EQUIVALENT
  - PROVIDE SPEED LEVELERS AT ALL DISTRIBUTION BOX OUTLETS
  - FIRST 30" MIN OF OUTLET PIPE(S) TO BE SOLID PVC
  - UNUSED OUTLETS TO REMAIN PLUGGED
  - DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY



- NOTES:**
- SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM THE BUILDING.
  - THERE SHALL BE NO RE-GRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
  - ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF THE TILE FIELDS OR WELLS.
  - DRIVEWAYS AND/OR STRUCTURES THAT MAY COMPACT THE SOIL ARE NOT TO BE CONSTRUCTED OVER TILE FIELDS.
  - ASPHALTIC SEALS SHALL BE MAINTAINED BETWEEN THE SEPTIC TANK, AND ALL PIPES AND COVERS.
  - NO TRENCHES TO BE INSTALLED IN WET SOIL.
  - RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
  - GROUT ALL PIPE PENETRATIONS INTO AND OUT OF ANY DISTRIBUTION OR DROP BOX.
  - ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION 'NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS, 2014', OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
  - ABSORPTION TRENCH PIPE TO BE CAPPED AT END.
  - SEPTIC TANK JOINTS MUST BE SEALED AND TESTED FOR WATERTIGHTNESS.
  - PROVIDE 30" OF SOLID PIPE PRIOR TO START OF PERFORATED ABSORPTION PIPE AND BE BACKFILLED WITH NATIVE MATERIAL.
  - THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
  - DROP BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
  - HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDESIRABLE COMPACTION THAT COULD RESULT IN A CHANGE OF ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
  - A POLICY OF CLEAN SCRAPPING ANY SOLIDS FROM THE WASTE STREAM BEFORE DISCHARGE INTO THE DISPOSAL SYSTEM IS REQUIRED. USE OF GARBAGE GRINDERS WITHIN THE FACILITY SHALL REQUIRE THE REVIEW AND APPROVAL OF THE NYSDEC AND ORANGE COUNTY DEPARTMENT OF HEALTH.



SYSTEM COMPONENTS	REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS				
	WELL OR SUCTION LINE	STREAM, LAKE, WATERCOURSE (d) OR DEC WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50'	25'	3'	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO D-BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD	100'	100'	20'	10'	50'

### SEPTIC DESIGN NOTES

- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- BEFORE ANY SITE DISTURBANCE, ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED ON THE PERIMETER OF THE PROPOSED SEWAGE DISPOSAL FIELD AS SHOWN ON THIS PLAN. THIS AREA SHALL REMAIN FREE OF DISTURBANCE UNTIL SUCH TIME AS THE SEPTIC SYSTEM IS TO BE INSTALLED. STRIPPING OF TOPSOIL IN THIS AREA IS STRICTLY PROHIBITED.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION, PRIOR TO OCCUPANCY OF THE DWELLING. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. A COPY OF THE NYSDEC WELL COMPLETION REPORT MUST ALSO BE PROVIDED.

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15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

DRAWING STATUS		ISSUE DATE:
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<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
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<input checked="" type="checkbox"/> OTHER	24 OF 33	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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ORIGINAL SCALE IN INCHES

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**DETAILS**

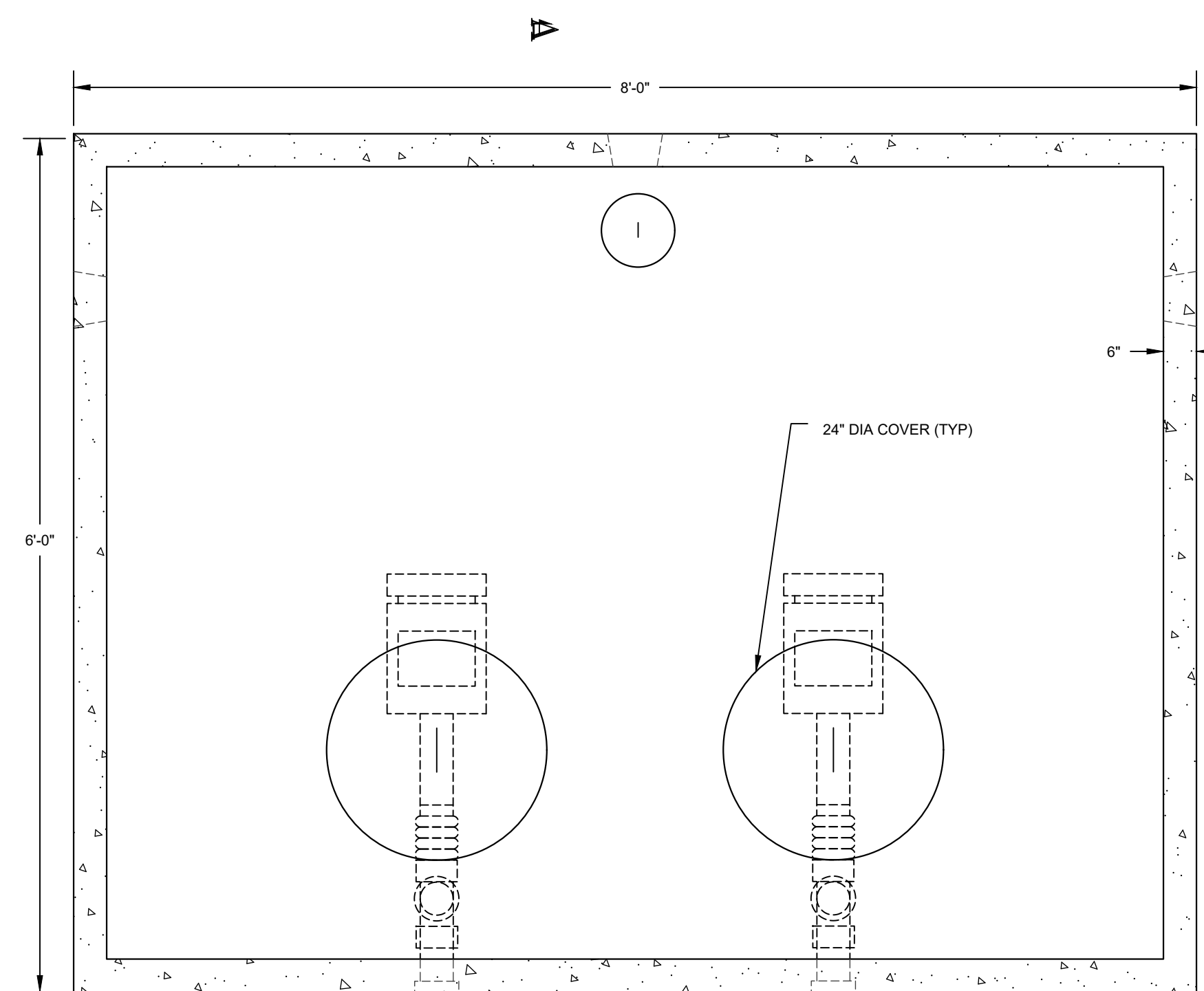
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1284.02	DRAWN BY:	JS
DATE:	01/23/19	SCALE:	AS NOTED
REVISION:	16 - 07/19/2023	TAX LOT:	1-1-6.1 & 6.2

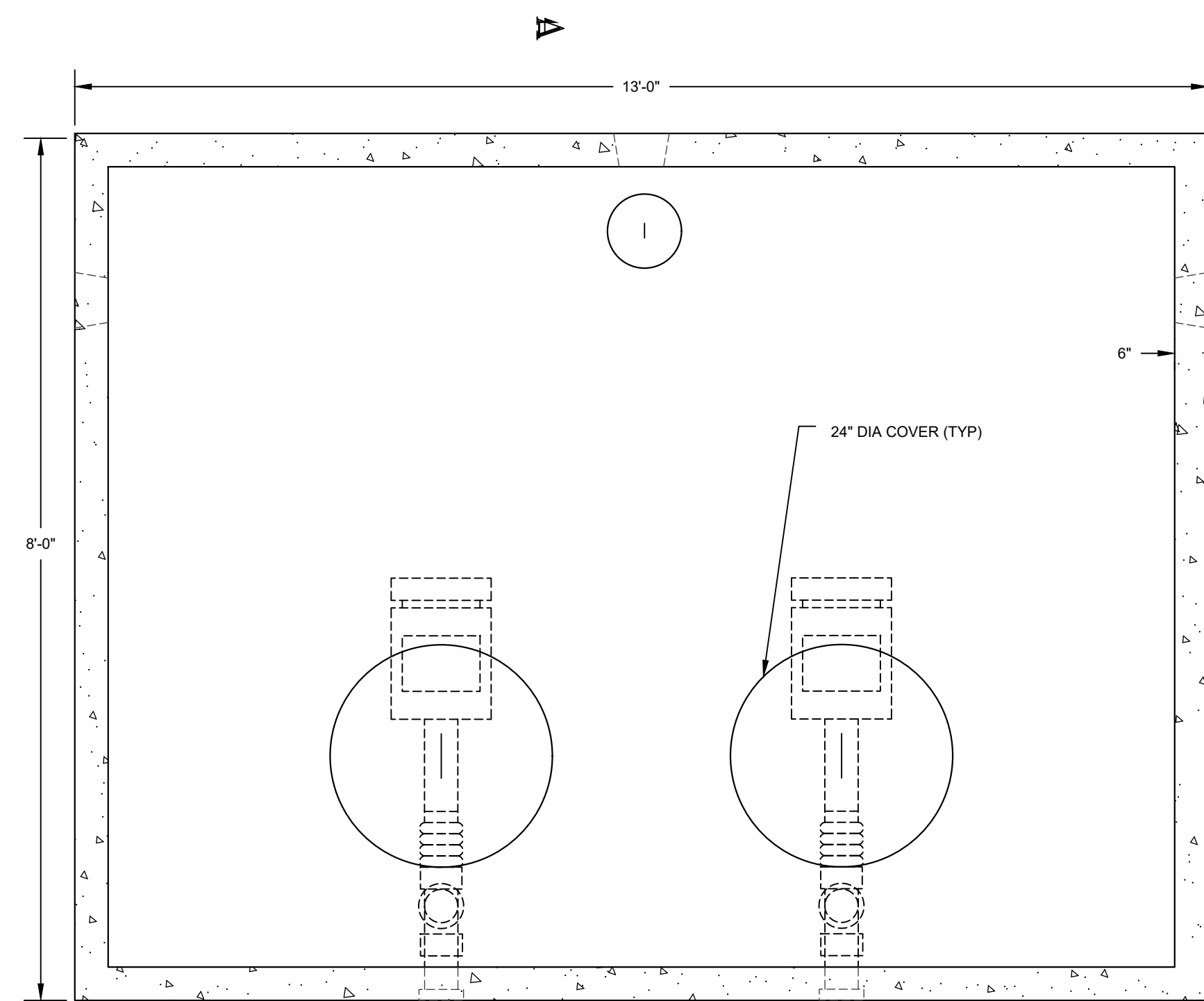
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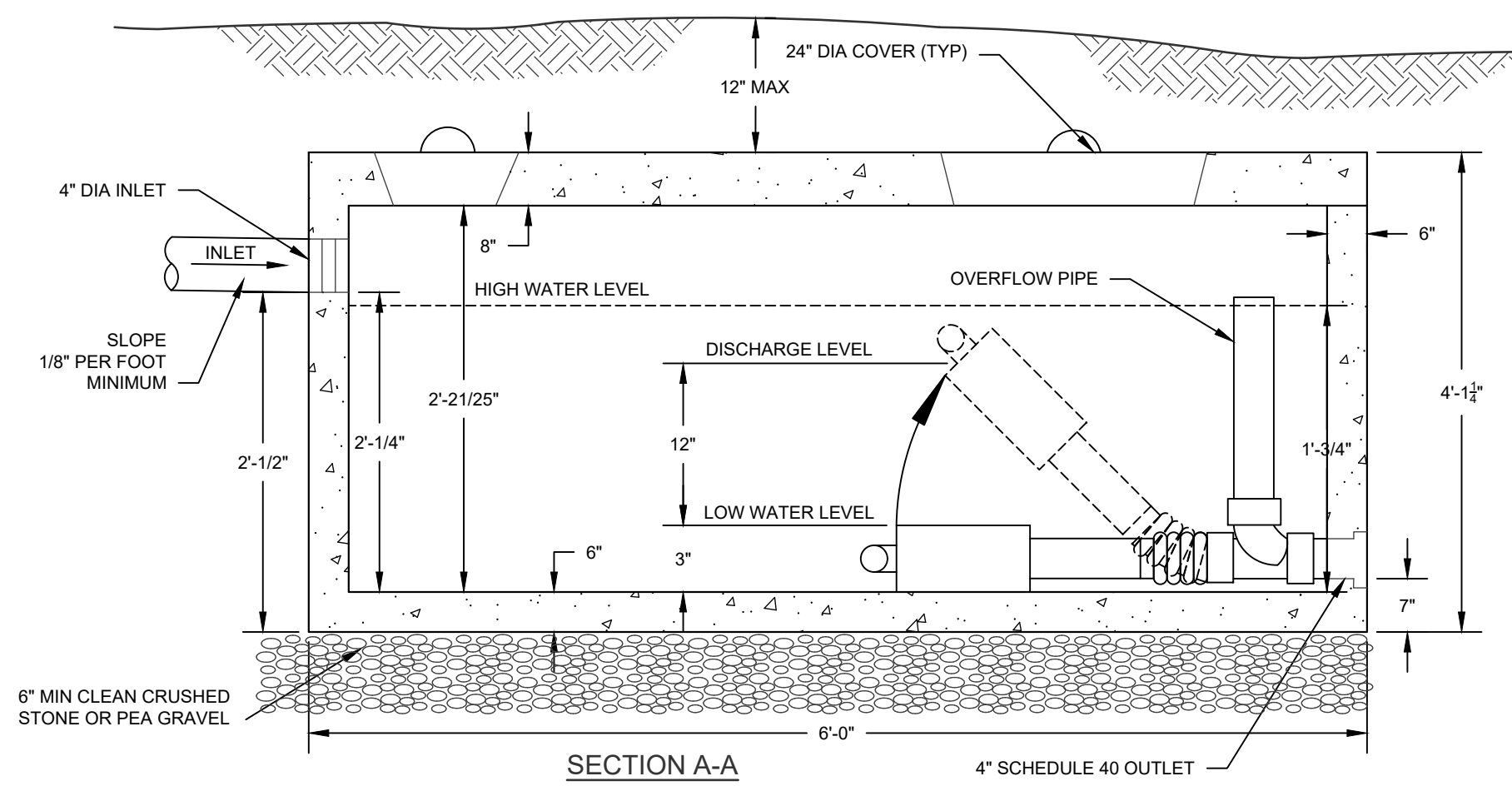




