

PARKING REQUIREMENTS

WAREHOUSE:	10,000 S.F. @ 1 SPACE PER 1,500 SQUARE FEET:	7 SPACES
	252,564 S.F. @ 1 SPACE PER 5,000 SQUARE FEET:	51 SPACES
OFFICE / RESEARCH:	8,000 S.F. @ 1 SPACE PER 300 SQUARE FEET:	27 SPACES
	TOTAL REQUIRED:	85 SPACES
	PROVIDED:	86 SPACES

BULK REQUIREMENTS

TOWN OF WALLKILL - ZONING DISTRICT O/R
PROPOSED USE: DISTRIBUTION CENTER (USE §249-27.1E)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	LOT 2
LOT AREA	40,000 SF	909,334± SF
LOT WIDTH	150 FEET	816.8 FEET
LOT DEPTH	200 FEET	841.9 FEET
FRONT YARD	50 FEET	53.4 FEET
REAR YARD	50 FEET	156.9 FEET
SIDE YARD (ONE/BOTH)	20/40 FEET ¹	58.3/113.5 FEET

MAXIMUM ALLOWABLE		
MAXIMUM BUILDING HEIGHT	35 FT ²	45 FT
MAXIMUM LOT COVERAGE (BUILDINGS)	40%	29.75% ³
MAXIMUM IMPERVIOUS COVERAGE	60%	50.0% ³

¹ 20 FEET OR EQUAL TO THE HEIGHT OF THE BUILDING, WHICHEVER IS GREATER.

² MAXIMUM BUILDING HEIGHT: A VARIANCE HAS BEEN GRANTED FOR A TOTAL HEIGHT OF 45 FEET.

LIST OF DRAWINGS

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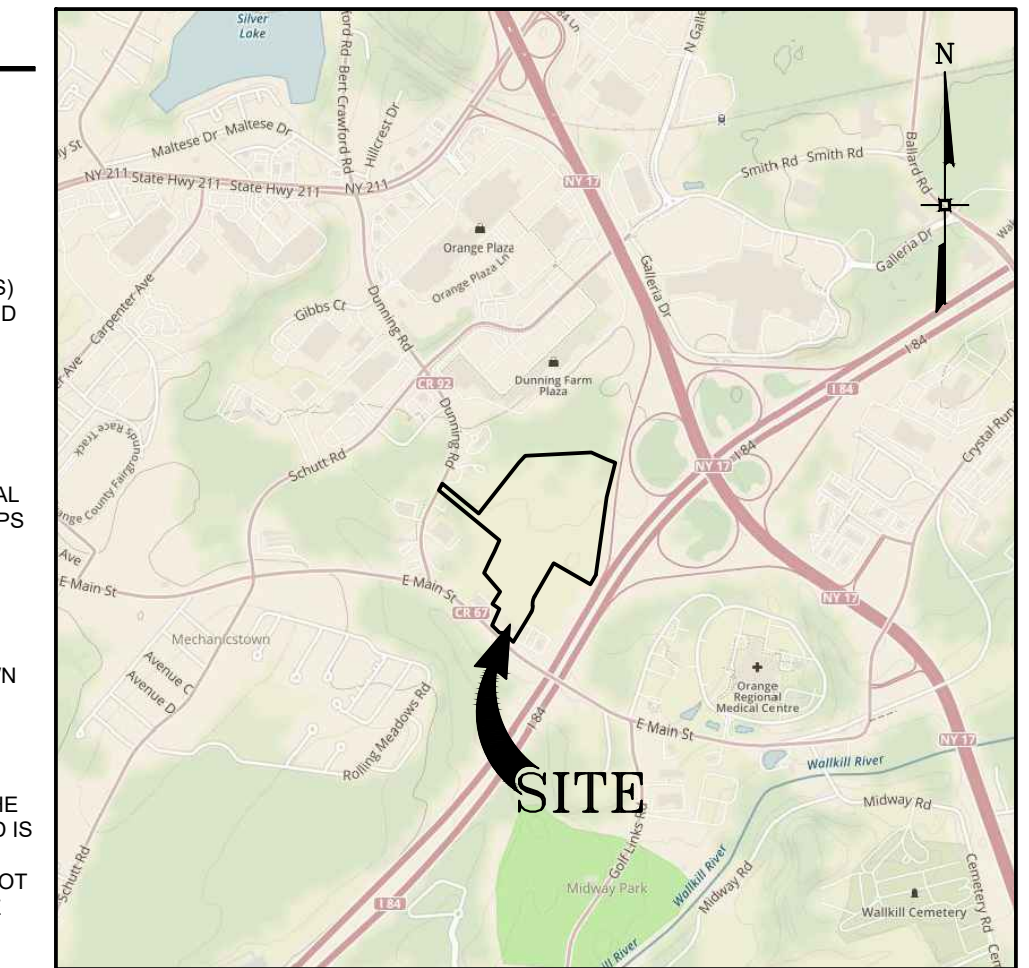
PLANS BY OTHERS

RETAINING WALL DESIGN PLANS BY FRENCH & PARRELLO ASSOCIATES

DRAWING #	TITLE	SHEET #
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GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: 78-1-94.1
- BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A MAP "COMMERCIAL REALTY SUBDIVISION & LOT LINE CHANGE PLAN" BY ENGINEERING & SURVEYING PROPERTIES, PC DATED JULY 2, 2019.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NY'S GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD.
- OWNER/APPLICANT: 599 E MAIN PROJECT, LLC
86 ROUTE 59
SPRING VALLEY, NY, 10977
- THE WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD DELINEATION PERFORMED BY PETER D. TORGENSEN ON SEPTEMBER 2019, AND GPS LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC ON SEPTEMBER 2019, AND FILED VERIFIED BY BRIAN ORZEL FROM ARMY CORPS OF ENGINEERS ON DECEMBER 10, 2019.
- A RESOLUTION OF THE TOWN BOARD OF THE TOWN OF WALLKILL PURSUANT TO TOWN CODE §249-26.2(C)(13) AND (14) IN SUPPORT OF THE APPLICATION TO APPLY TO THE TOWN PLANNING BOARD FOR A SPECIAL USE PERMIT TO CONSTRUCT A WAREHOUSE/DISTRIBUTION FACILITY OF 300,000 SF IN SIZE WITHIN THE TOWN WAS ADOPTED AUGUST 22, 2019.
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- A NATION WIDE PERMIT FROM THE ARMY CORPS OF ENGINEERS SHALL BE OBTAINED WITH A COPY PROVIDED TO THE TOWN OF WALLKILL BUILDING DEPARTMENT PRIOR TO ANY DISTURBANCE WITHIN THE FEDERALLY REGULATED WETLANDS.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENT FACTS AND ANY REGULATIONS, OR GUIDANCE, IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- DIG SAFELY NEW YORK MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION (DIAL 811 OR WWW.DIGSAFELYNEWYORK.COM).
- MAINTENANCE OF ALL SWALES AND CULVERTS SHALL BE COMPLETED REGULARLY TO PREVENT ANY BUILDUP OF DEBRIS AND/OR RESTRICTION OF FLOW AS NOT CAUSE ANY UNNECESSARY FLOODING.



LOCATION MAP

SCALE: 1"=2000'

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIR RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
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9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCCDH COMMENTS
15	02/22/22	REVISED PER OCCDH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	05/08/2023
	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1 OF 22
<input type="checkbox"/> OCCDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> OCCDH WATERMAIN EXTENSION APPROVAL	1 OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	1 OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF 2
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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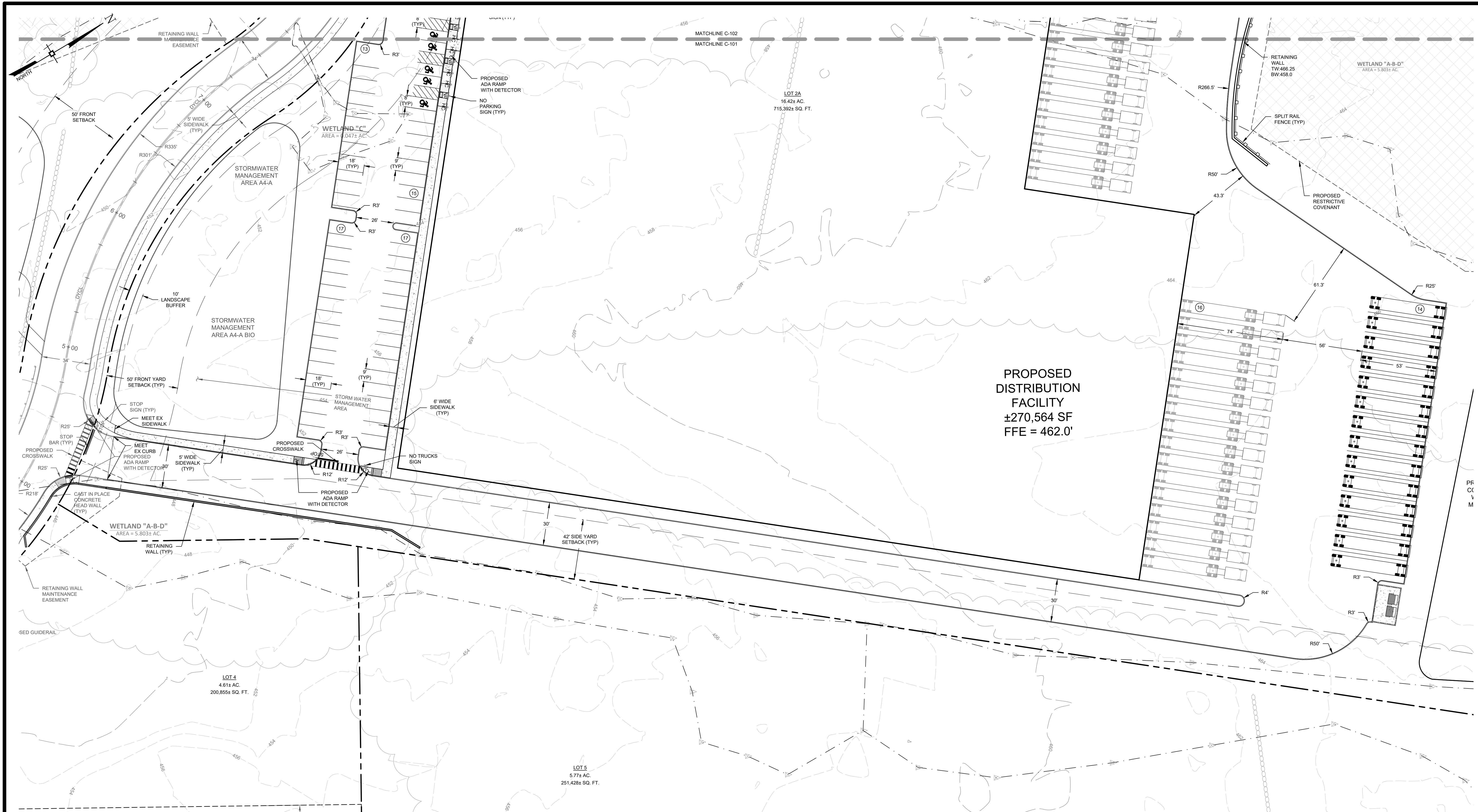
MONTGOMERY OFFICE
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
WWW.EP-PC.COM

OVERALL SITE PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=100'
REVISION:	21 - 05/08/2023	TAX LOT:	78-1-94.1

TOWN OF WALLKILL PB SHEET 1 OF 27



PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

No.	DATE	DESCRIPTION
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13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	N/A	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	2	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
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J. Samuelson

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SITE PLAN

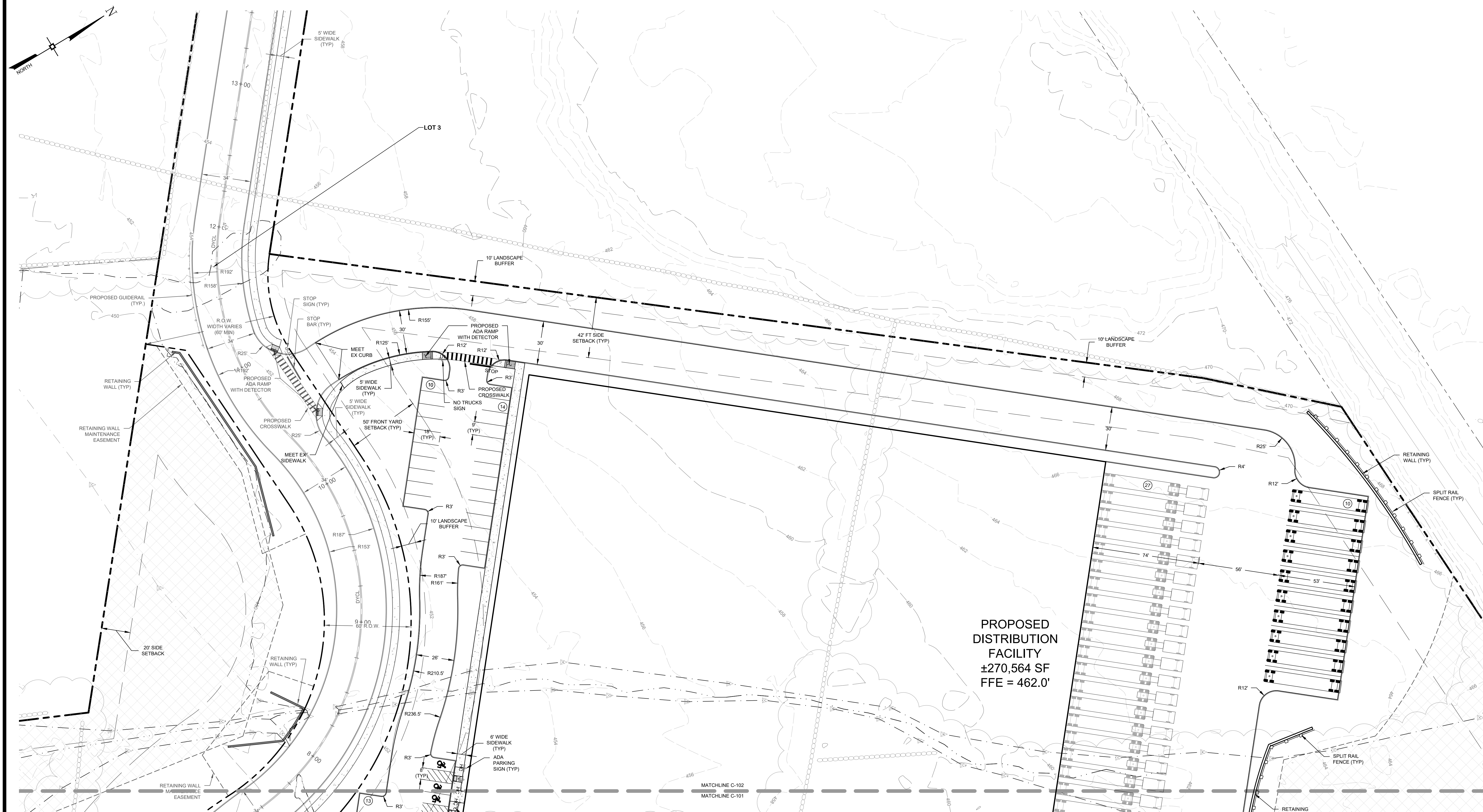
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94.1