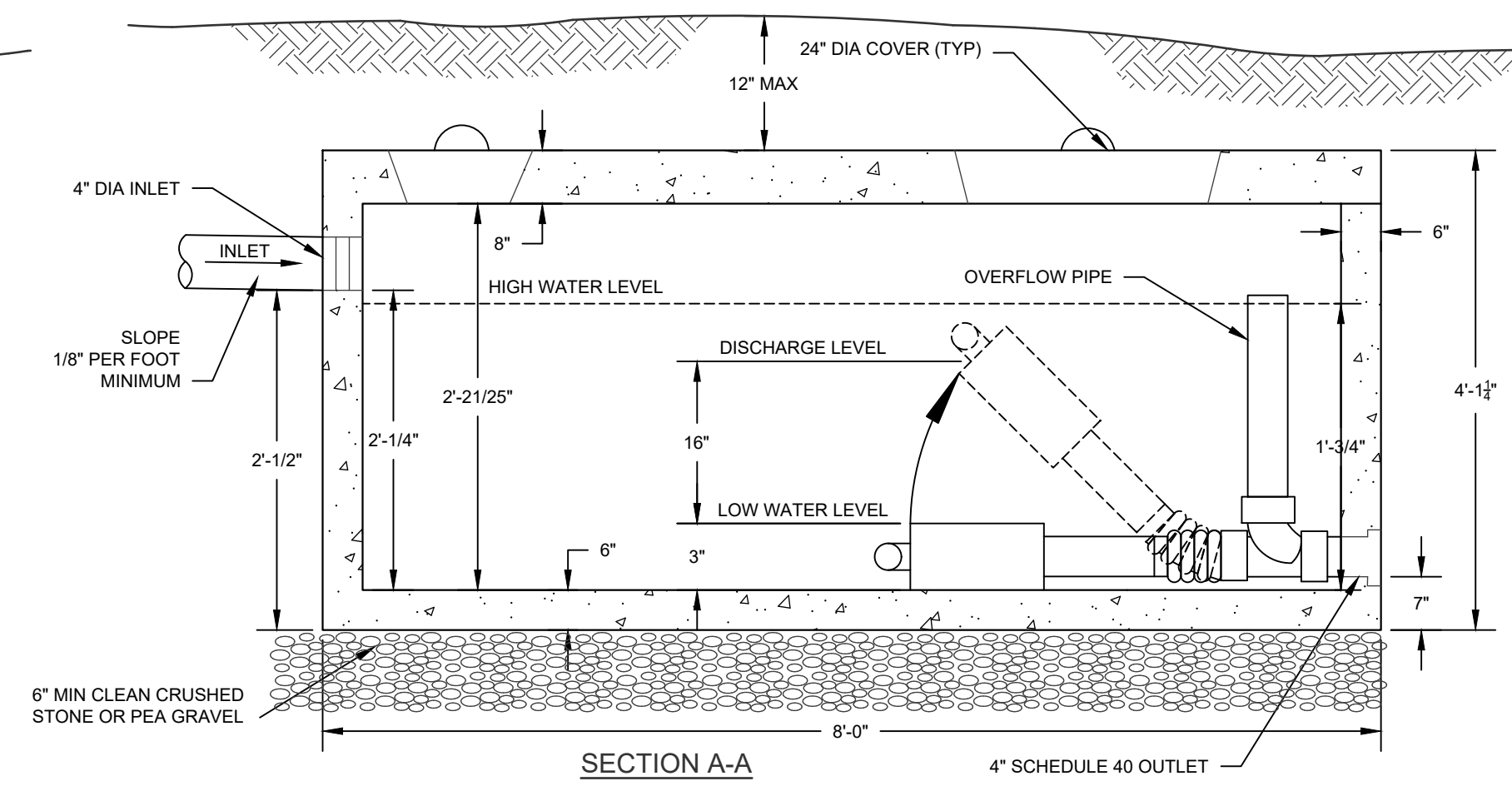
PLAN VIEW  
SINGLE SIPHON



PLAN VIEW  
SINGLE SIPHON



SECTION A-A



SECTION A-A

- NOTES:
- SIPHON CHAMBER AS MANUFACTURED BY LHV PRECAST MODEL DOSING TANK TYPE 2 OR APPROVED EQUAL.
  - SIPHONS AS MANUFACTURED BY RISSY PRODUCTS 12" OR APPROVED EQUAL.
  - MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS.
  - CONCRETE TO BE FIBER REINFORCED PER MANUFACTURER'S SPECIFICATION.
  - SEAL ALL JOINTS AT INLET/OUTLET PIPES ASPHALTIC MATERIAL OR EQUIVALENT.
  - THERE SHALL BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE DOSING CHAMBER TO THE SEPTIC TANK ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
  - HIGH WATER ALARMS ARE RECOMMENDED AND ARE TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.

DOSING VOLUME CALCULATIONS:  
 $510 \text{ LF} \times (3.14) \times (333/74) = 44.5 \text{ CF} \times 7.48 \text{ GAL/CF} = 333 \text{ GALLONS}$   
 TRY 12" DRAW DUAL SIPHON / 262 GALLON DOSE  
 $262 \text{ GAL} / 333 \text{ GAL} = 79\% \text{ (OK)}$   
 USE 12" DRAW DUAL SIPHON / 262 GALLON DOSE

- NOTES:
- SIPHON CHAMBER AS MANUFACTURED BY LHV PRECAST MODEL DOSING TANK TYPE 5 OR APPROVED EQUAL.
  - SIPHONS AS MANUFACTURED BY RISSY PRODUCTS 16" OR APPROVED EQUAL.
  - MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS.
  - CONCRETE TO BE FIBER REINFORCED PER MANUFACTURER'S SPECIFICATION.
  - SEAL ALL JOINTS AT INLET/OUTLET PIPES ASPHALTIC MATERIAL OR EQUIVALENT.
  - THERE SHALL BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE DOSING CHAMBER TO THE SEPTIC TANK ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
  - HIGH WATER ALARMS ARE RECOMMENDED AND ARE TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.

DOSING VOLUME CALCULATIONS:  
 $1400 \text{ LF} \times (3.14) \times (333/74) = 122.2 \text{ CF} \times 7.48 \text{ GAL/CF} = 914 \text{ GALLONS}$   
 TRY 16" DRAW DUAL SIPHON / 718 GALLON DOSE  
 $718 \text{ GAL} / 914 \text{ GAL} = 79\% \text{ (OK)}$   
 USE 16" DRAW DUAL SIPHON / 718 GALLON DOSE

**262 GALLON DOSE SIPHON CHAMBER**  
SCALE: NTS

**718 GALLON DOSE SIPHON CHAMBER**  
SCALE: NTS

No.	DATE	DESCRIPTION
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4	02/19/20	REVISED PER ENGINEER COMMENTS
5	05/05/20	PARTIAL SET FOR FIRE CODE OFFICIAL REVIEW
6	05/19/20	REVISED PER ENGINEER COMMENTS
7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
12	08/16/21	REVISED PER ENGINEER COMMENTS
13	11/19/21	ISSUED FOR OUTSIDE AGENCY SUBMISSION
14	03/11/22	REVISED PER NYSDEC & OGDH COMMENTS
15	07/19/22	REVISED PER NYSDEC & OGDH COMMENTS
16	07/19/23	REVISED PER EMERGENCY ACCESS & ALT. PHASING