C-101

TOWN OF WALLKILL PB SHEET 2 OF 27



PROPOSED DISTRIBUTION FACILITY
 ±270,564 SF
 FFE = 462.0'

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2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3 OF 22	
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	N/A OF 9	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	3 OF 22	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF 2	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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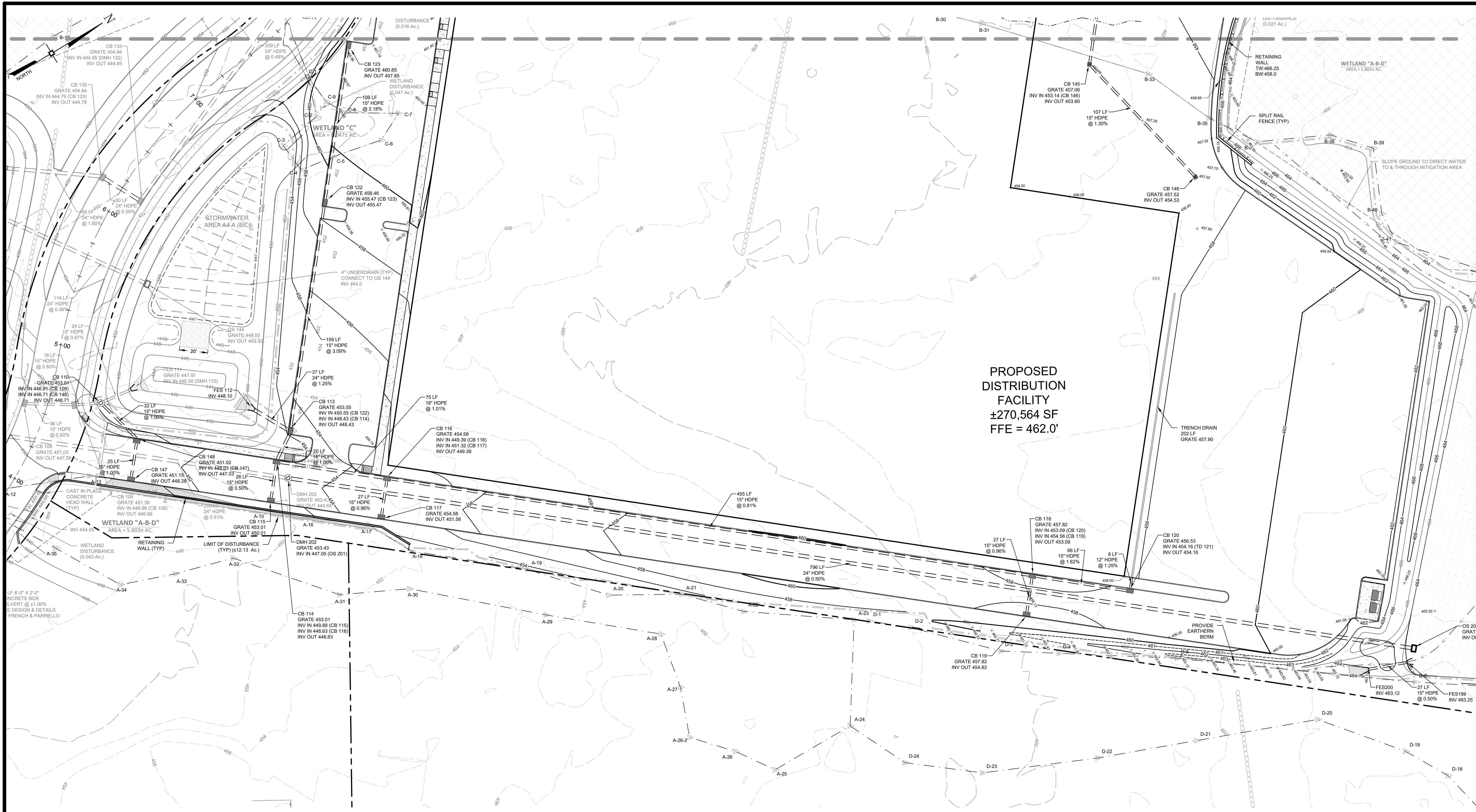
SITE PLAN
 599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
 599 EAST MAIN STREET
 TOWN OF WALLKILL
 ORANGE COUNTY, NEW YORK

JOB #: 980.1504
 DATE: 01/06/20
 REVISION: 21 - 05/08/2023

DRAWN BY: JS
 SCALE: 1" = 30'
 TAX LOT: 78-1-94.1

C-102

TOWN OF WALLKILL PB SHEET 3 OF 27



PROPOSED DISTRIBUTION FACILITY
 ±270,564 SF
 FFE = 462.0'

LF 8'-0" X 2'-0" CONCRETE BOX FLVERT @ ±1.00%
 E DESIGN & DETAILS FRENCH & PARRELLLO

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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	4 OF 22	
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	2 OF 9	
<input checked="" type="checkbox"/> NYSDEC APPROVAL	4 OF 22	
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GRADING & DRAINAGE PLAN

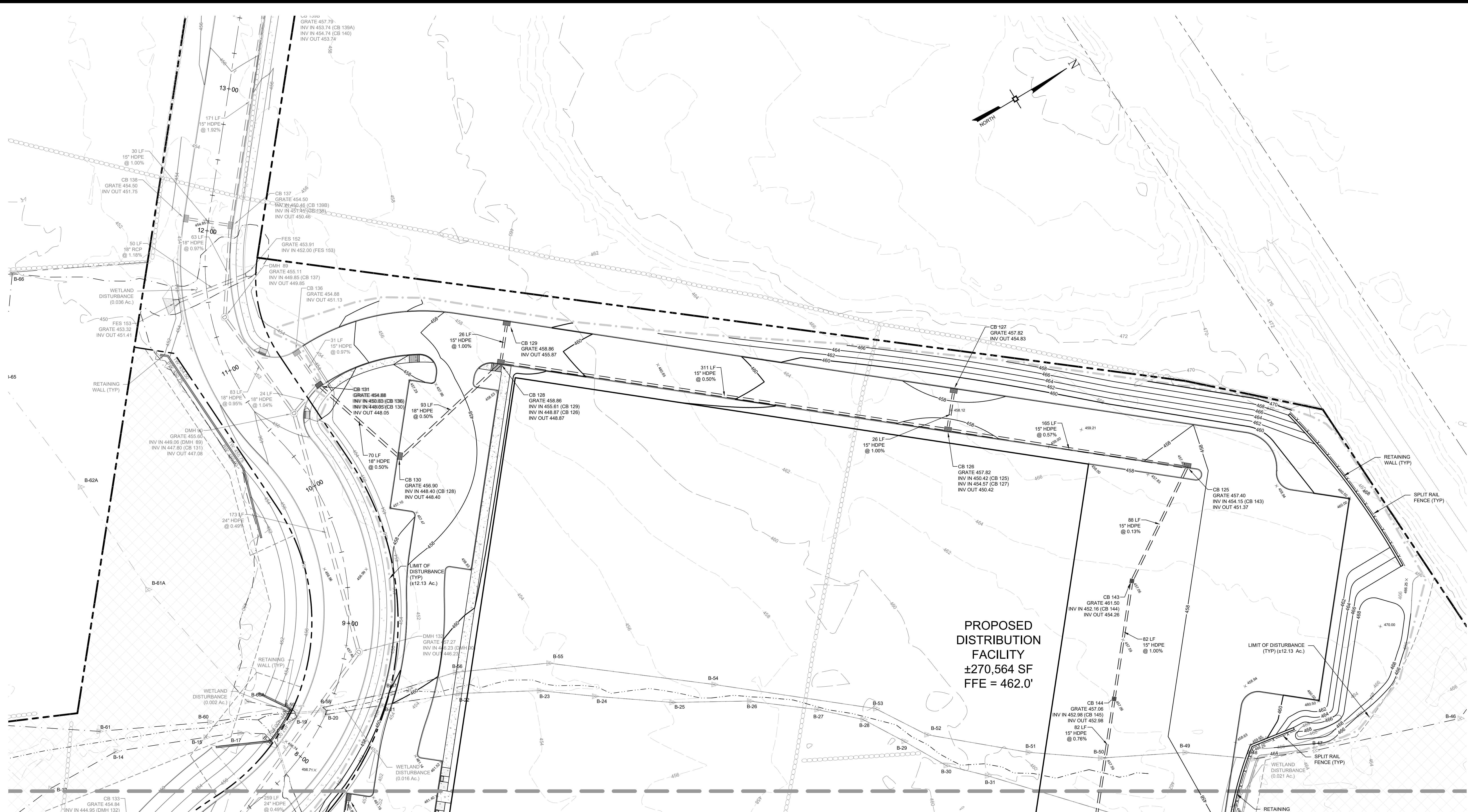
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 TOWN OF WALLKILL
 ORANGE COUNTY, NEW YORK

JOB #: 980.1504
 DATE: 01/06/20
 REVISION: 21 - 05/08/2023

DRAWN BY: JS
 SCALE: 1" = 30'
 TAX LOT: 78-1-94.1

C-103

TOWN OF WALLKILL PB SHEET 4 OF 27



No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	3	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	5	OF 22
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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GRADING & DRAINAGE PLAN

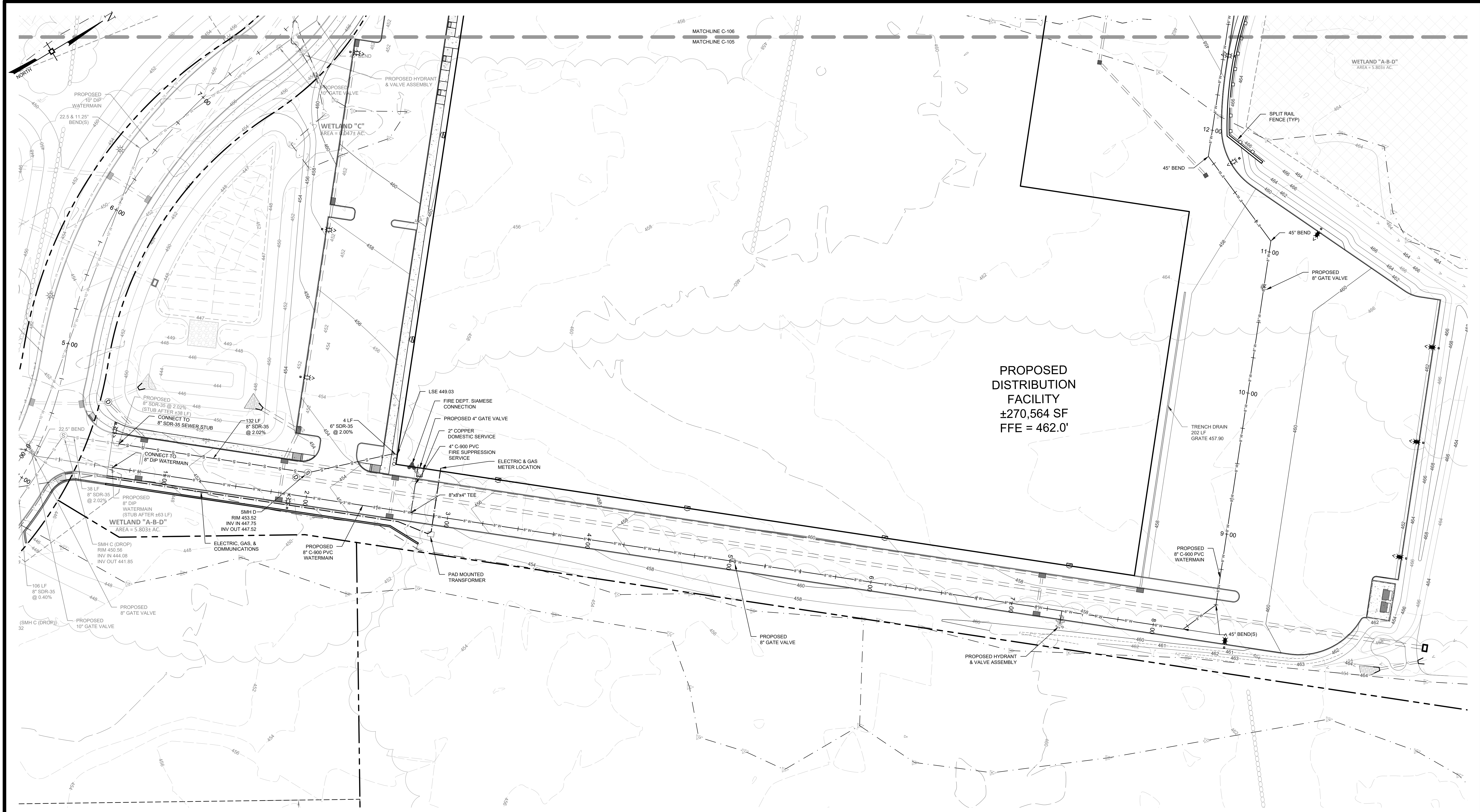
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JOB #: 980.1504
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DRAWN BY: JS
 SCALE: 1" = 30'
 TAX LOT: 78-1-94.1

C-104

TOWN OF WALLKILL PB SHEET 5 OF 27



PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

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2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
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13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
	SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	4	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	6	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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UTILITY PLAN

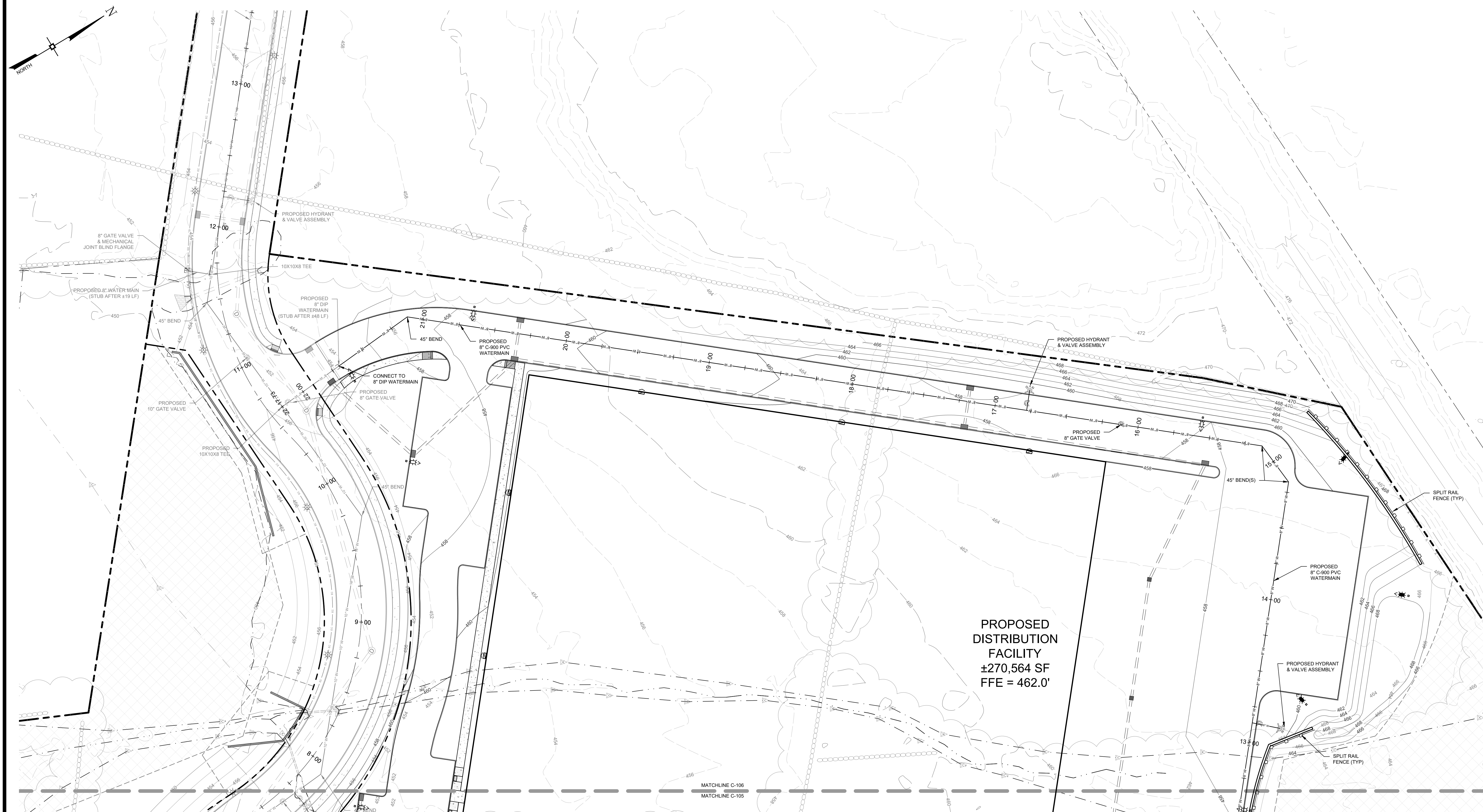
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94.1

C-105

TOWN OF WALLKILL PB SHEET 6 OF 27



PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

MATCHLINE C-106
MATCHLINE C-105

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	7	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	5	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	7	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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UTILITY PLAN

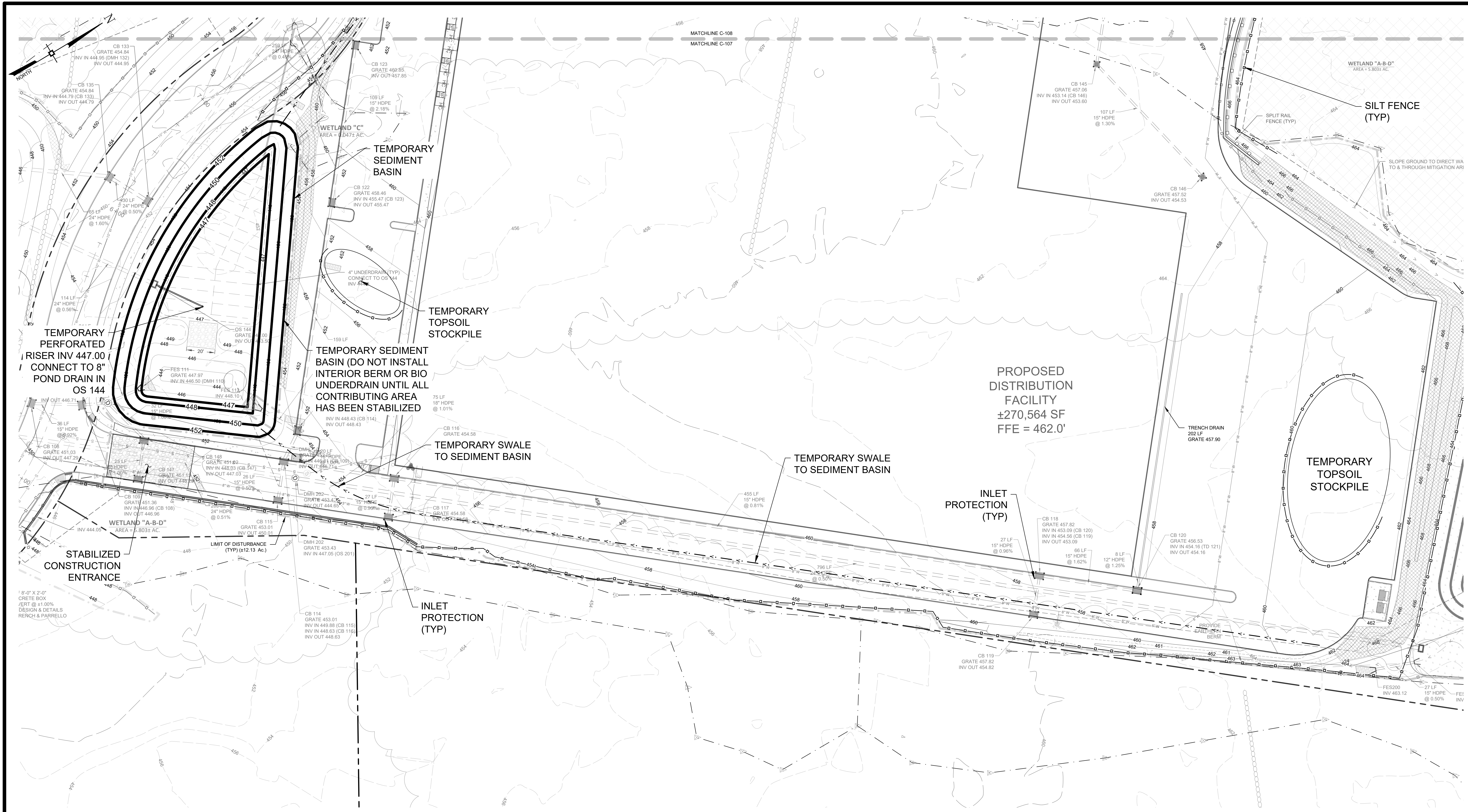
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1" = 30'
TAX LOT: 78-1-94.1

C-106

TOWN OF WALKKILL PB SHEET 7 OF 27



8'-0" X 2'-0"
 GRIPE BOX
 /ERT @ ±1.00%
 DESIGN & DETAILS
 RENCH & PARRELLO

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	8	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	6	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	8	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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EROSION CONTROL PLAN

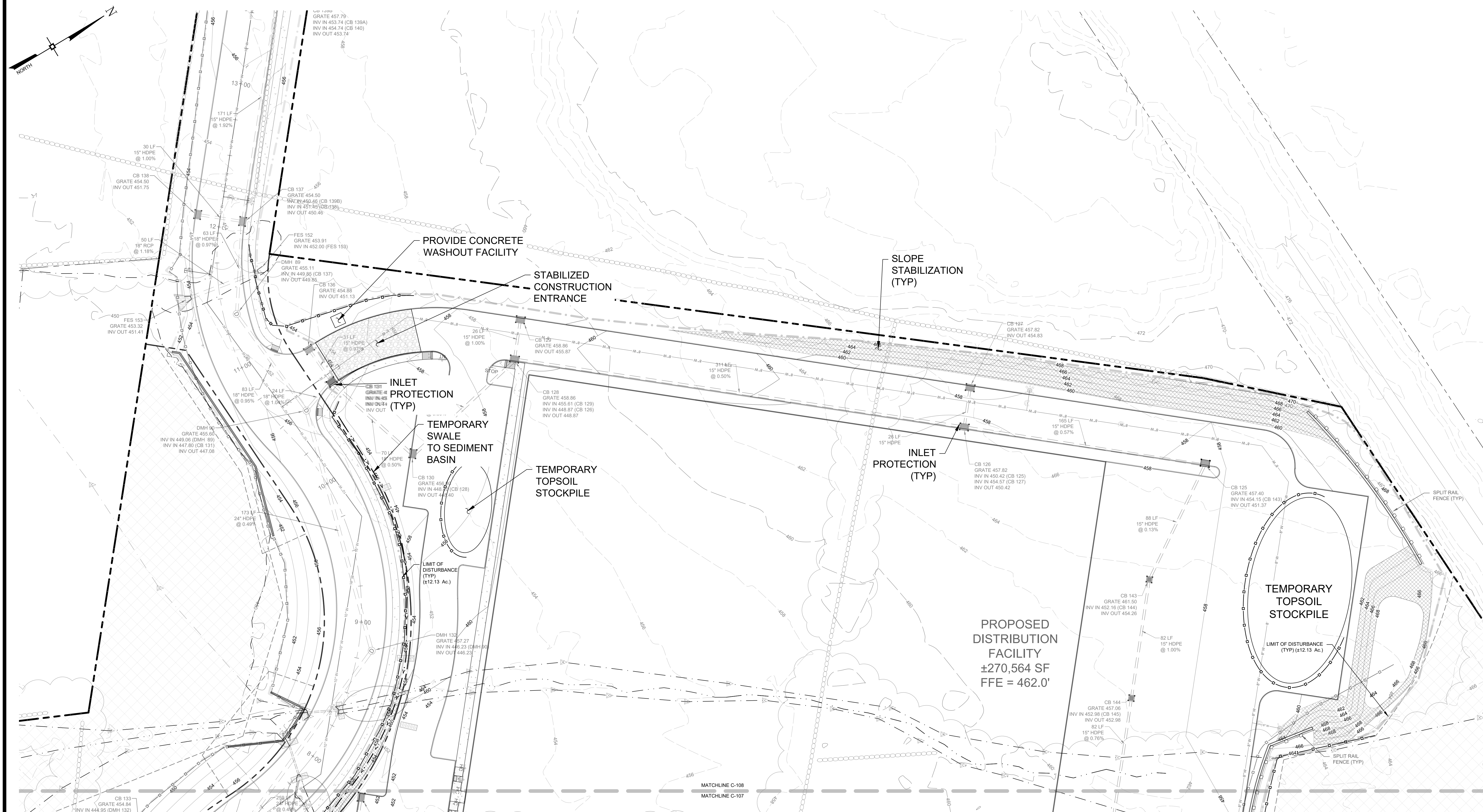
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
 599 EAST MAIN STREET
 TOWN OF WALLKILL
 ORANGE COUNTY, NEW YORK

JOB #: 980.1504
 DATE: 01/06/20
 REVISION: 21 - 05/08/2023

DRAWN BY: JS
 SCALE: 1" = 30'
 TAX LOT: 78-1-94.1

C-107

TOWN OF WALLKILL PB SHEET 8 OF 27



No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	9	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	7	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	9	OF 22
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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EROSION CONTROL PLAN

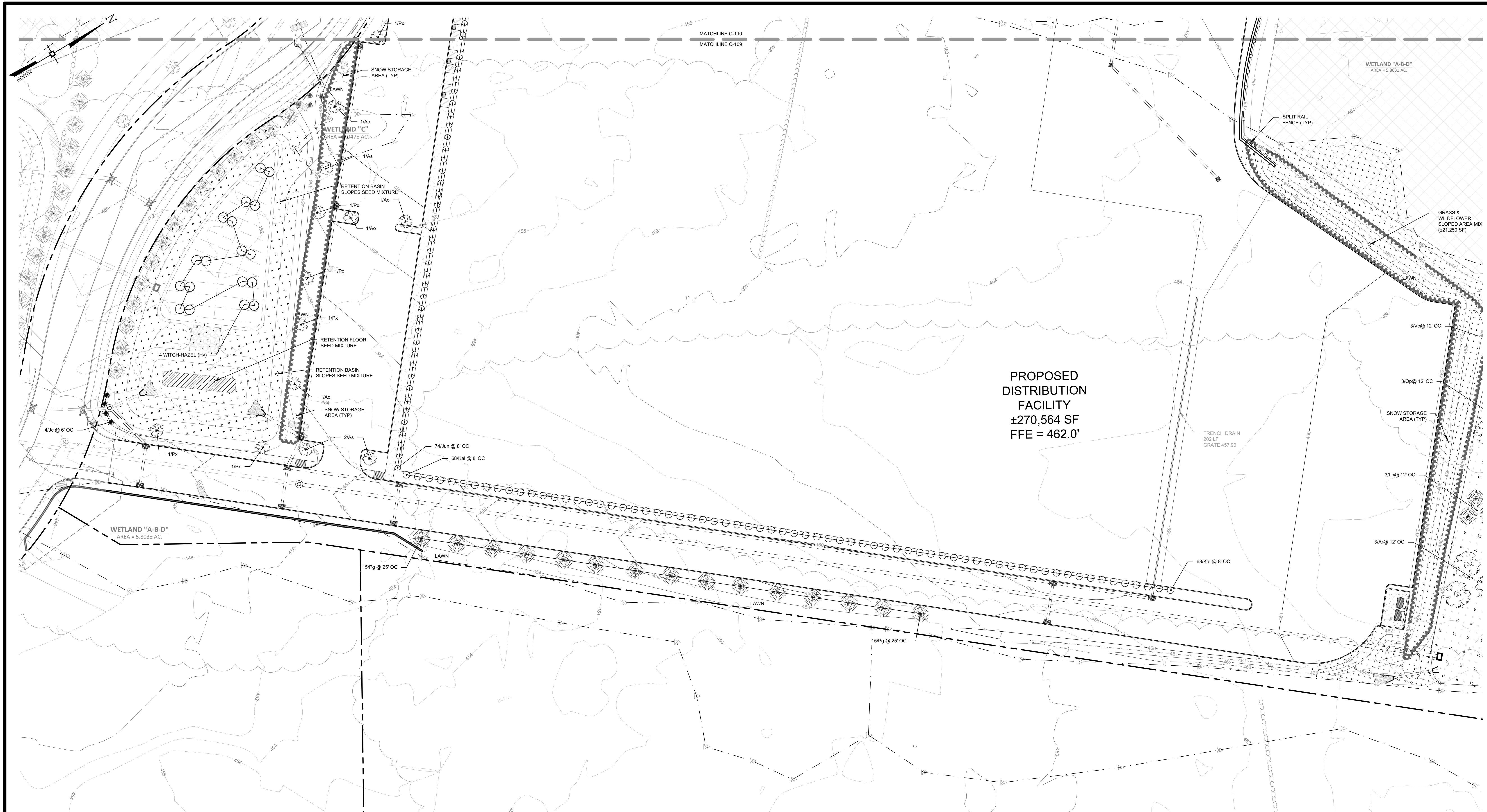
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
 599 EAST MAIN STREET
 TOWN OF WALLKILL
 ORANGE COUNTY, NEW YORK