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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	25 OF 33
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH APPROVAL	N/A OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	25 OF 33
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
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<input type="checkbox"/>	FOR BID	N/A OF N/A
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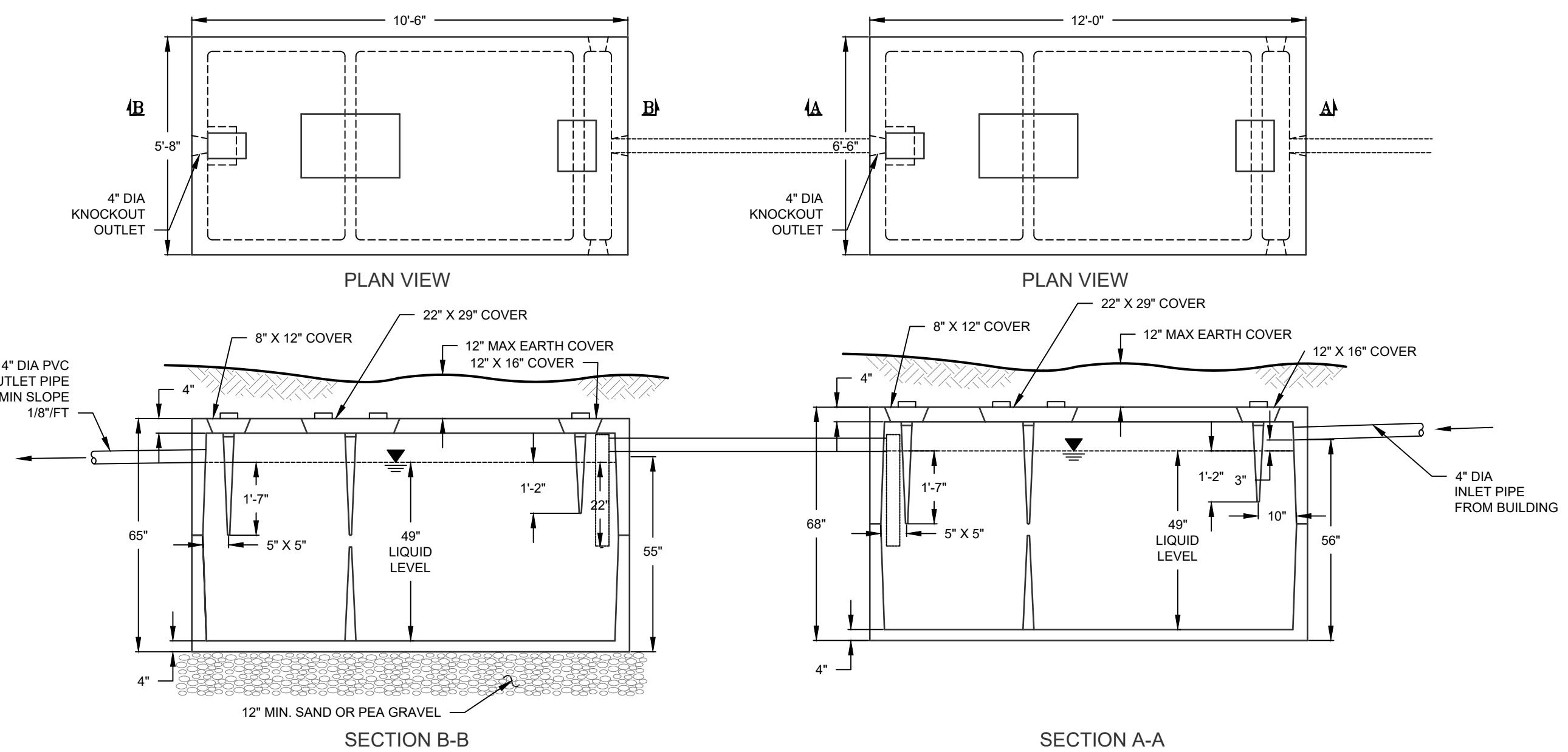
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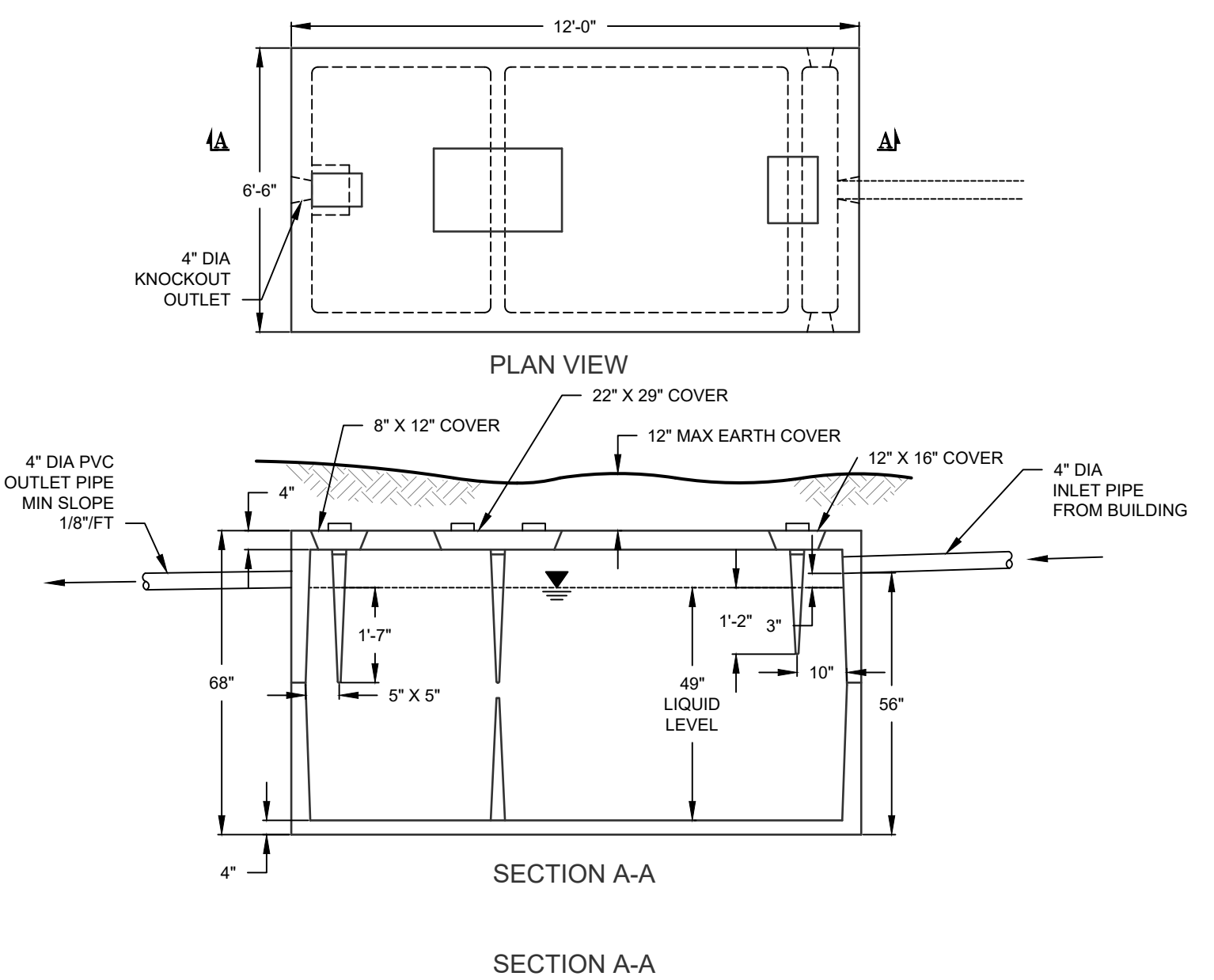
JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

ORIGINAL SCALE IN INCHES



- NOTES:
- PRECAST CONCRETE SEPTIC TANKS AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL ST 2000 & MODEL ST 1500 OR APPROVED EQUAL.
  - CONCRETE - 4,000 PSI AT 28 DAYS.
  - REINFORCEMENT - 6" x 6" x 10 GA WIRE MESH.
  - SECTIONS TO BE SEALED WITH BUTYL RUBBER BASE CEMENT.
  - ALL SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

**SEPTIC TANKS IN SERIES DETAIL**  
SCALE: N.T.S.



- NOTES:
- PRECAST CONCRETE SEPTIC TANKS AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL ST 2000 OR APPROVED EQUAL.
  - CONCRETE - 4,000 PSI AT 28 DAYS.
  - REINFORCEMENT - 6" x 6" x 10 GA WIRE MESH.
  - SECTIONS TO BE SEALED WITH BUTYL RUBBER BASE CEMENT.
  - ALL SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

**2,000 GALLON SEPTIC TANK**  
SCALE: N.T.S.

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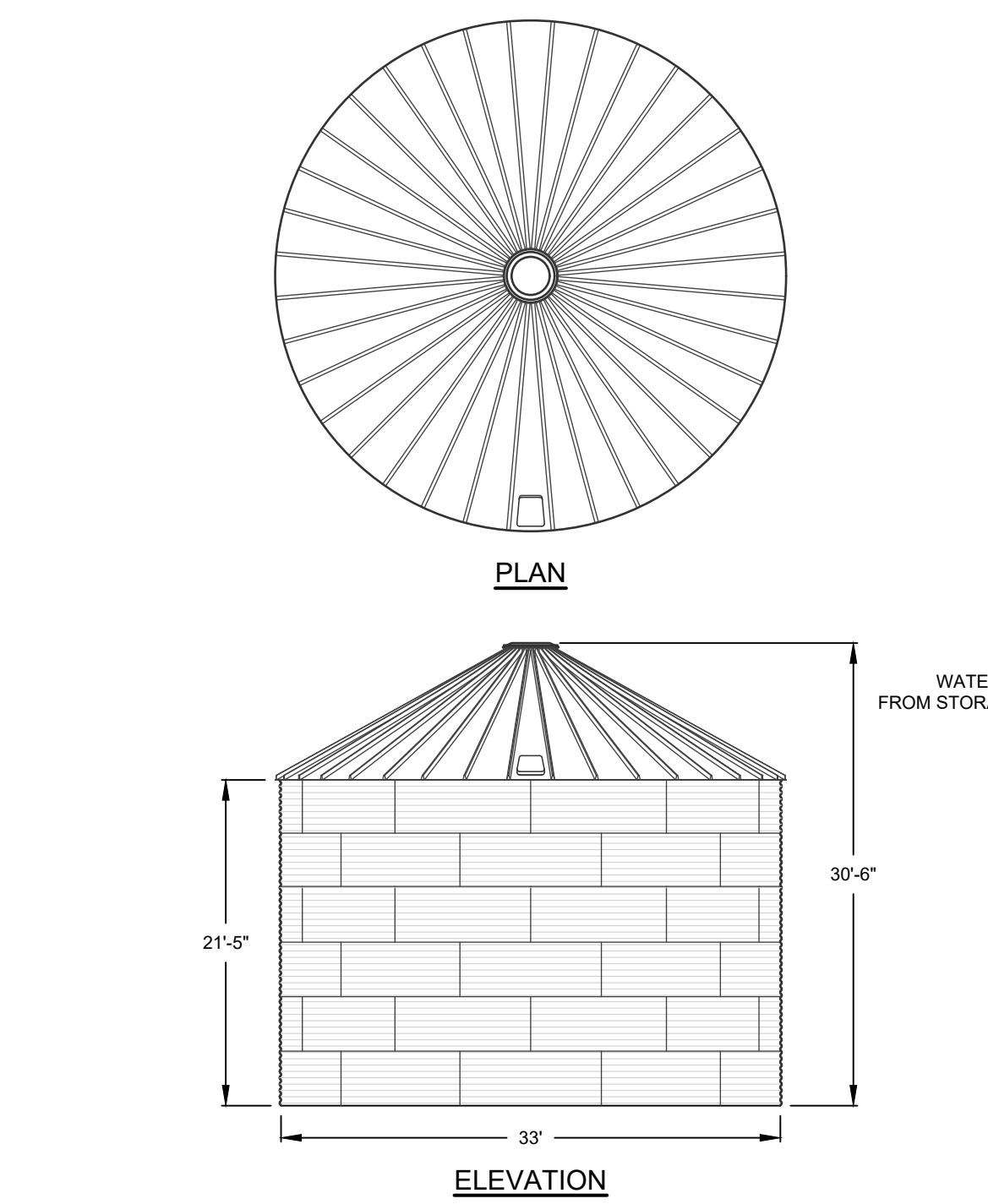
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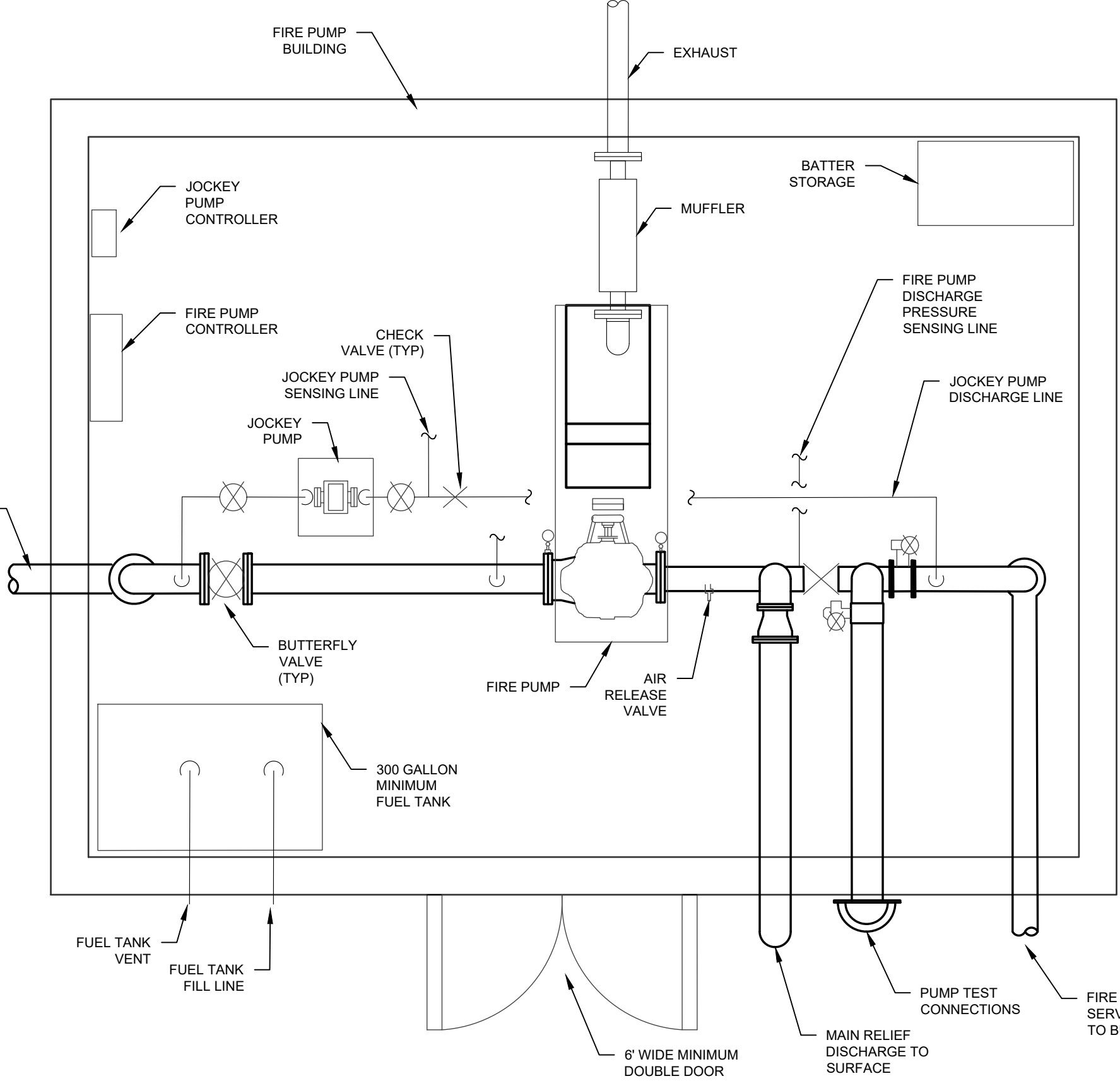