JOB #: 980.1504
 DATE: 01/06/20
 REVISION: 21 - 05/08/2023

DRAWN BY: JS
 SCALE: 1"=30'
 TAX LOT: 78-1-94.1

C-108

TOWN OF WALLKILL PB SHEET 9 OF 27



PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

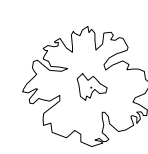
SEED MIXTURES

SYM	SEED MIXTURE AND RATE
LAWN	LAWN, SPECIES: FESTUCA RUBRA, CREEPING RED FESCUE, 30%, POA PRATENSIS, KENTUCKY BLUE GRASS, 50%, LOLIUM MULTIFLORUM, ANNUAL RYE, 10%, LOLIUM PERENNE, PERENNIAL RYE, 10%. SEEDING RATE: 4-5 LBS PER 1000 SQUARE FEET.
RETENTION FLOOR	RETENTION BASIN FLOOR SEED MIX. SPECIES LIST: AGROSTIS ALBA (RED TOP), AGROSTIS PERENNANS (AUTUMN BENTGRASS), AGROSTIS SCABRA (TICKLEGRASS ROUGH BENTGRASS), AGROSTIS STOLONIFERA (CREEPING BENTGRASS), CAREX VULPINOIDEA (FOX SEDGE), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), POA PALUSTRIS (FOWL BLUEGRASS), PUCCELLINIA DISTANS (ALKALI GRASS). SEED RATE: 20 LBS PER ACRE OR 1/2-1 LB. PER 1000 SQUARE FEET.
RETENTION BASIN SLOPES	SEASONALLY FLOODED AREA ANNUAL & PERENNIAL WILDLIFE FOOD MIX. SPECIES: AGROSTIS PERENNANS (AUTUMN BENTGRASS, BROMUS ALTISSIMUS (WILD BROME GRASS), CAREX INTUMESCENS (BLADDER SEDGE), CAREX SCOPARIA (BLUNT BROOM SEDGE), CAREX STIPATA (AWL SEDGE), CAREX VULPINOIDEA (FOX SEDGE), DESMODIUM CANADENSE (SHOWY TICK TREFOL), EPHINOCYON CRUSGALLI FRUMENTACEA (JAPANESE MILLET), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), HELIOPSIS HELIANTHOIDES (OX EYE SUNFLOWER), JUNCUS TENUIS (PATH RUSH), PANICUM CLANDESTINUM (DEER TONGUE), PANICUM VIGATUM (SWITCHGRASS). SEEDING RATE: 15 LBS. PER ACRE OR 1/3 - 1/2 LBS PER 1000 SQUARE FEET.

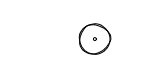
NOTE: SEE MIXTURES BY ERNST CONSERVATION SEEDS, WWW.ERNSTSEED.COM.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
Px	23	Prunus x Yedoensis	Yoshino Cherry	2-1/2" - 3" c	B&B
Pg	30	Picea Glauca	White Spruce	7' - 8' hgt	B&B
Ts	44	Thuja Slandishi X Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B&B
As	20	Acer Saccharum	Sugar Maple	3" - 3-1/2" c	B&B
Ao	25	Acer Rubrum (October Glory)	October Glory Red Maple	3" - 3-1/2" c	B&B
Ig	12	Ilex Glabra	Shamrock Inkberry Holly	30" - 34"	B&B
Aa	15	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B&B
SHRUBS					
Bs	18	Buxus Sempervirens	English Boxwood	30"-34"	B&B
Jc	4	Juniperus Chinensis "Gold Coast"	Gold Coast Juniper	30"-34"	Container
Sj	5	Spiraea Japonica	Little Princess Spiraea	24"-30"	Container
Jun	74	Juniperus Horizontalis	Creeping Juniper	24"-30"	Pot
Ile	61	Ilex Glabra	Compact Inkberry	24"-30"	Pot
Kal	68	Kalmia Latifolia	Mountain Laurel	24"-30"	Pot
Hv	14	Hamamelis virginiana	Witch-Hazel	43" - 45"	Container



DECIDUOUS TREE



DECIDUOUS SHRUB



EVERGREEN TREE



EVERGREEN SHRUB

NO.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
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8	03/10/21	REVISED PER MHE COMMENTS
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12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
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17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	10	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	N/A	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	10	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

1 inch = 30 ft.

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LANDSCAPE PLAN

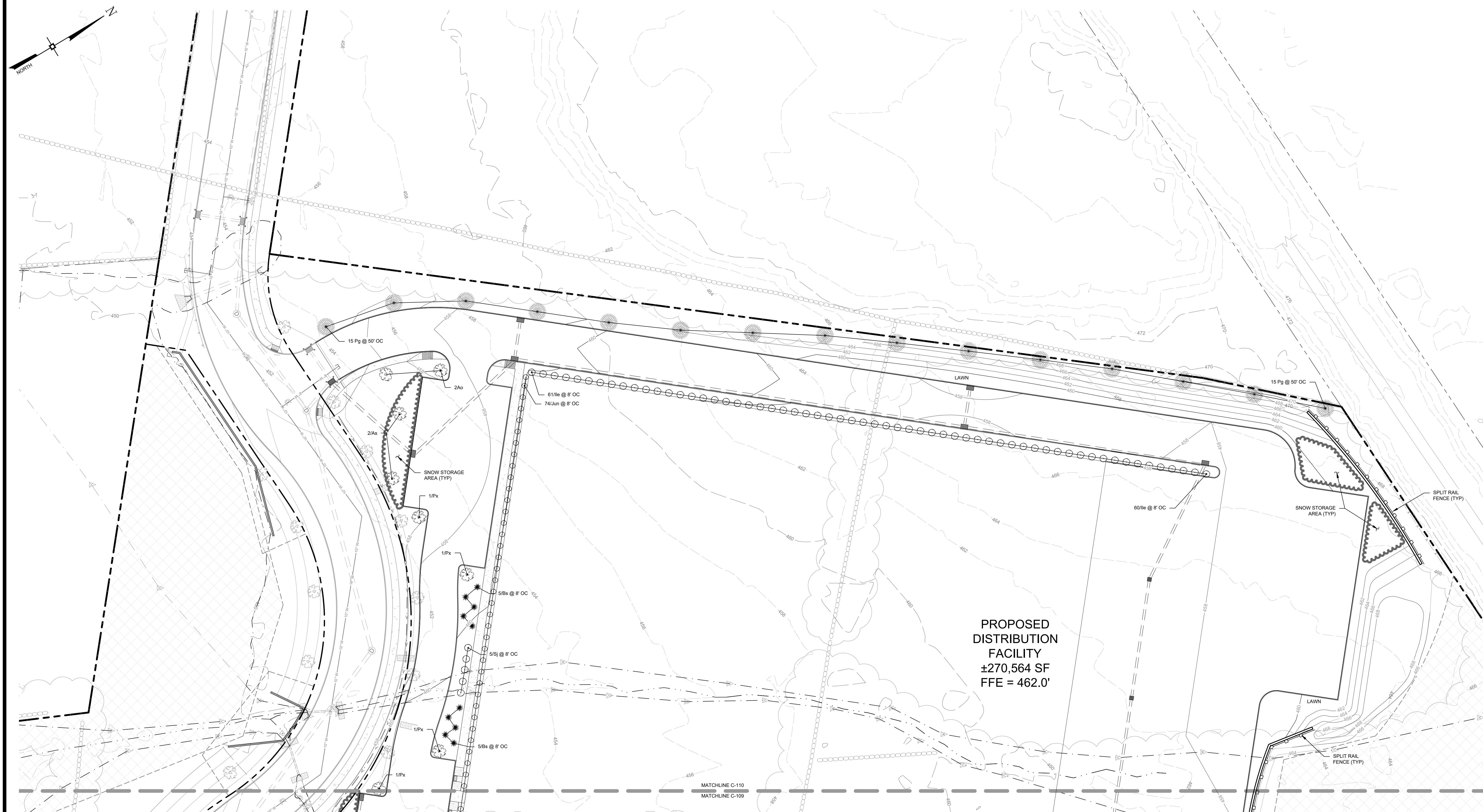
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94-1

C-109

TOWN OF WALKKILL PB SHEET 10 OF 27



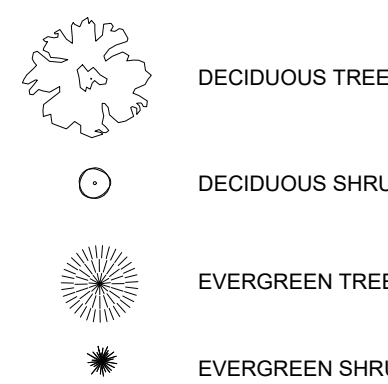
SEED MIXTURES

SYM	SEED MIXTURE AND RATE
LAWN	LAWN, SPECIES: FESTUCA RUBRA, CREEPING RED FESCUE, 30%, POA PRATENSIS, KENTUCKY BLUE GRASS, 50%, LOLIUM MULTIFLORUM, ANNUAL RYE, 10%, LOLIUM PERENNE, PERENNIAL RYE, 10%. SEEDING RATE: 4-5 LBS PER 1000 SQUARE FEET.
RETENTION BASIN FLOOR	RETENTION BASIN FLOOR SEED MIX. SPECIES LIST: AGROSTIS ALBA (RED TOP), AGROSTIS PERENNANS (AUTUMN BENTGRASS), AGROSTIS SCABRA (TICKLEGRASS ROUGH BENTGRASS), CAREX INTUMESCENS (BLADDER SEDGE), CAREX SCOPARIA (BLUNT BROOM SEDGE), CAREX STIPATA (AWL SEDGE), CAREX VULPINOIDEA (FOX SEDGE), DESMODIUM CANADENSE (SHOWY TICK TREFOL), ECHINOCHLOA CRUSGALLI FRUMENTACEA (JAPANESE MILLET), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), HELIOPSIS HELIANTHOIDES (OX EYE SUNFLOWER), JUNCUS TENUIS (PATH RUSH), PANICUM CLANDESTINUM (DEER TONGUE), PANICUM VIGATUM (SWITCHGRASS). SEED RATE: 1/2-1 LB. PER 1000 SQUARE FEET.
RETENTION BASIN SLOPES	SEASONALLY FLOODED AREA ANNUAL & PERENNIAL WILDLIFE FOOD MIX. SPECIES: AGROSTIS PERENNANS (AUTUMN BENTGRASS, BROMUS ALTISSIMUS (WILD BROME GRASS), CAREX INTUMESCENS (BLADDER SEDGE), CAREX SCOPARIA (BLUNT BROOM SEDGE), CAREX STIPATA (AWL SEDGE), CAREX VULPINOIDEA (FOX SEDGE), DESMODIUM CANADENSE (SHOWY TICK TREFOL), ECHINOCHLOA CRUSGALLI FRUMENTACEA (JAPANESE MILLET), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), HELIOPSIS HELIANTHOIDES (OX EYE SUNFLOWER), JUNCUS TENUIS (PATH RUSH), PANICUM CLANDESTINUM (DEER TONGUE), PANICUM VIGATUM (SWITCHGRASS). SEEDING RATE: 15 LBS. PER ACRE OR 1/3 - 1/2 LBS PER 1000 SQUARE FEET.

NOTE: SEE MIXTURES BY ERNST CONSERVATION SEEDS, WWW.ERNSTSEED.COM.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
Px	23	Prunus x Yedoensis	Yoshino Cherry	2-1/2" - 3" c	B&B
Pg	30	Picea Glauca	White Spruce	7' - 8' ht	B&B
Ts	44	Thuja Standishii X Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' ht	B&B
Ao	20	Acer Saccharum	Sugar Maple	3" - 3-1/2" c	B&B
Ao	25	Acer Rubrum (October Glory)	October Glory Red Maple	3" - 3-1/2" c	B&B
Ig	12	Ilex Glabra	Shamrock Inkberry Holly	30" - 34"	B&B
Aa	15	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B&B
SHRUBS					
Bs	18	Buxus Sempervirens	English Boxwood	30"-34"	B&B
Jc	4	Juniperus Chinensis "Gold Coast"	Gold Coast Juniper	30"-34"	Container
Sj	5	Spiraea Japonica	Little Princess Spiraea	24"-30"	Container
Jun	74	Juniperus Horizontalis	Creeeping Juniper	24"-30"	Pot
Ile	61	Ilex Glabra	Compard Inkberry	24"-30"	Pot
Kal	68	Kalmia Latifolia	Mountain Laurel	24"-30"	Pot
Hv	14	Hamamelis virginiana	Witch-Hazel	43" - 45"	Container



No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	11 OF 22
OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF 9
NYSDEC APPROVAL	11 OF 22
NYSDOT APPROVAL	N/A OF N/A
OTHER	N/A OF 2
FOR BID	N/A OF N/A
FOR CONSTRUCTION	N/A OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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LANDSCAPE PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94.1

C-110

TOWN OF WALKKILL PB SHEET 11 OF 27

MATCHLINE C-112
MATCHLINE C-111

PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency
	A	14	American Electric Lighting	ATB0 P305 R4 4K	Autobahn Small P305 Package Roadway Type IV 4000K5000K	LED	1	19809	0.92	145	100%
	B	5	Holophane	HLWPC2 P40 40K XX T2M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage,	LED	1	9981	0.92	95	100%
	C	12	Holophane	HLWPC2 P40 40K XX TTFM	Type II Medium Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Forward Throw Medium	LED	1	10300	0.92	95	100%

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
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7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
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10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
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17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
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20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	12	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	2	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	12	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

30 0 15 30 60
1 inch = 30 ft.

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LIGHTING PLAN

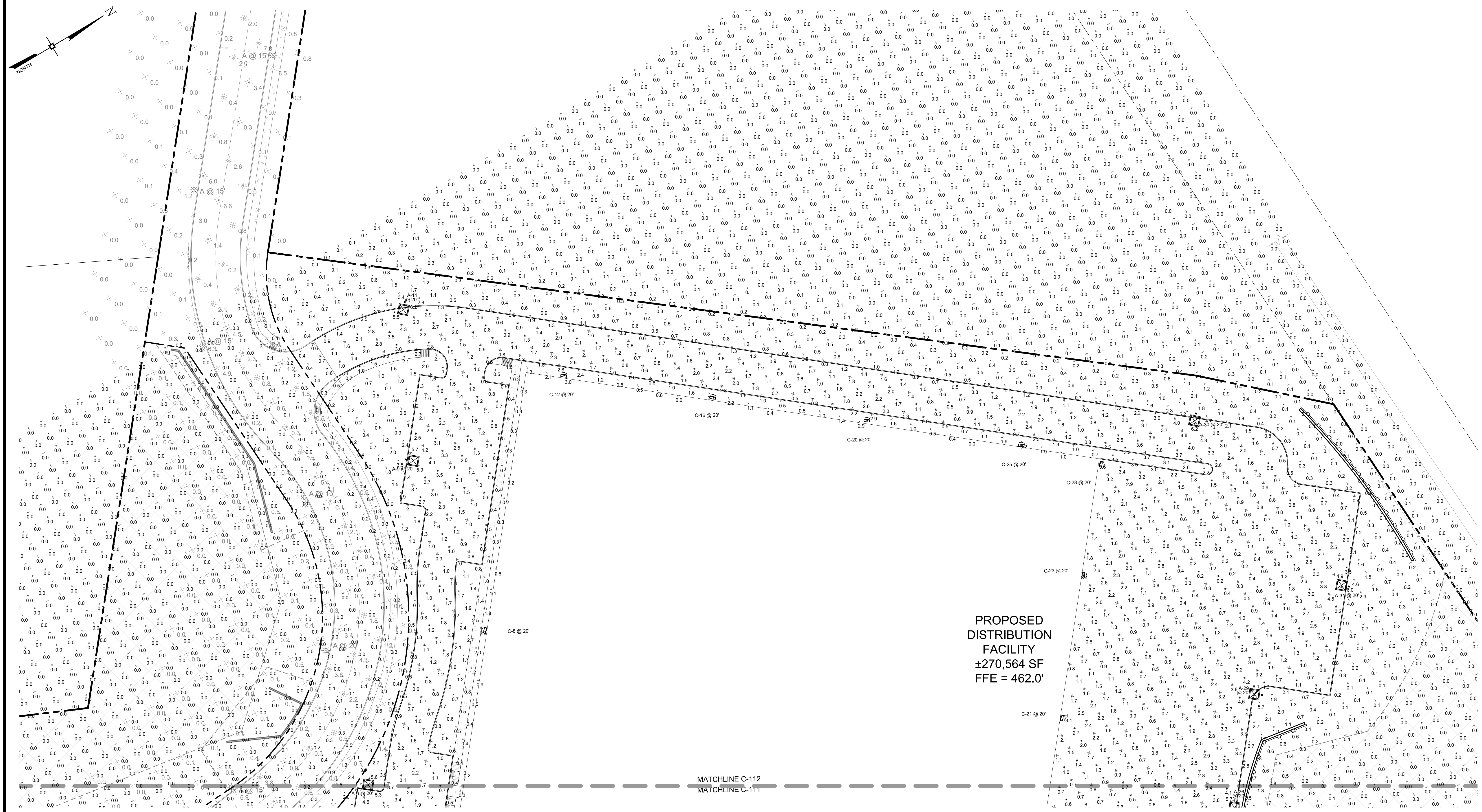
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94.1

C-111

TOWN OF WALKKILL PB SHEET 12 OF 27



PROPOSED
DISTRIBUTION
FACILITY
±270,564 SF
FFE = 462.0'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency
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	B	5	Holophane	HLWPC2 P40 40K XX T2M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage,	LED	1	9981	0.92	95	100%
	C	12	Holophane	HLWPC2 P40 40K XX TFTM	Type II Medium Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Forward Throw Medium	LED	1	10300	0.92	95	100%

No.	DATE	DESCRIPTION
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13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	05/08/2023	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	3	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	13	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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LIGHTING PLAN

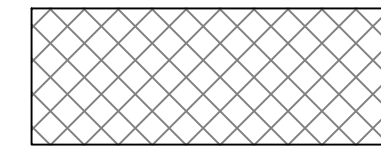
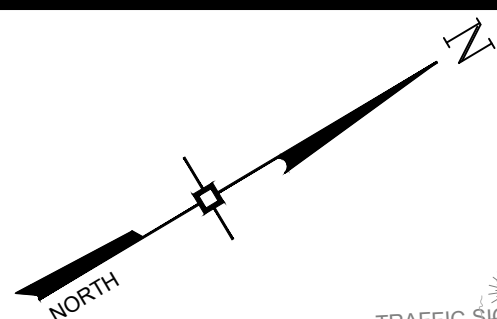
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1"=30'
TAX LOT: 78-1-94.1

C-112

TOWN OF WALKKILL PB SHEET 13 OF 27



PHASE 1: AREA: ±11.71 Ac
 THIS PHASE SHALL INCLUDE ALL SITE WORK INCLUDING BUT NOT LIMITED TO LIGHTING, LANDSCAPING, UTILITY SERVICES, BUILDING CONSTRUCTION, ETC. A FIVE ACRE WAIVER HAS BEEN APPLIED FOR TO THE MS4 TO COMPLETE THIS PHASE AT ONE TIME. ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE REQUIRED AND NOTED ON THE DETAIL SHEETS.

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
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6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACCE COMMENTS
13	11/23/21	REVISED PER ACCE COMMENTS
14	12/14/21	REVISED PER OCDOH COMMENTS
15	02/22/22	REVISED PER OCDOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

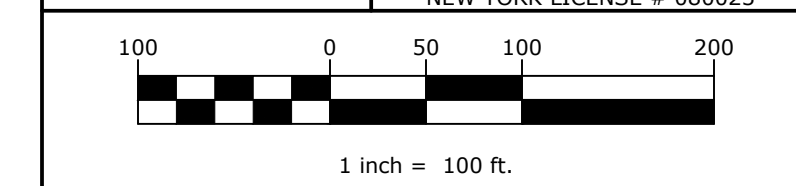
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	14 OF 22
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF 9
<input checked="" type="checkbox"/>	NYSDEC APPROVAL	14 OF 22
<input type="checkbox"/>	NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF 2
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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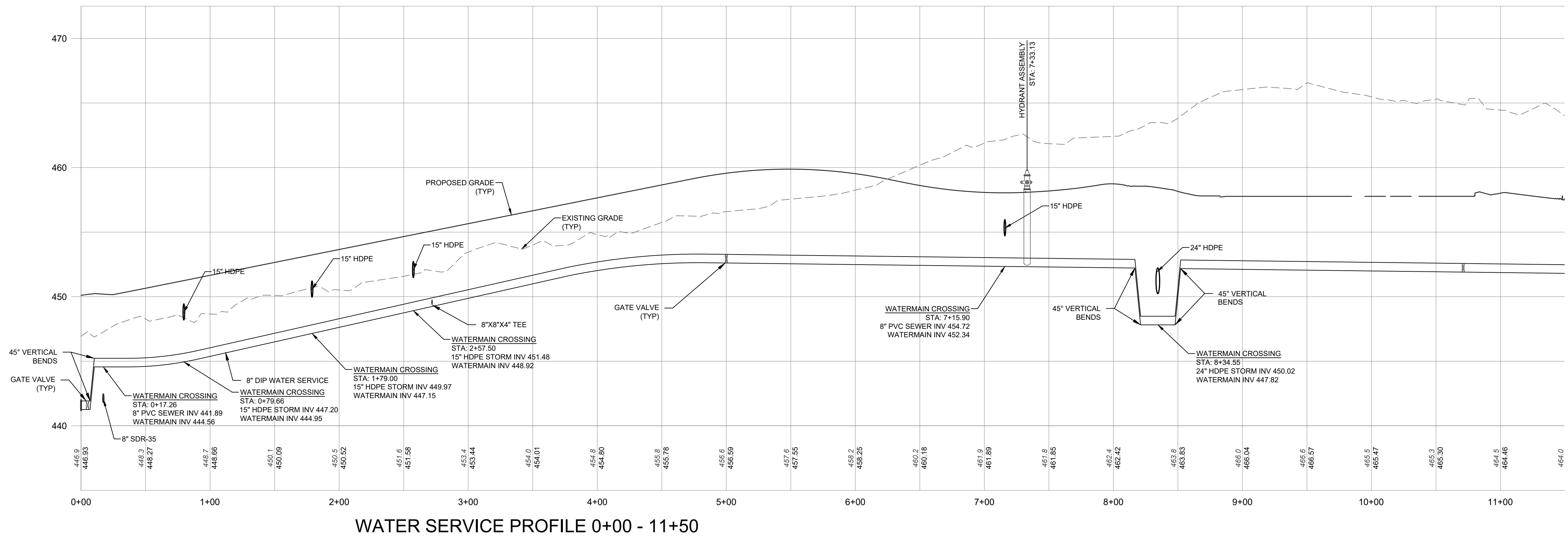
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 71 CLINTON STREET
 MONTGOMERY, NY 12549
 Ph: (845) 457-7727
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CONSTRUCTION SEQUENCING PLAN

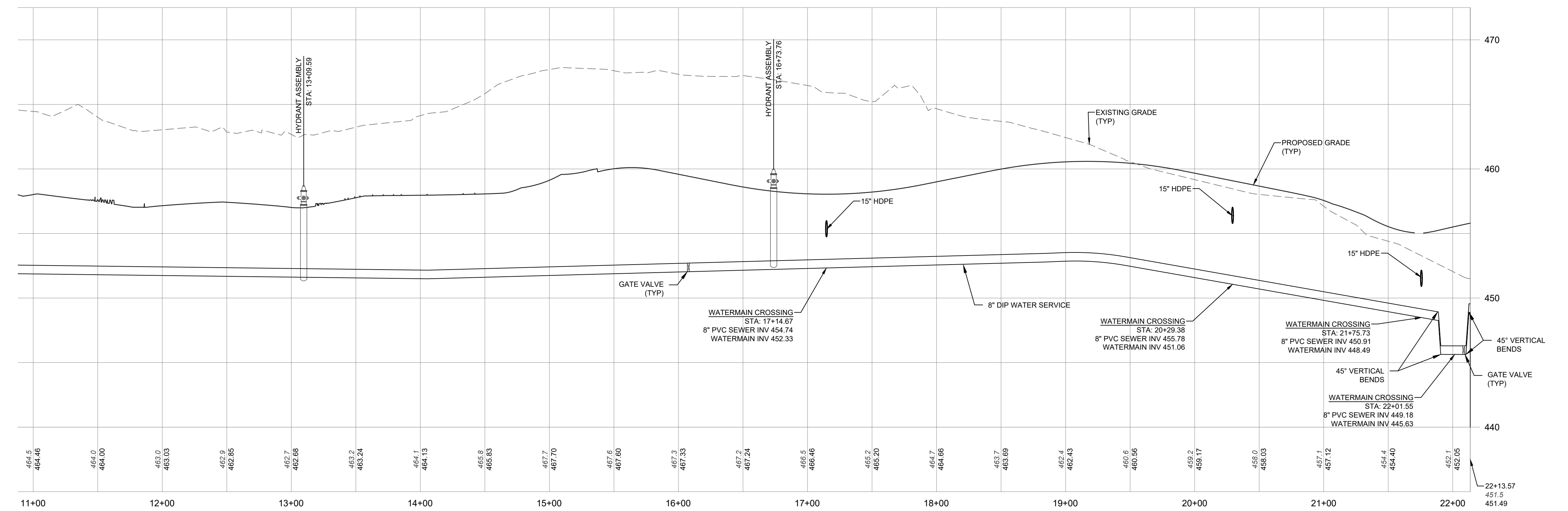
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
 599 EAST MAIN STREET
 TOWN OF WALLKILL
 ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=100'
REVISION:	21 - 05/08/2023	TAX LOT:	78-1-94.1

C-113



WATER SERVICE PROFILE 0+00 - 11+50



WATER SERVICE PROFILE 11+50 - END

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OGD PW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
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11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OGD PW COMMENTS
15	02/22/22	REVISED PER OGD PW COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES

No.	DATE	DESCRIPTION
21	05/08/23	REVISED PER NEW BUILDING LAYOUT.

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/03/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	15	OF 22
<input type="checkbox"/> OGD PW REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OGD PW WATERMAIN EXTENSION APPROVAL	8	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	15	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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WATERMAIN PROFILE

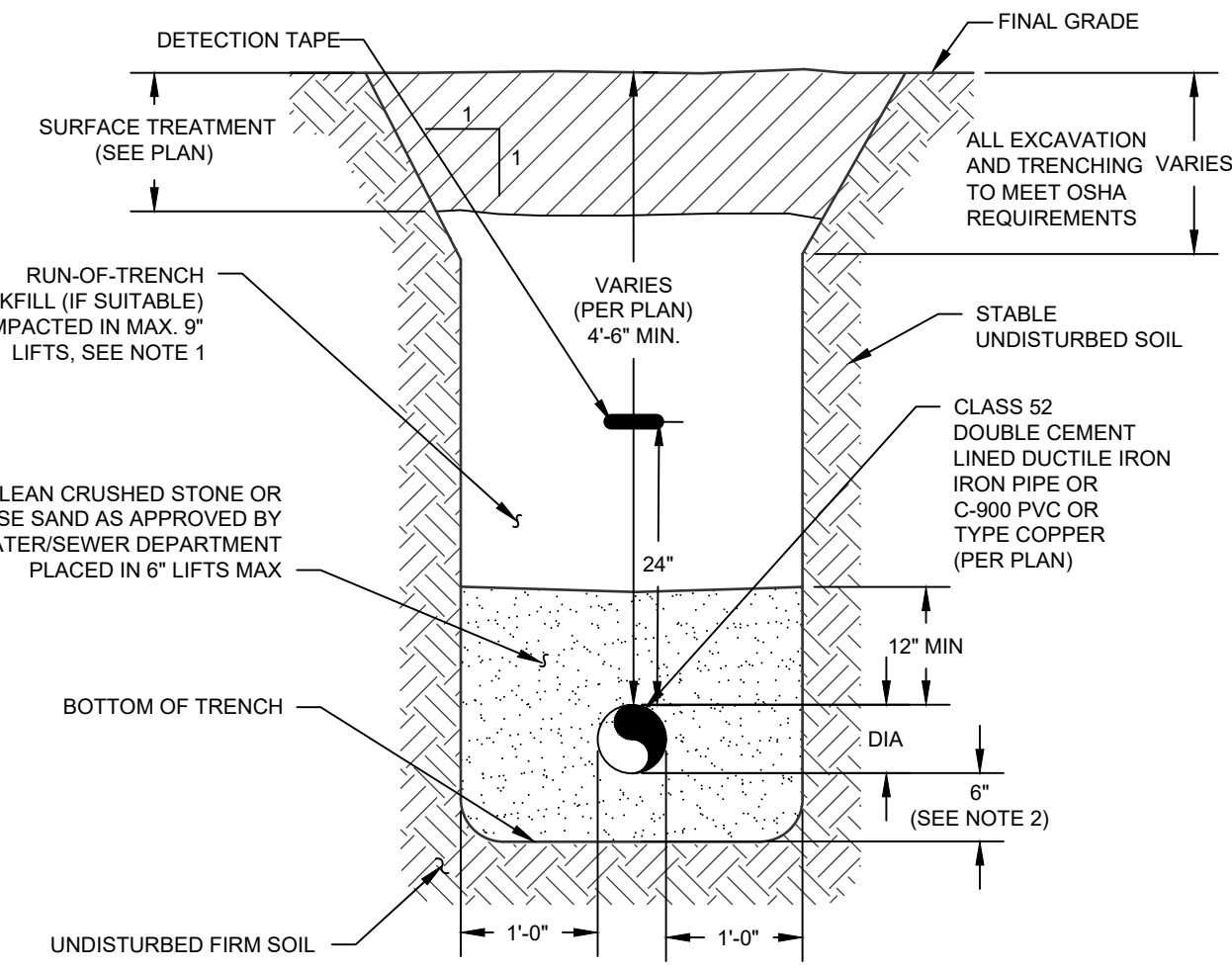
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: 1" = 50' H
1" = 5' V
TAX LOT: 78-1-94.1