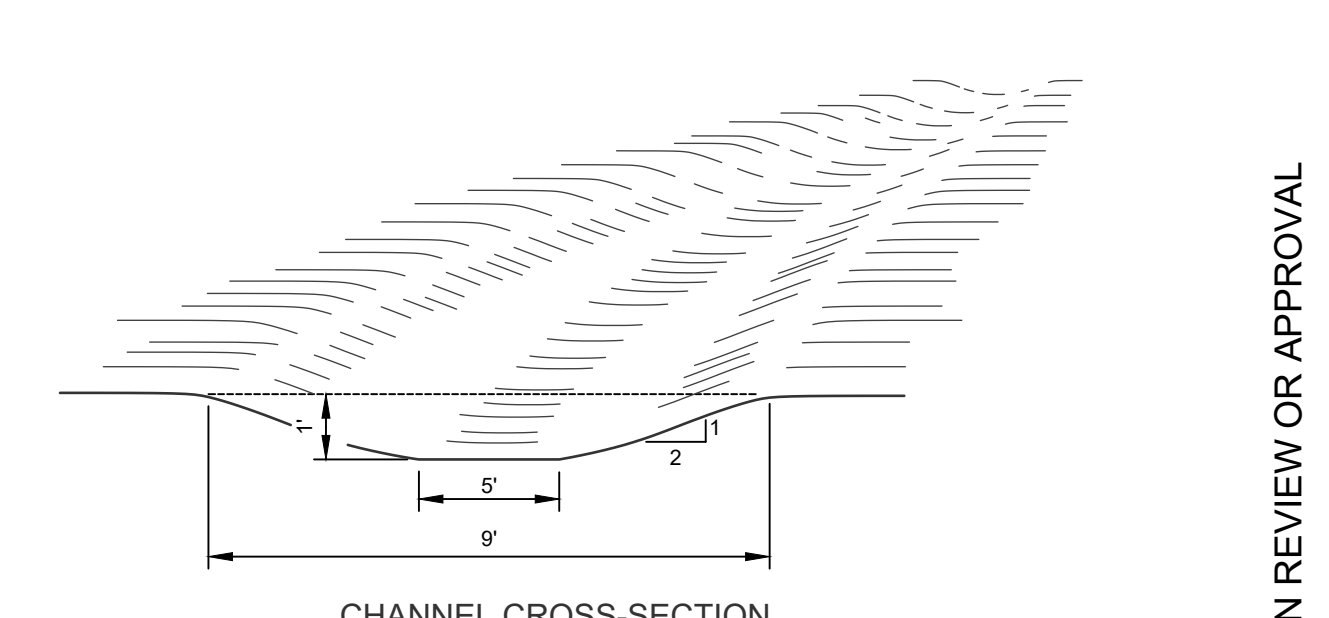
**FIRE PROTECTION WATER STORAGE TANK**  
SCALE: N.T.S.

NOTES:  
1. WATER STORAGE TANK SHALL BE CONSTRUCTED TO STORE A MINIMUM OF 125,000 GALLONS OF WATER AND AS MANUFACTURED BY GEI WORKS (MODEL 33" DIAMETER, 158,000 GALLON) OR APPROVED EQUAL.  
2. THE WATER STORAGE TANK AND ALL APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL MANUFACTURER REQUIREMENTS.  
3. A CONCRETE FOUNDATION DESIGN SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN OF HAMPTONBURGH BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.



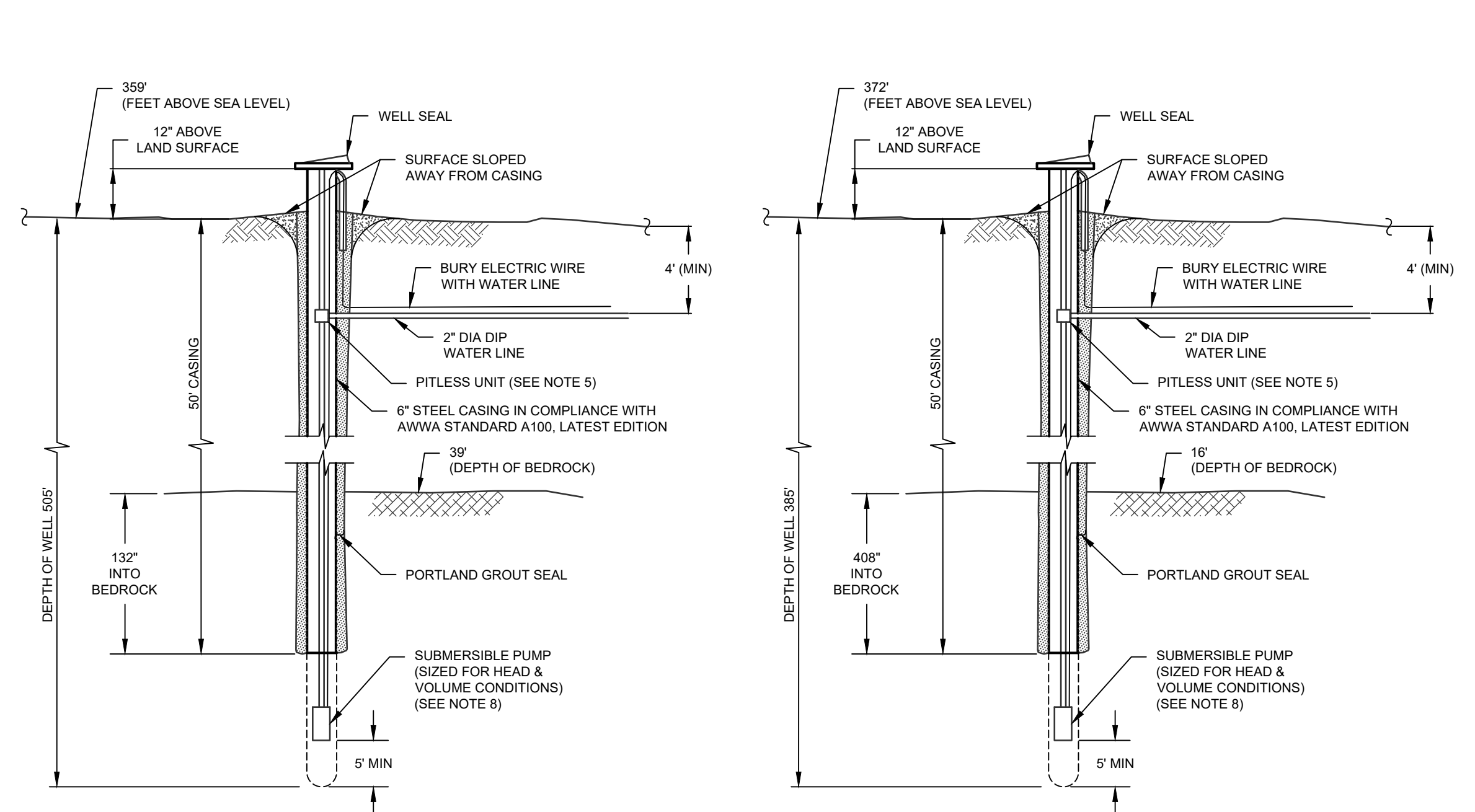
**FIRE PUMP BUILDING SCHEMATIC**  
SCALE: N.T.S.

NOTES:  
1. FIRE PUMP BUILDING SHALL BE DESIGNED BY A N.Y.S. LICENSED ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED TO THE TOWN OF HAMPTONBURGH BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.  
2. A COMPLETE SPRINKLER DESIGN FOR EACH PROPOSED WAREHOUSE BUILDING SHALL BE SUBMITTED TO THE TOWN OF HAMPTONBURGH BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



**TEMPORARY GRASSED SWALE**  
SCALE: N.T.S.

CONSTRUCTION SPECIFICATIONS:  
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.  
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED NORMAL FLOW.  
3. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF OUTSIDE THE WETLAND SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.  
4. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE PRACTICES. SEEDING AND MULCHING SHALL BE USED FOR ESTABLISHMENT OF THE VEGETATION. VEGETATION PROVIDED SHALL BE REED, CANARYGRASS, TALL FESCUE, KENTUCKY BLUEGRASS OR AN APPROVED EQUAL.

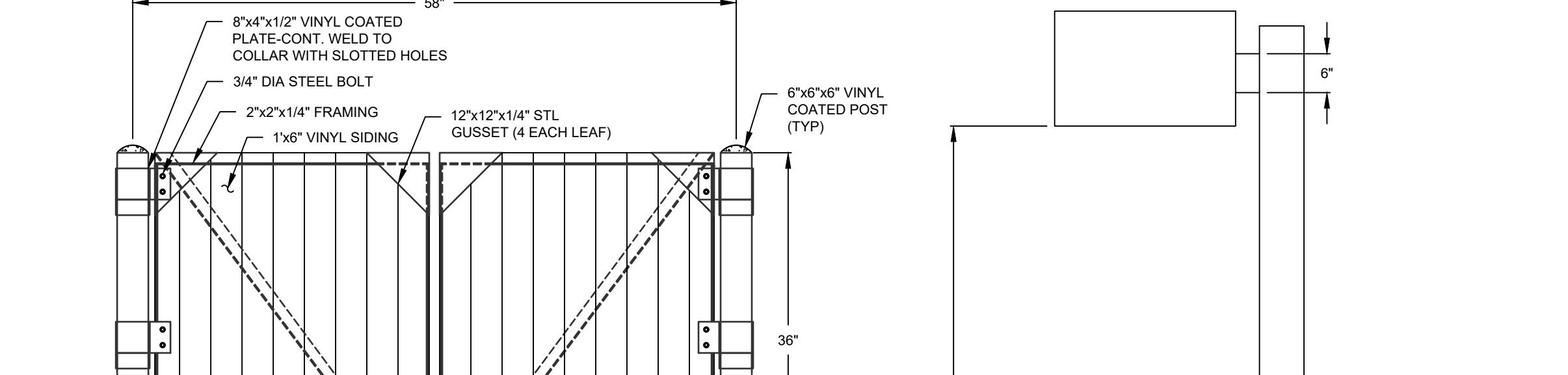
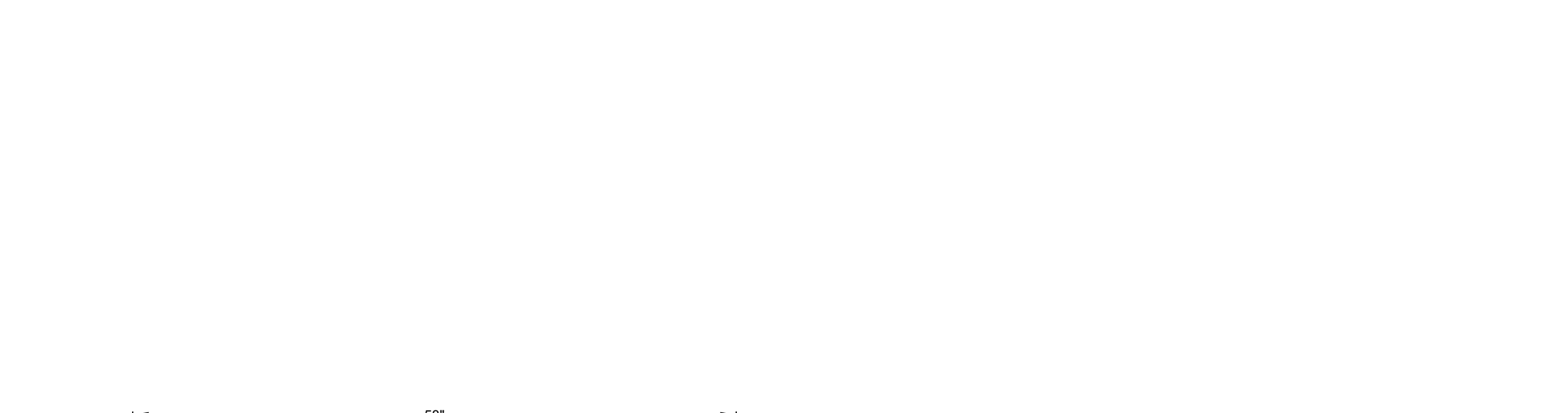


**WELL #1 AS-BUILT SECTION (NYSDEC WELL # 011858)**  
SCALE: N.T.S.

NOTES:  
1. THE PROPOSED WELL WAS DRILLED BY RELIABLE PUMP & WELL SERVICES LLC ON NOVEMBER 12, 2019.  
2. A 4 HOUR YIELD TEST PERFORMED BY RELIABLE PUMP & WELL SERVICES LLC ON NOVEMBER 12, 2019 DEMONSTRATED A STABILIZED DISCHARGE RATE OF 5 GPM. ANY WELL PRODUCING BETWEEN 2.5 GPM REQUIRES 24 HOURS OF STORAGE WITHIN FACILITY.  
3. THE WELL CASING TO CONFORM TO AWWA STANDARD A100 (LATEST EDITION). SANITARY WELL SEAL SHALL BE MONITOR MODEL NO. 8WE-1, MFG BY THE BAKER MFG CO. EVANSVILLE, IN. OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.  
4. PITLESS UNIT SHALL BE 6" I.D. STANDARD INDUSTRIAL PITLESS UNIT NSF 61 CERTIFIED, MFG BY THE BAKER MFG CO. EVANSVILLE, IN. OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.  
5. DISCHARGE PIPE: 2" MIN DIP WATER LINE.  
6. WATER SERVICE LINES UNDER PRESSURE SHALL NOT PASS CLOSER THAN 10" OF A SEPTIC TANK, TILE FIELD, OR ANY OTHER PART OF A SEWAGE DISPOSAL SYSTEM.  
7. PVC PIPE WITH O-RING JOINTS ARE REQUIRED FOR SEWAGE LINES BETWEEN 25 AND 50 FEET OF ANY WELL.  
8. CEMENT GROUT SHALL BE A MIXTURE OF 1 BAG CEMENT (94 LBS) AND 5 1/2 GAL OF CLEAN WATER.  
9. ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.  
10. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN APPENDIX 5-2, NYS DEPT OF HEALTH, LATEST EDITION.

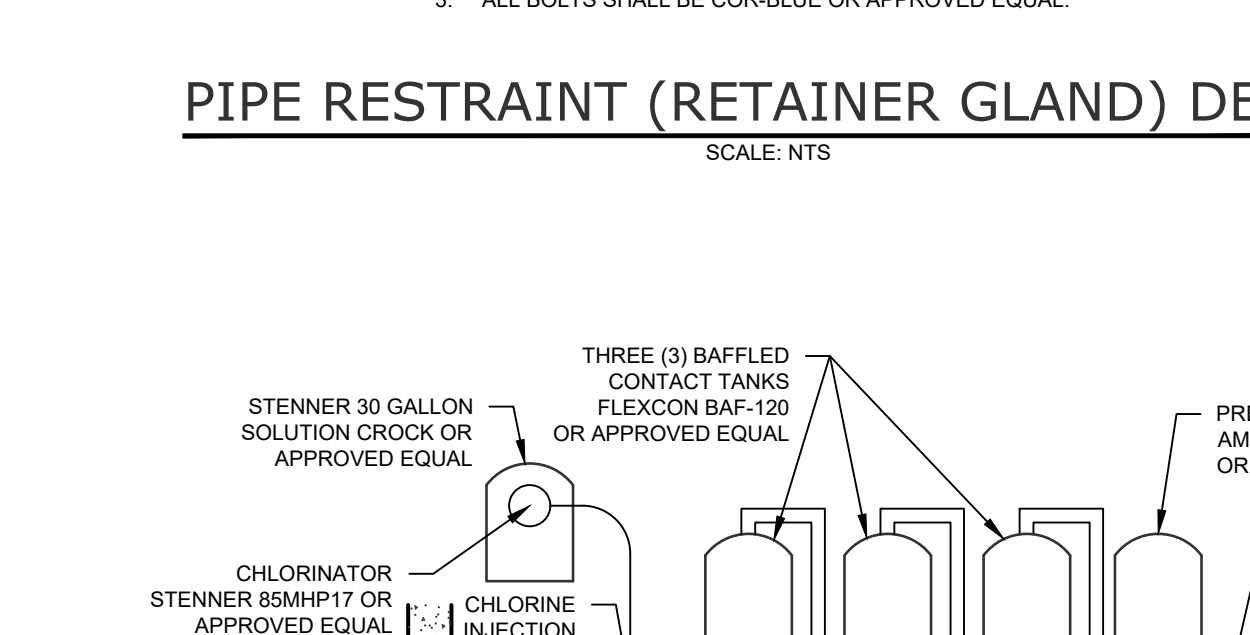
**WELL #2 AS-BUILT SECTION (NYSDEC WELL # 011852)**  
SCALE: N.T.S.

NOTES:  
1. THE PROPOSED WELL WAS DRILLED BY RELIABLE PUMP & WELL SERVICES LLC ON NOVEMBER 8, 2019.  
2. A 4 HOUR YIELD TEST PERFORMED BY RELIABLE PUMP & WELL SERVICES LLC ON NOVEMBER 8, 2019 DEMONSTRATED A STABILIZED DISCHARGE RATE OF 11 GPM. ANY WELL PRODUCING BETWEEN 2.5 GPM REQUIRES 24 HOURS OF STORAGE WITHIN FACILITY.  
3. THE WELL CASING TO CONFORM TO AWWA STANDARD A100 (LATEST EDITION). SANITARY WELL SEAL SHALL BE MONITOR MODEL NO. 8WE-1, MFG BY THE BAKER MFG CO. EVANSVILLE, IN. OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.  
4. PITLESS UNIT SHALL BE 6" I.D. STANDARD INDUSTRIAL PITLESS UNIT NSF 61 CERTIFIED, MFG BY THE BAKER MFG CO. EVANSVILLE, IN. OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.  
5. DISCHARGE PIPE: 2" MIN DIP WATER LINE.  
6. WATER SERVICE LINES UNDER PRESSURE SHALL NOT PASS CLOSER THAN 10" OF A SEPTIC TANK, TILE FIELD, OR ANY OTHER PART OF A SEWAGE DISPOSAL SYSTEM.  
7. PVC PIPE WITH O-RING JOINTS ARE REQUIRED FOR SEWAGE LINES BETWEEN 25 AND 50 FEET OF ANY WELL.  
8. CEMENT GROUT SHALL BE A MIXTURE OF 1 BAG CEMENT (94 LBS) AND 5 1/2 GAL OF CLEAN WATER.  
9. ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.  
10. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN APPENDIX 5-2, NYS DEPT OF HEALTH, LATEST EDITION.