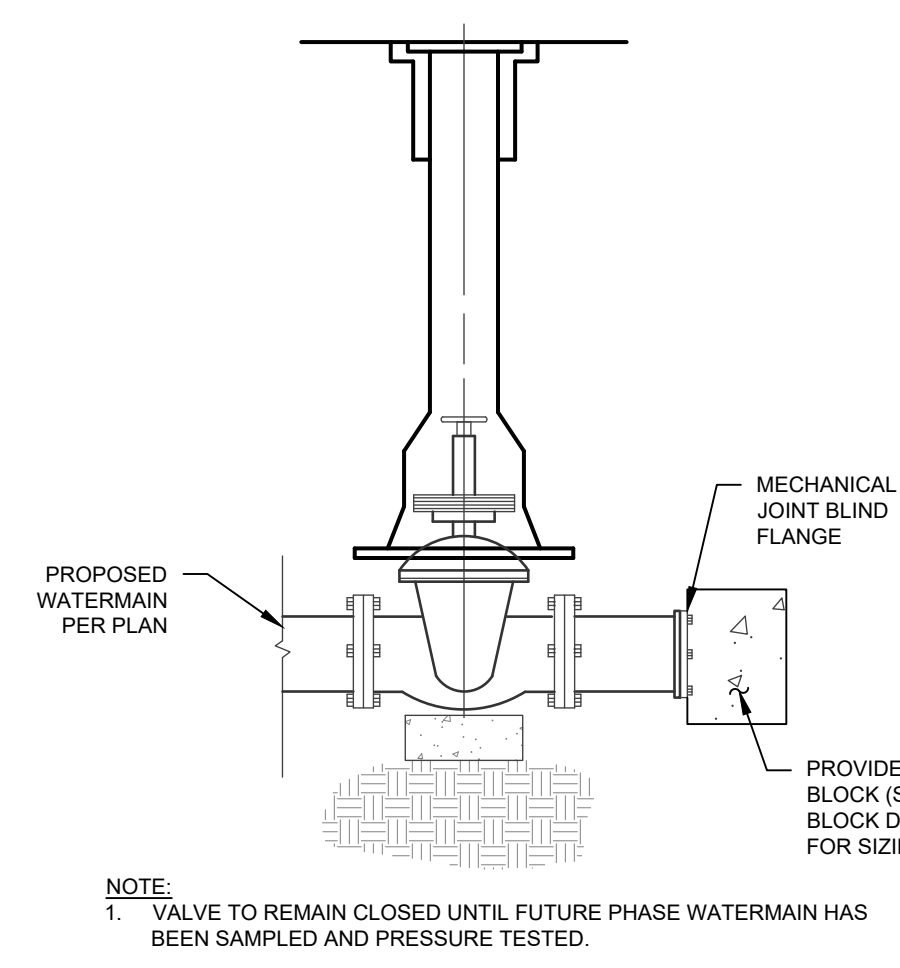
C-201

TOWN OF WALKILL PB SHEET 15 OF 27



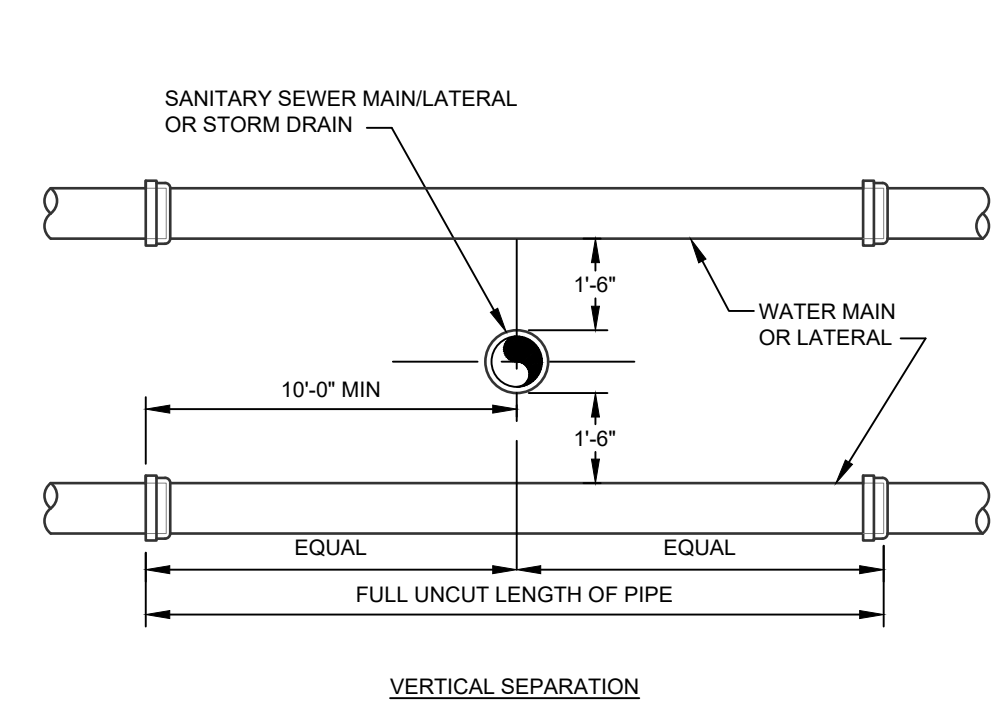
NOTES:
 1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH NYS DOT ITEM #4 FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 9" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE PIPE BEDDING SHALL BE INCREASED TO 8" THICK.

WATER PIPE TRENCH
 SCALE: NTS



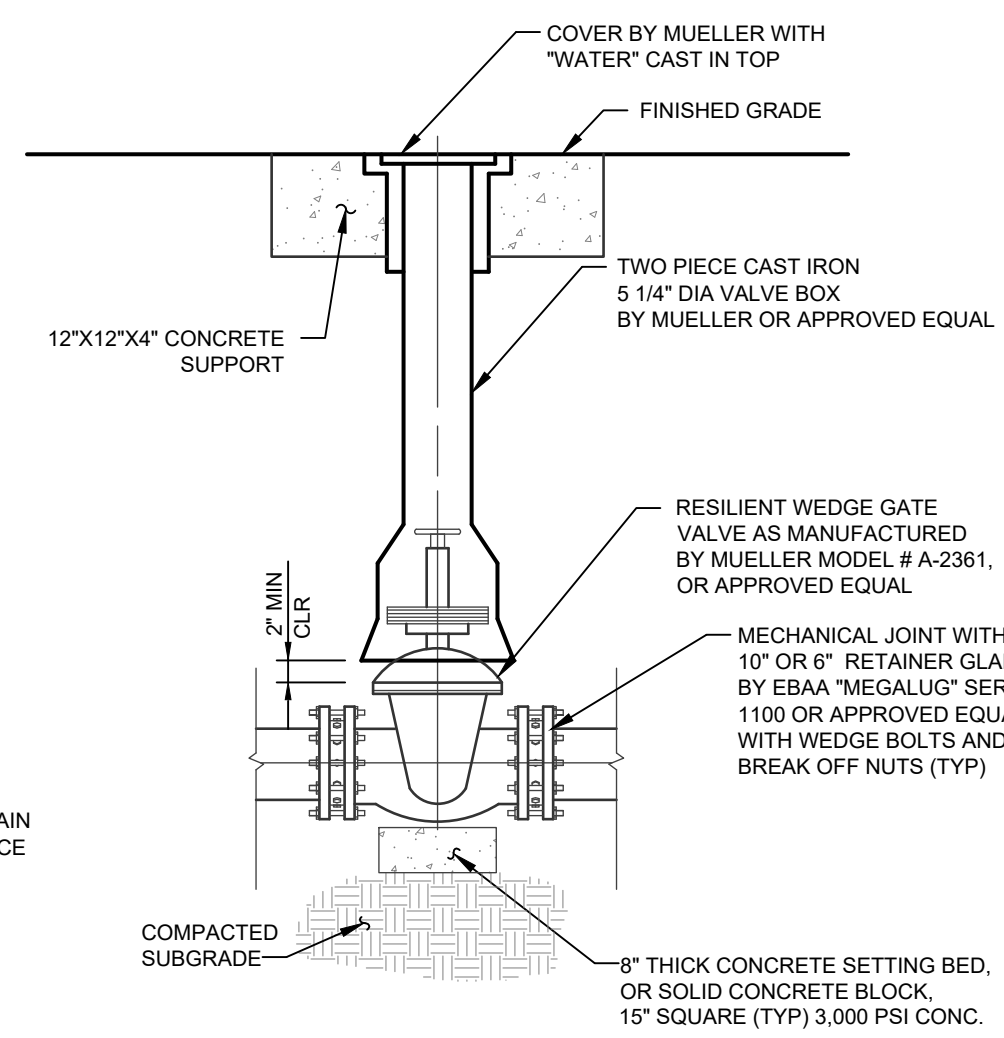
NOTE:
 1. VALVE TO REMAIN CLOSED UNTIL FUTURE PHASE WATERMAIN HAS BEEN SAMPLED AND PRESSURE TESTED.

WATER PIPE CAP
 SCALE: NTS



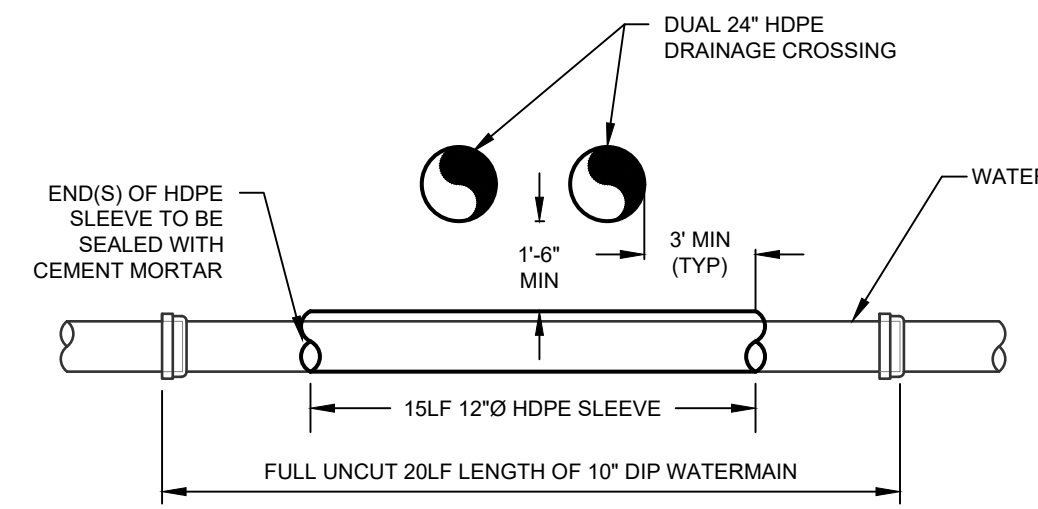
NOTE:
 NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
 SCALE: NTS



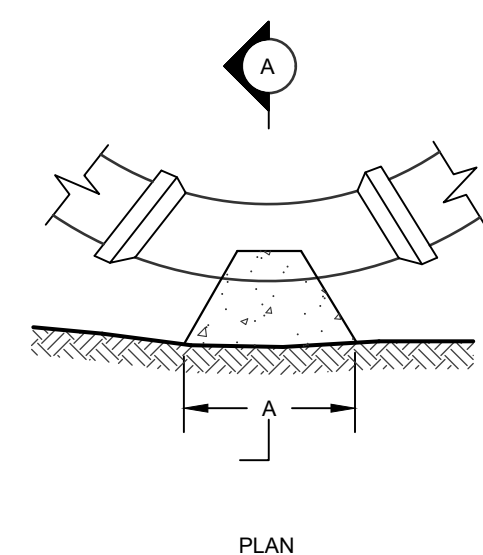
NOTE:
 1. ALL VALVES TO INCLUDE MEGA-LUG RETAINER GLANDS AND BE RODDED BACK TO THE ADJACENT TEE IN THE WATERMAIN. IN-LINE VALVES NEED NOT BE RODDED. CONTRACTOR TO UTILIZE 3/4" DIA. GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180" SPACING.
 2. WATERMAIN VALVES FOR FOUR INCH THROUGH FORTY EIGHT INCH SHALL BE RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER, MODEL #A-2361. VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.
 3. MAIN LINE VALVES TO BE SPACED TO NO FURTHER THAN 500 FEET APART IN COMMERCIAL DISTRICTS AND 800 FEET IN OTHER DISTRICTS.

VALVE AND VALVE BOX
 SCALE: NTS

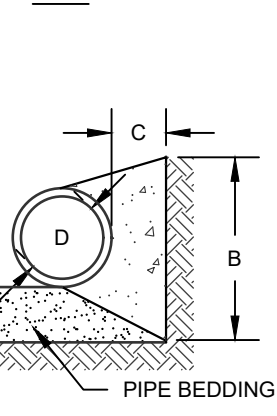


NOTE:
 1. THE 10" DIP WATERMAIN SHALL BE INSTALLED AT THE INVERT OF HTE 12" HDPE SLEEVE.
 2. THE 12" HDPE SLEEVE SHALL MAINTAIN ALL MINIMUM SEPARATION REQUIREMENTS OF THE DIP WATERMAIN TO OTHER UTILITIES.
 3. THE ENDS OF THE 12" HDPE SLEEVE SHALL BE SEALED WITH CEMENT MORTAR AROUND THE 10" DIP AFTER INSTALLATION.