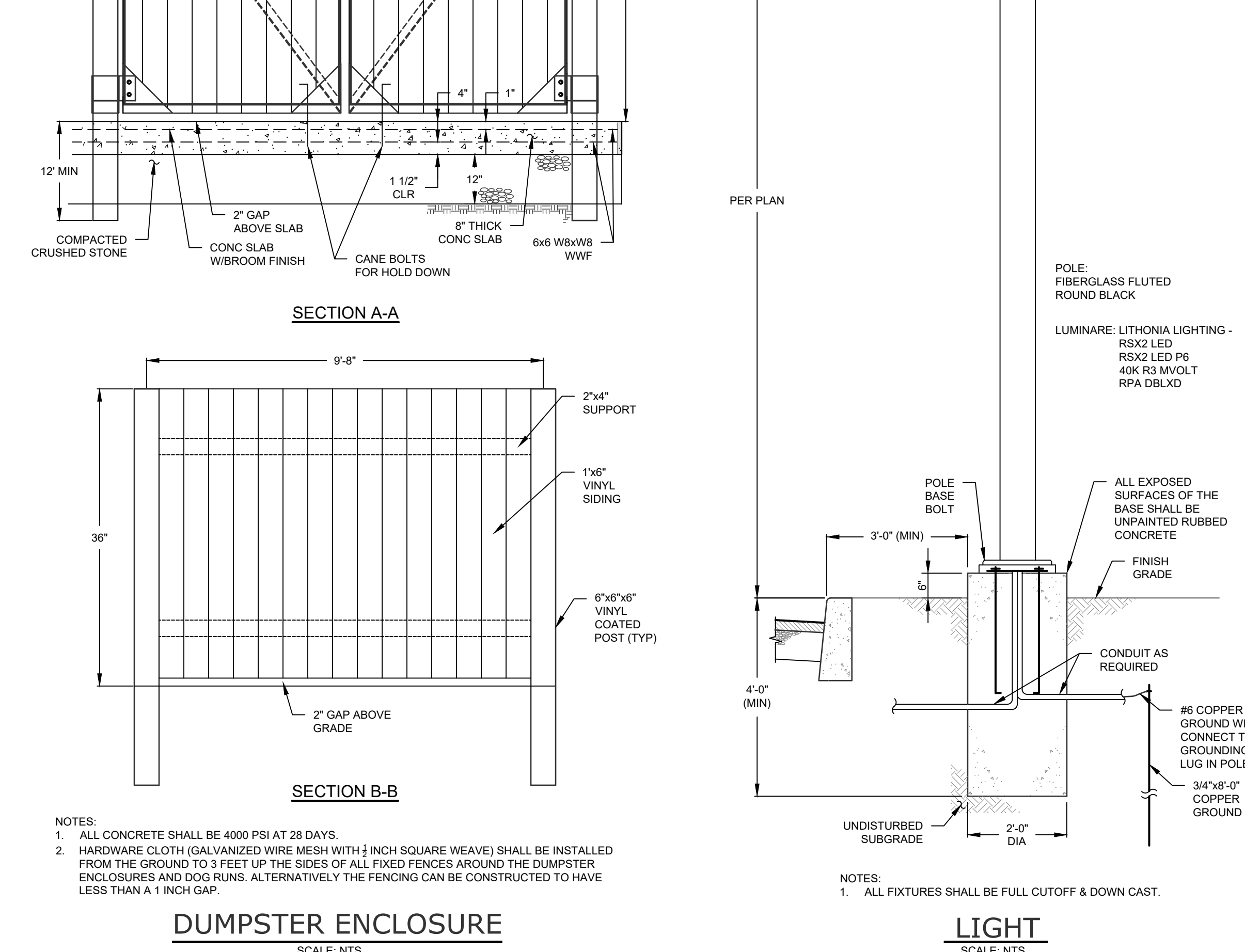
**BOARD-ON-BOARD FENCE**  
SCALE: N.T.S.

NOTES:  
1. BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 11 FEET OF FITTING. 22.5" BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 5 FEET OF FITTING. 11.25" BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 3 FEET OF FITTING.  
2. ALL BONNET NUTS SHALL BE STAINLESS STEEL.  
3. ALL BOLTS SHALL BE COR-BLUE OR APPROVED EQUAL.



**PIPE RESTRAINT (RETAINER GLAND) DETAIL**  
SCALE: N.T.S.

NOTES:  
1. BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 11 FEET OF FITTING. 22.5" BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 5 FEET OF FITTING. 11.25" BENDS REQUIRE RESTRAINTS OF ALL JOINTS WITHIN 3 FEET OF FITTING.  
2. ALL BONNET NUTS SHALL BE STAINLESS STEEL.  
3. ALL BOLTS SHALL BE COR-BLUE OR APPROVED EQUAL.



**DUMPSTER ENCLOSURE**  
SCALE: N.T.S.

NOTES:  
1. ALL CONCRETE SHALL BE 4000 PSI AT 28 DAYS.  
2. HARDWARE CLOTH (GALVANIZED WIRE MESH WITH 1 INCH SQUARE WEAVE) SHALL BE INSTALLED FROM THE GROUND TO 3 FEET UP THE SIDES OF ALL FIXED FENCES AROUND THE DUMPSTER ENCLOSURES AND DOG RUNS. ALTERNATIVELY THE FENCING CAN BE CONSTRUCTED TO HAVE LESS THAN A 1 INCH GAP.

**LIGHT**  
SCALE: N.T.S.

NOTES:  
1. ALL FIXTURES SHALL BE FULL CUTOFF & DOWN CAST.

**RSX2 LED Area Luminaire**

Introduction  
The new RSX2 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

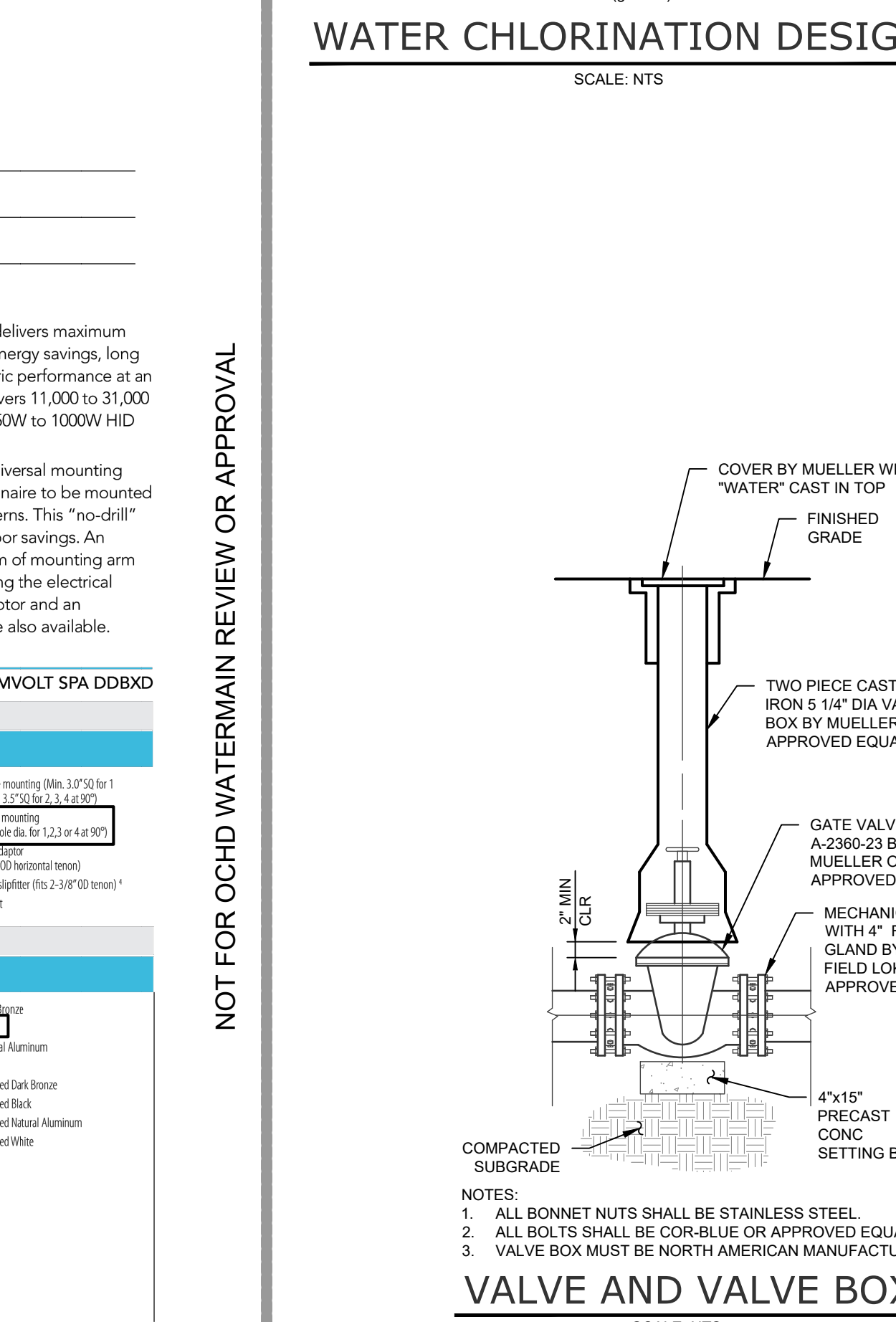
The RSX2 features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor and an adjustable integral slip-fitter are also available.

Specifications  
EPA (lm/W): 0.69 lm/W (0.06 m<sup>2</sup>)  
Length: 29.3" (74.4 cm) (SPA mounted)  
Width: 13.4" (34.0 cm)  
Height: 3.0" (7.6 cm) Mast Body  
Weight (max): 33.0 lbs (15.0 kg)

Ordering Information  
EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DBDBD

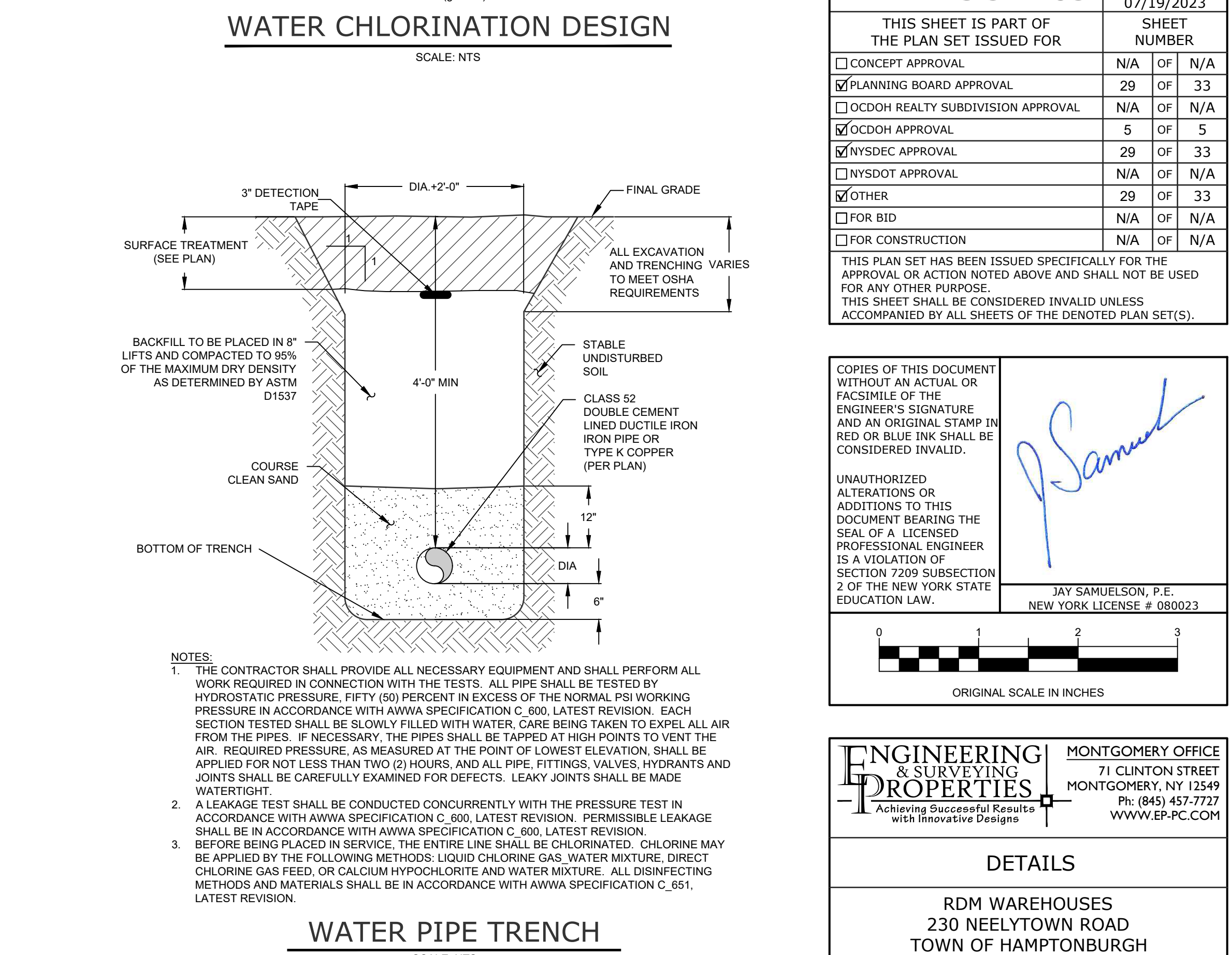
Series	Performance Package	Min. Temperature	Beam/Beam	Voltage	Mounting
RSX200	P1	30K	3000K	4' Dia (1193)	SPA
	P2	30K	4000K	4' Dia (1193)	SPA
	P3	30K	5000K	4' Dia (1193)	SPA

Notes:  
1. ALL BONNET NUTS SHALL BE STAINLESS STEEL.  
2. ALL BOLTS SHALL BE COR-BLUE OR APPROVED EQUAL.  
3. VALVE BOX MUST BE NORTH AMERICAN MANUFACTURE.



**WATER CHLORINATION DESIGN**  
SCALE: N.T.S.

NOTES:  
1. SEPARATE WATER CHLORINATION SYSTEMS ARE TO BE INSTALLED WITHIN PROPOSED WAREHOUSES.  
2. FLOW RESTRICTOR SHALL BE SET TO A MAXIMUM FLOW OF 10 GALLONS PER MINUTE (GPM).  
3. WATER SYSTEM SHALL BE SET TO AN OPERATING PRESSURE OF 40 PSI - 60 PSI.  
4. BOTH RAW AND FINISHED WATER SAMPLE TAPS SHALL BE "SMOOTH NOSE" TYPE OF CONNECTORS.  
5. CHLORINE FEED PUMP SHALL BE ELECTRICALLY INTERCONNECTED TO WELL PUMP.



**WATER PIPE TRENCH**  
SCALE: N.T.S.

NOTES:  
1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND SHALL PERFORM ALL WORK REQUIRED IN CONNECTION WITH THE TESTS. ALL PIPE SHALL BE TESTED BY HYDROSTATIC PRESSURE, FIFTY (50) PERCENT IN EXCESS OF THE NORMAL PSI WORKING PRESSURE IN ACCORDANCE WITH AWWA SPECIFICATION C-800, LATEST REVISION. EACH SECTION TESTED SHALL BE SLOWLY FILLED WITH WATER, CARE BEING TAKEN TO EXHAUST ALL AIR FROM THE PIPES. IF NECESSARY, THE PIPES SHALL BE TAPPED AT HIGH POINTS TO VENT THE AIR. REQUIRED PRESSURE, AS MEASURED AT THE POINT OF LOWEST ELEVATION, SHALL BE APPLIED FOR NOT LESS THAN TWO (2) HOURS, AND ALL PIPE, FITTINGS, VALVES, HYDRANTS AND JOINTS SHALL BE CAREFULLY EXAMINED FOR DEFECTS. LEAKY JOINTS SHALL BE MADE WATERTIGHT.  
2. A LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH THE PRESSURE TEST IN ACCORDANCE WITH AWWA SPECIFICATION C-800, LATEST REVISION. PERMISSIBLE LEAKAGE SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-800, LATEST REVISION.  
3. BEFORE BEING PLACED IN SERVICE, THE ENTIRE LINE SHALL BE CHLORINATED. CHLORINE MAY BE APPLIED BY THE FOLLOWING METHODS: LIQUID CHLORINE GAS, WATER MIXTURE, DIRECT CHLORINE GAS FEED, OR CALCIUM HYPOCHLORITE AND WATER MIXTURE. ALL DISINFECTING METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-651, LATEST REVISION.

No.	DATE	DESCRIPTION
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8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
10	03/09/21	ADDED NEELYTOWN ROAD IMPROVEMENTS SHEET
11	07/16/21	REVISED PER ENGINEER COMMENTS
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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	29 OF 33
<input type="checkbox"/>	OGDCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	OGDCH APPROVAL	5 OF 5
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	29 OF 33
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	FOR BID	29 OF 33
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.  
NEW YORK LICENSE # 080023

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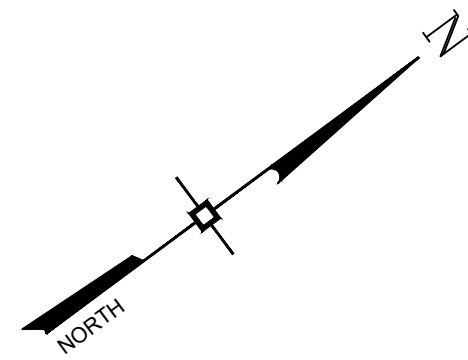
**DETAILS**

RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

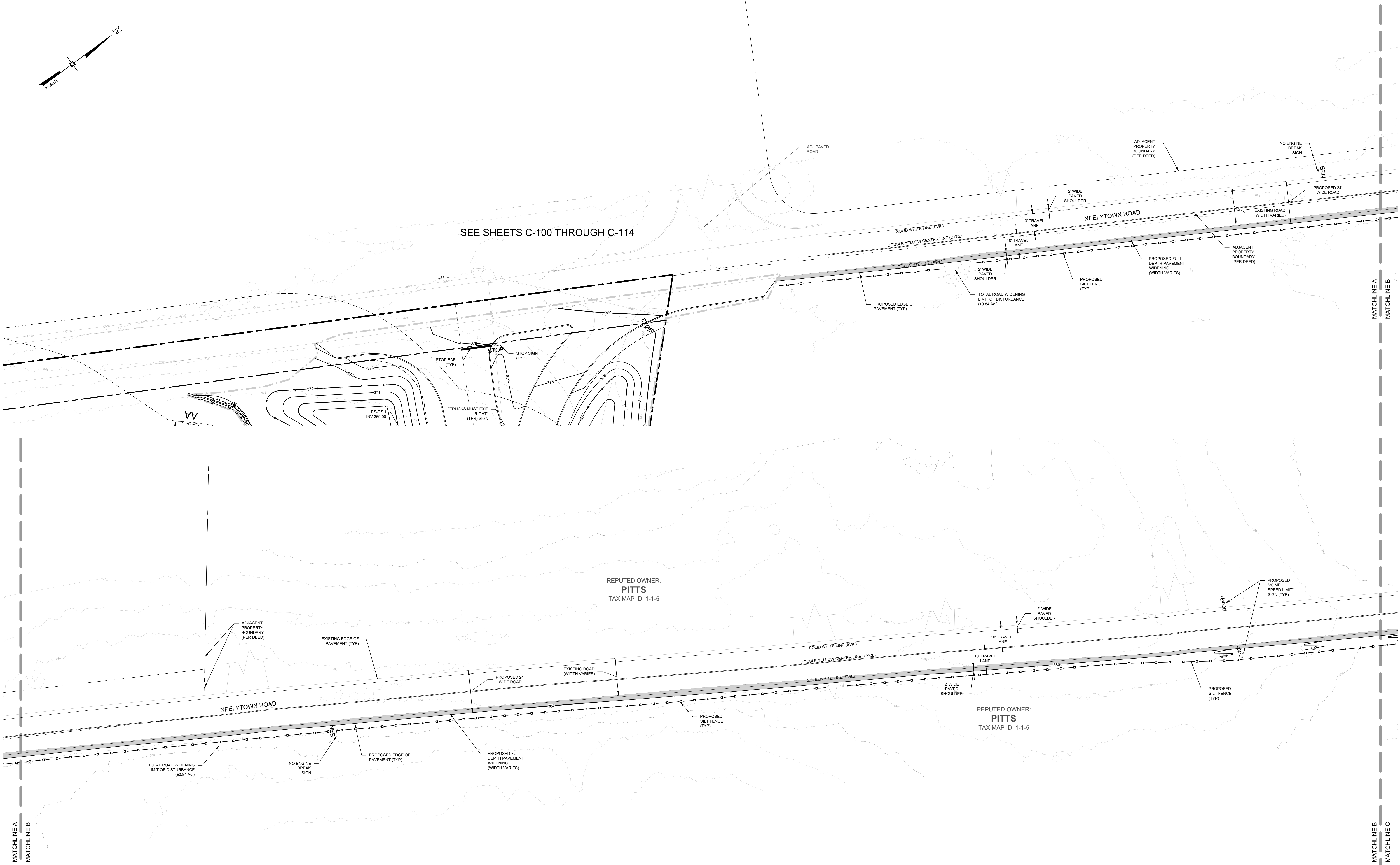
JOB #: 1284.02  
DATE: 01/23/19  
REVISION: 16-07/19/2023

DRAWN BY: JS  
SCALE: AS NOTED  
TAX LOT: 1-1-6.1 & 6.2

**C-306**



SEE SHEETS C-100 THROUGH C-114



REPUTED OWNER:  
**PITTS**  
TAX MAP ID: 1-1-5

REPUTED OWNER:  
**PITTS**  
TAX MAP ID: 1-1-5

**NEELYTOWN ROAD IMPROVEMENT NOTES**

- 1. THE APPLICANT SHALL BE RESPONSIBLE FOR THE FOLLOWING IMPROVEMENTS WITHIN OR ALONG THE NEELYTOWN ROAD RIGHT-OF-WAY WHICH SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING CONSTRUCTED.
- THE DESIGN, PERMITTING, AND INSTALLATION OF THE REPLACEMENT OF THE CULVERT WITHIN THE NEELYTOWN R.O.W. JUST NORTH OF EAGER ROAD.
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE NECESSARY EXPANSION OF NEELYTOWN ROAD TO ENSURE THAT THERE WILL BE A MINIMUM OF 24 FEET OF PAVEMENT WIDTH FROM THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY BOUNDARY TO THE PROJECT ENTRANCE. (SEE FULL DEPTH PAVEMENT DETAIL ON SHEET C-305).
- THE CULVERT SHALL BE REPLACED AND ANY REQUIRED PAVEMENT WIDENING SHALL BE COMPLETED PRIOR TO THE PAVEMENT OVERLAY DISCUSSED ABOVE.
- THE APPLICANT SHALL INSTALL A PETROMAT PAVING FABRIC AND A 2" ASPHALT TOP COURSE OVERLAY TO PROVIDE ADDITIONAL STRUCTURAL SUPPORT TO THE EXISTING ROADWAY TO MAINTAIN THE ROAD'S INTEGRITY. THE PAVING FABRIC AND ASPHALT OVERLAY OF NEELYTOWN ROAD FROM THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY MUNICIPAL BOUNDARY TO THE PROJECT ENTRANCE. (SEE PAVEMENT OVERLAY DETAIL ON SHEET C-305).
- PRIOR TO INSTALLATION OF THE PETROMAT AND ASPHALT OVERLAY, A SITE VISIT WITH THE DESIGN ENGINEER, TOWN ENGINEER, AND TOWN OF HAMPTONBURGH HIGHWAY SUPERINTENDENT SHALL OCCUR TO WALK NEELYTOWN ROAD TO DETERMINE ANY AREAS OF BROKEN PAVEMENT EDGES, POTHOLES, ETC. THAT WILL BE REQUIRED TO BE SAWCUT AND REMOVED.

- THE APPLICANT SHALL INSTALL ADDITIONAL 30MPH SIGNS (SIGNS MUST COMPLY WITH ALL NYS DOT SPECIFICATIONS) ON NEELYTOWN ROAD IN BOTH DIRECTIONS IMMEDIATELY SOUTH OF INTERSECTION OF EAGER ROAD.
- THE APPLICANT SHALL INSTALL A "HILL BLOCKS VIEW" SIGN (MUTCD #W7-6) (SIGN MUST COMPLY WITH ALL NYS DOT SPECIFICATIONS) FACING THE NORTHBOUND TRAFFIC ON NEELYTOWN ROAD SOUTH OF THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY BOUNDARY.
- THE APPLICANT SHALL PROVIDE STRIPING OF NEELYTOWN ROAD FROM THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY BOUNDARY TO THE PROJECT ENTRANCE CONSISTING OF A DOUBLE YELLOW CENTERLINE AND WHITE LINES DEFINING THE EDGE OF TRAVEL LANES (FOG LINES) TO ESTABLISH 10' WIDE TRAVEL LANES IN BOTH DIRECTIONS. ALL STRIPING MUST COMPLY WITH ALL NYS DOT SPECIFICATIONS

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7	09/14/20	REVISED PER NOISE CONSULTANT COMMENTS
8	11/18/20	REVISED PER PUBLIC HEARING COMMENTS
9	12/23/20	REVISED PER ENGINEER COMMENTS
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	30	OF 33
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH APPROVAL	N/A	OF 5
<input checked="" type="checkbox"/> NYSDEC APPROVAL	30	OF 33
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OTHER	30	OF 33
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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1 20 0 10 20 40  
1 inch = 20 ft.