SLEEVED WATERMAIN
 SCALE: NTS

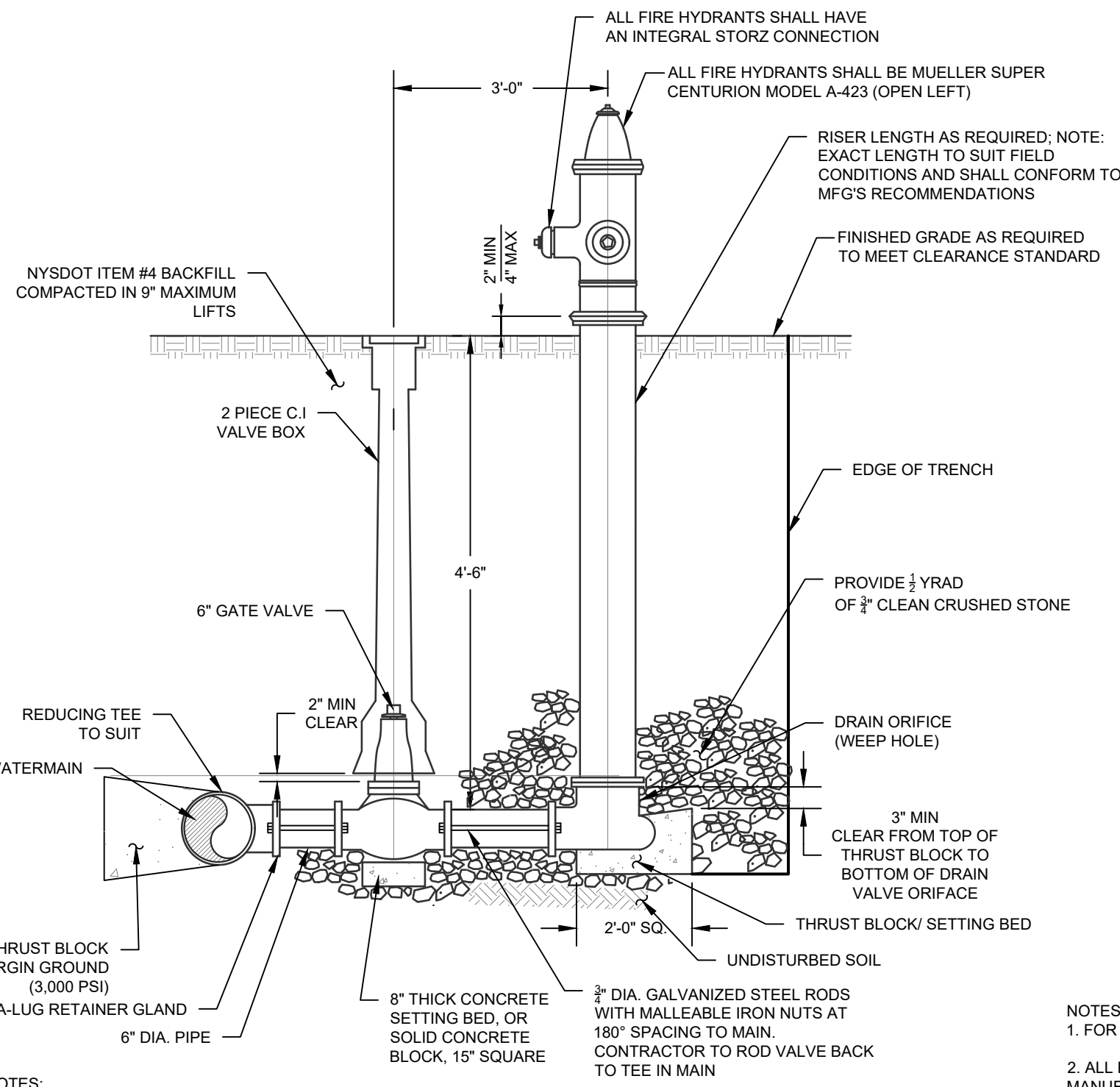


HORIZONTAL BEND	
BEND	4" 6" 8" 10" 12"
11 1/4" BEND	A 18" 18" 24" 30" 33"
	B 12" 12" 18" 24" 24"
	C 12" (MIN)
22 1/2" BEND	A 18" 18" 24" 30" 33"
	B 12" 12" 18" 24" 24"
	C 12" (MIN)
45" BEND	A 24" 24" 30" 36" 45"
	B 18" 18" 24" 30" 33"
	C 12" (MIN)
90" BEND	A 30" 30" 42" 54" 66"
	B 24" 24" 30" 36" 42"
	C 12" (MIN)
TEE & PLUG	A 27" 27" 36" 42" 48"
	B 21" 21" 27" 35" 42"
	C 12" (MIN)



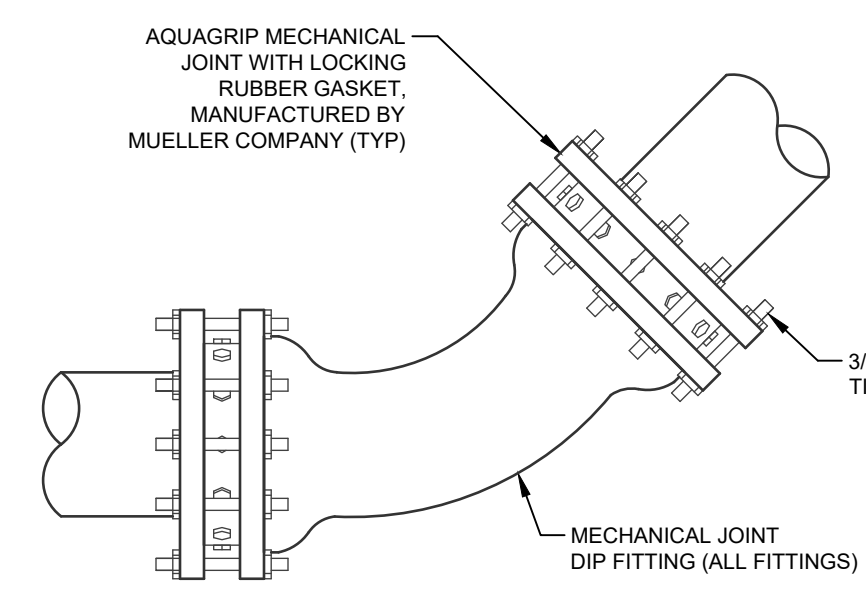
NOTE:
 1. ALL CONCRETE TO BE 3000 PSI
 2. TWO FORMS OF RESTRAINTS ARE REQUIRED ON ALL BENDS, OFFSETS, DEAD ENDS, AND/OR TEMPORARY DEAD ENDS FOR FUTURE EXPANSION.
 3. THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM.

THRUST BLOCK
 SCALE: NTS



NOTE:
 1. HYDRANTS SHALL BE DRY-BARREL HYDRANTS, TYPE MUELLER SUPER CENTURION, IN ACCORDANCE WITH AWWA C502. HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF FIVE INCHES NORMAL, ONE FOUR-AND-A-HALF INCH NST PUMPER NOZZLE, TWO TWO-AND-A-HALF INCH NST NOZZLES, A ONE-AND-ONE-HALF INCH PENTAGON OPERATING NUTS AND A SIX-INCH MECHANICAL JOINT INLET SHOW CONNECTION WITH ACCESSORIES. THE HYDRANT DIRECTION OF OPENING SHALL BE LEFT (COUNTERCLOCKWISE).
 2. ALL TEES, VALVES AND FITTINGS TO INCLUDE RESTRAINT IN THE FORM OF MEGA-LUG RETAINER GLANDS AND RODS.
 3. HYDRANT SPACING MAY RANGE FROM 350' TO A MAXIMUM OF 600'.
 4. THE WEEP HOLE SHALL BE PLUGGED IF GROUNDWATER IS ENCOUNTERED WITHIN TWO (2) FEET OF THE BASE OF THE HYDRANT. IF PLUGGED, PERMANENT SIGNAGE SHALL BE AFFIXED TO THE HYDRANT SPECIFYING THAT HYDRANT SHALL BE REQUIRED BE PUMPED DRY AFTER USE DURING PERIODS OF FREEZING TEMPERATURES.

HYDRANT ASSEMBLY
 SCALE: NTS

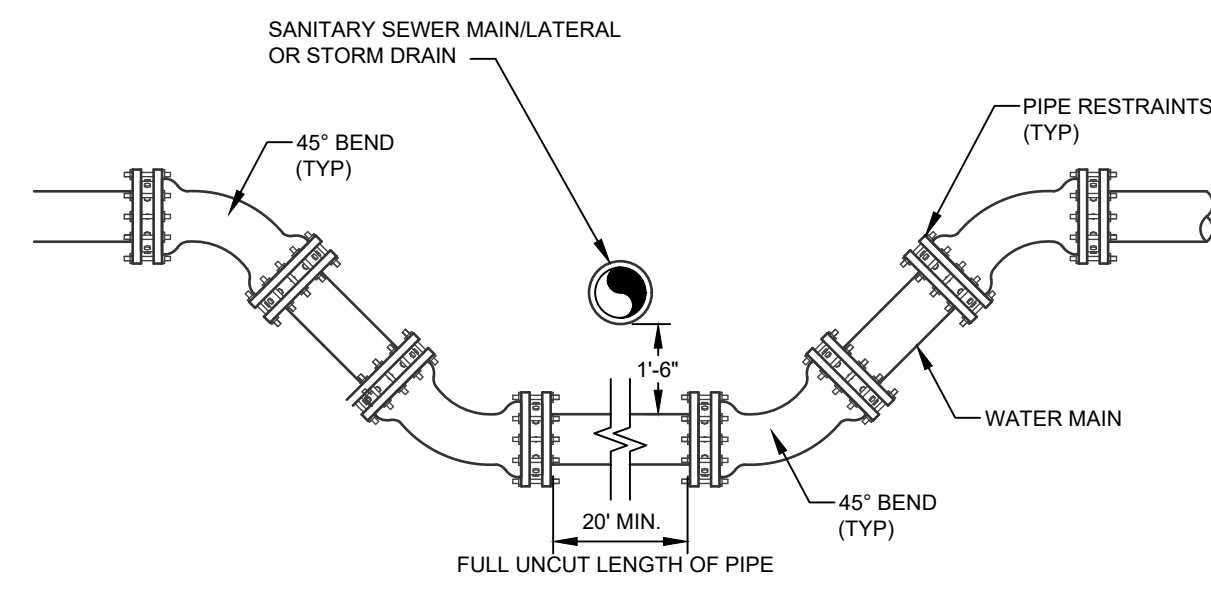


NOTE:
 1. FOR ALL "T"s, NO UNRESTRAINED JOINTS WITHIN 5 FEET OF FITTING
 2. ALL FITTINGS ARE TO BE RESTRAINED WITH AQUAGRIP MECHANICAL JOINTS WITH LOCKING RUBBER GASKETS AS MANUFACTURED BY MUELLER COMPANY. IN ADDITION ALL PIPE JOINTS SHALL BE RESTRAINED AS FOLLOWS:

8" DIP RESTRAINTS*	6" DIP RESTRAINTS*
45° ALL JOINTS WITHIN 9 FEET OF FITTING	45° ALL JOINTS WITHIN 8 FEET OF FITTING
22.5° ALL JOINTS WITHIN 4 FEET OF FITTING	22.5° ALL JOINTS WITHIN 4 FEET OF FITTING
11.25° ALL JOINTS WITHIN 2 FEET OF FITTING	11.25° ALL JOINTS WITHIN 2 FEET OF FITTING
8x4 TEE ALL 8" BRANCH JOINTS WITHIN 2 FEET OF FITTING	6x10 TEE ALL 10" BRANCH JOINTS WITHIN 54 FEET OF FITTING
6x6 TEE ALL 8" BRANCH JOINTS WITHIN 2 FEET OF FITTING	6x6 TEE ALL 6" BRANCH JOINTS WITHIN 23 FEET OF FITTING
DEAD END (BLIND FLANGE) ALL JOINTS WITHIN 43 FEET OF FITTING	DEAD END (BLIND FLANGE) ALL JOINTS WITHIN 32 FEET OF FITTING

* ASSUMED: 4'-6" COVER, 150 PSI TEST PRESSURE, AND 2.0 TO 1 FACTOR OF SAFETY.

PIPE RESTRAINT DETAIL
 SCALE: NTS



WATER MAIN OFFSET WITH RESTRAINTS
 SCALE: N.T.S.