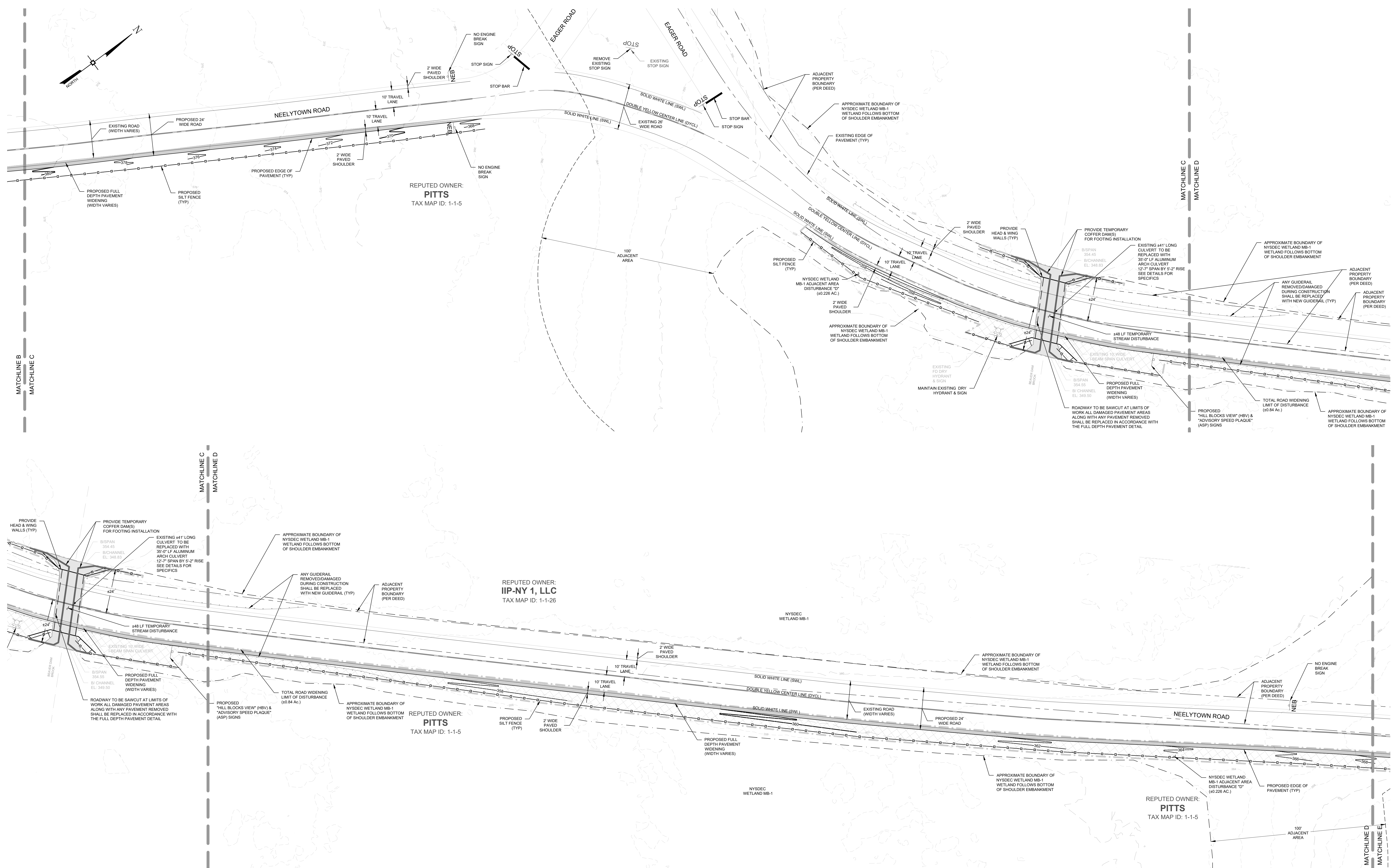
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**NEELYTOWN ROAD IMPROVEMENTS**  
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1284.02 DRAWN BY: JS  
DATE: 01/23/19 SCALE: 1" = 20'  
REVISION: 16 - 07/19/2023 TAX LOT: 1-1-6.1 & 6.2

**C-401**



**NEELYTOWN ROAD IMPROVEMENT NOTES**

- THE APPLICANT SHALL BE RESPONSIBLE FOR THE FOLLOWING IMPROVEMENTS WITHIN OR ALONG THE NEELYTOWN ROAD RIGHT-OF-WAY WHICH SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING CONSTRUCTED.
  - THE DESIGN, PERMITTING, AND INSTALLATION OF THE REPLACEMENT OF THE CULVERT WITHIN THE NEELYTOWN R.O.W. JUST NORTH OF EAGER ROAD.
  - THE APPLICANT SHALL BE RESPONSIBLE FOR THE NECESSARY EXPANSION OF NEELYTOWN ROAD TO ENSURE THAT THERE WILL BE A MINIMUM OF 24 FEET OF PAVED WIDTH FROM THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY BOUNDARY TO THE PROJECT ENTRANCE. (SEE FULL DEPTH PAVEMENT DETAIL ON SHEET C-365).
  - THE CULVERT SHALL BE REPLACED AND ANY REQUIRED PAVEMENT WIDENING SHALL BE COMPLETED PRIOR TO THE PAVEMENT OVERLAY DISCUSSED ABOVE.
  - THE APPLICANT SHALL INSTALL A PETROMAT PAVING FABRIC AND A 2" ASPHALT TOP COURSE OVERLAY TO PROVIDE ADDITIONAL STRUCTURAL SUPPORT TO THE EXISTING ROADWAY TO MAINTAIN THE ROAD'S INTEGRITY. THE PAVING FABRIC AND ASPHALT OVERLAY OF NEELYTOWN ROAD FROM THE TOWN OF HAMPTONBURGH / TOWN OF MONTGOMERY MUNICIPAL BOUNDARY TO THE PROJECT ENTRANCE. (SEE PAVEMENT OVERLAY DETAIL ON SHEET C-365).
  - PRIOR TO INSTALLATION OF THE PETROMAT AND ASPHALT OVERLAY, A SITE VISIT WITH THE DESIGN ENGINEER, TOWN ENGINEER, AND TOWN OF HAMPTONBURGH HIGHWAY SUPERINTENDENT SHALL OCCUR TO WALK NEELYTOWN ROAD TO DETERMINE ANY AREAS OF BROKEN PAVEMENT EDGES, POTHOLES, ETC. THAT WILL BE REQUIRED TO BE SAWCUT AND REMOVED.
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<input type="checkbox"/> PLANNING BOARD APPROVAL	31 OF 33	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
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<input checked="" type="checkbox"/> NYSDEC APPROVAL	31 OF 33	
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<input checked="" type="checkbox"/> OTHER	31 OF 33	
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1" = 20'

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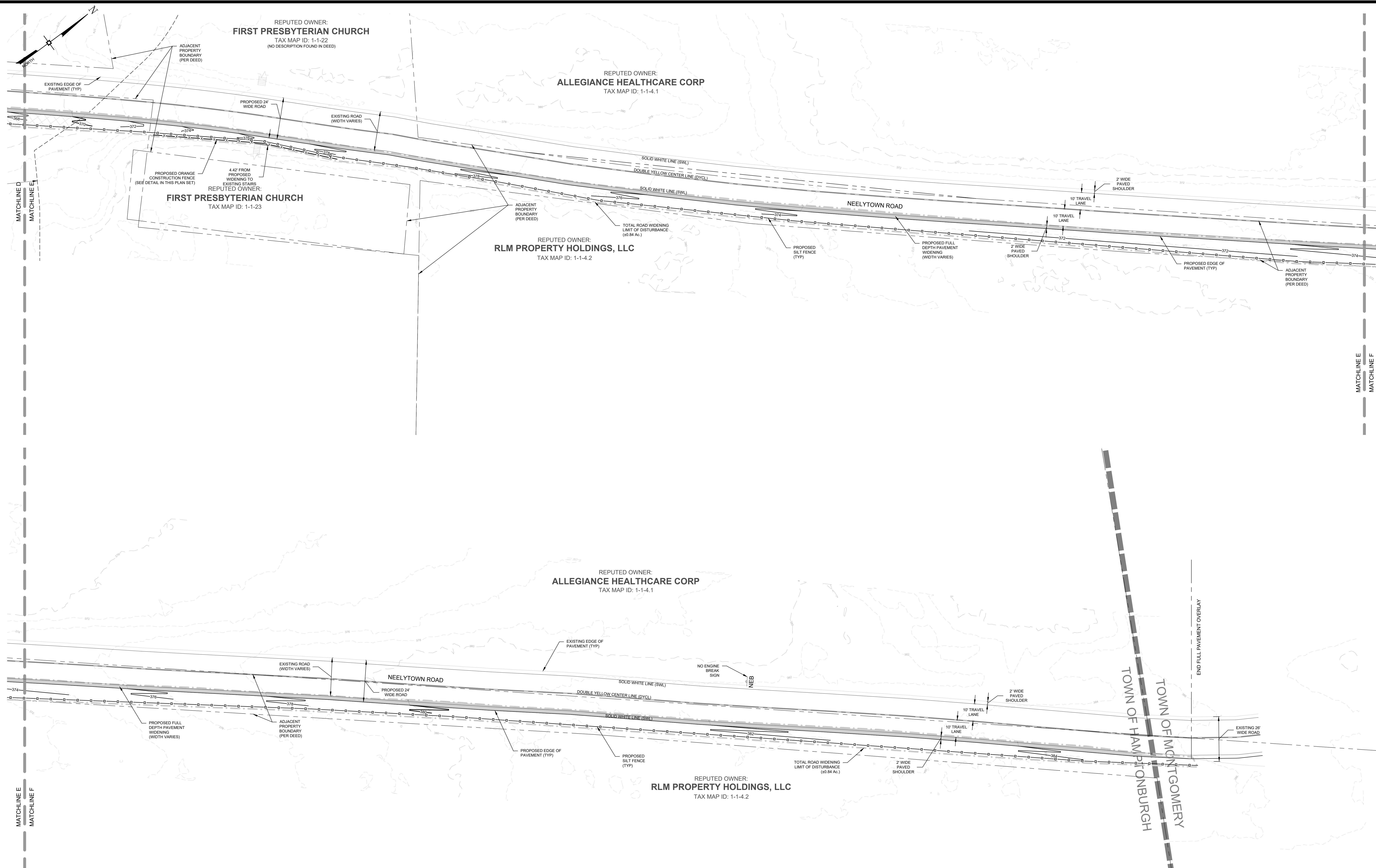
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**NEELYTOWN ROAD IMPROVEMENTS**  
RDM WAREHOUSES  
230 NEELYTOWN ROAD  
TOWN OF HAMPTONBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1284.02 DRAWN BY: JS  
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  - BEFORE INSTALLATION OF THE PETROMAT AND ASPHALT OVERLAY, A SITE VISIT WITH THE DESIGN ENGINEER, TOWN ENGINEER, AND TOWN OF HAMPTONBURGH HIGHWAY SUPERINTENDENT SHALL OCCUR TO WALK NEELYTOWN ROAD TO DETERMINE ANY AREAS OF BROKEN PAVEMENT EDGES, POTHOLES, ETC. THAT WILL BE REQUIRED TO BE SAWCUT AND REMOVED.
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