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
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17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	16	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	9	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	16	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

JAY SAMUELSON, P.E.
 NEW YORK LICENSE # 080023

0 1 2 3
 ORIGINAL SCALE IN INCHES

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DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
 599 EAST MAIN STREET
 TOWN OF WALKILL
 ORANGE COUNTY, NEW YORK

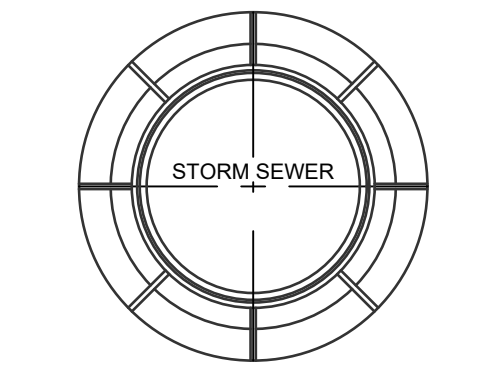
JOB #: 980_1504
 DATE: 01/06/20
 REVISION: 21 - 05/08/2023

DRAWN BY: JS
 SCALE: AS NOTED
 TAX LOT: 78-1-94.1

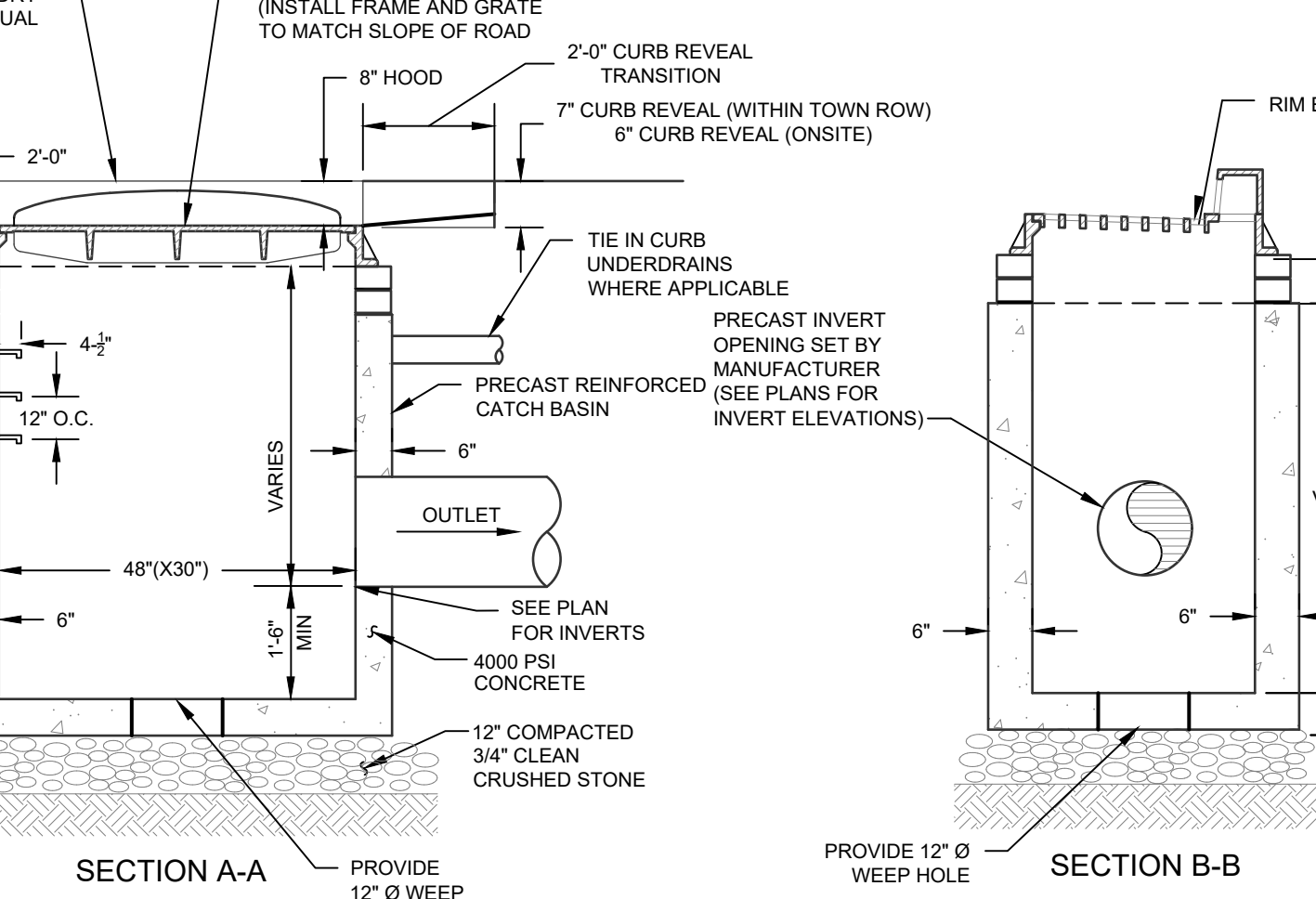
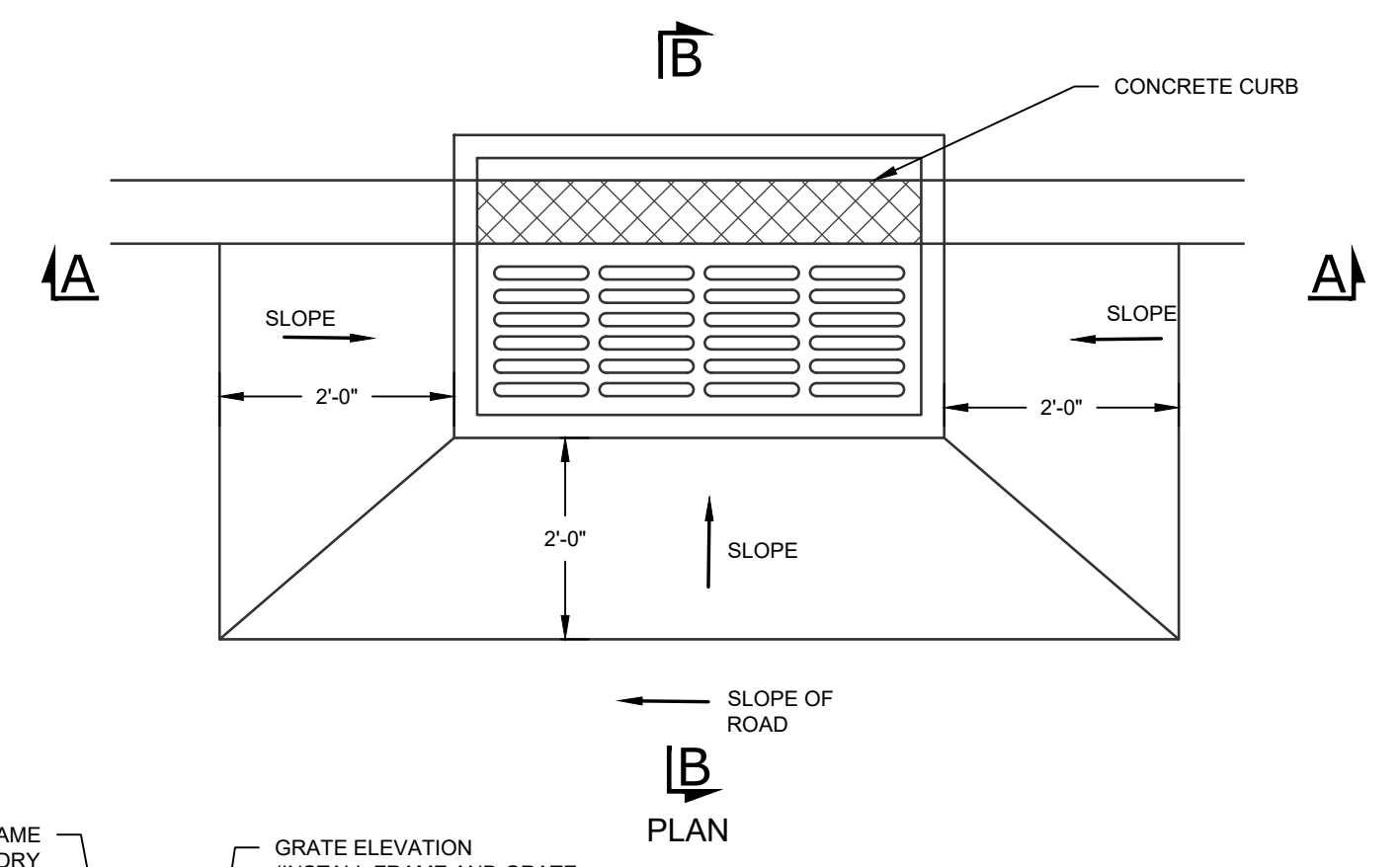
C-301

TOWN OF WALKILL PB SHEET 16 OF 27

Dig Safely. New York
Call 811
 before you dig

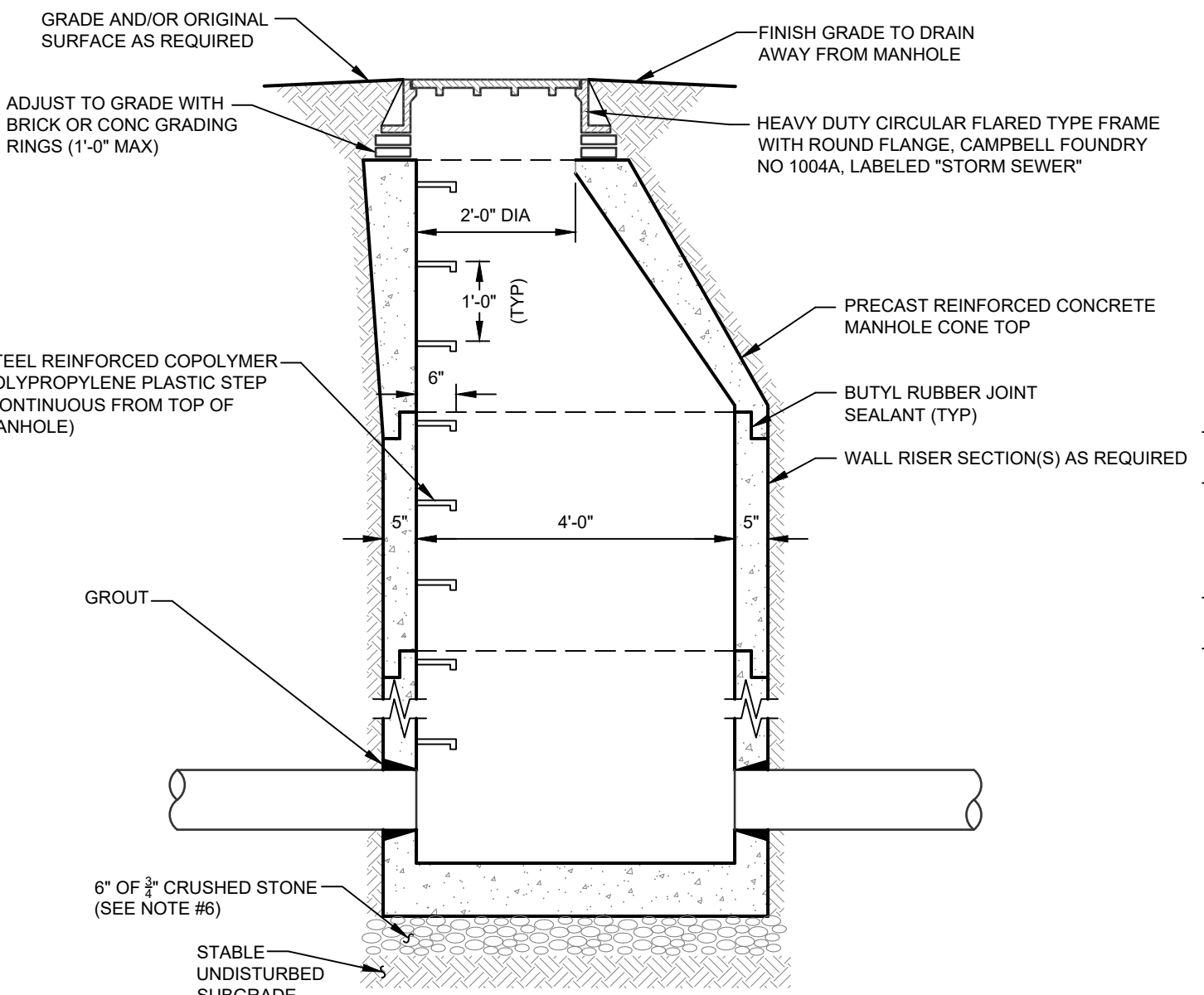


DRAINAGE MANHOLE COVER
SCALE: NTS



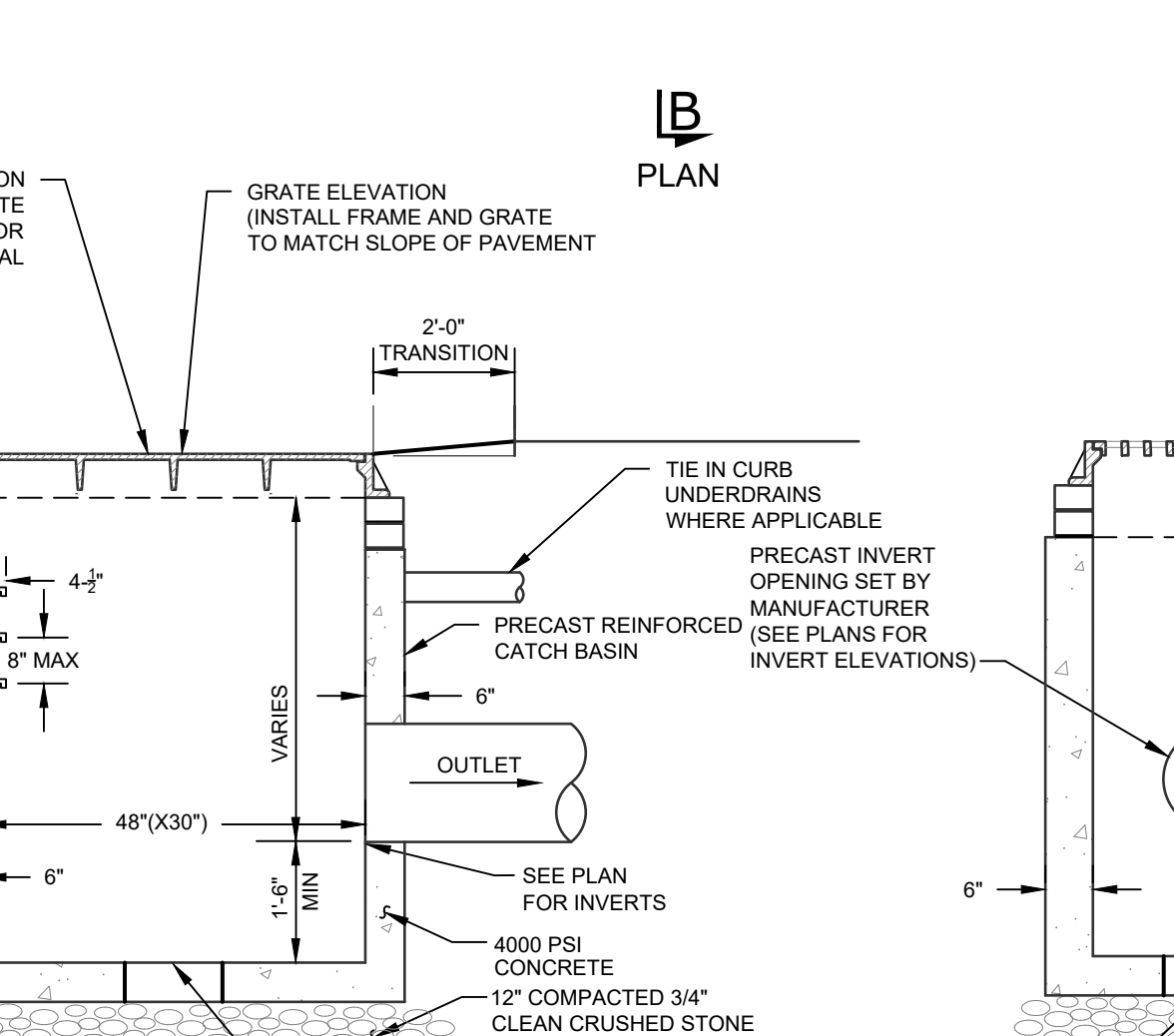
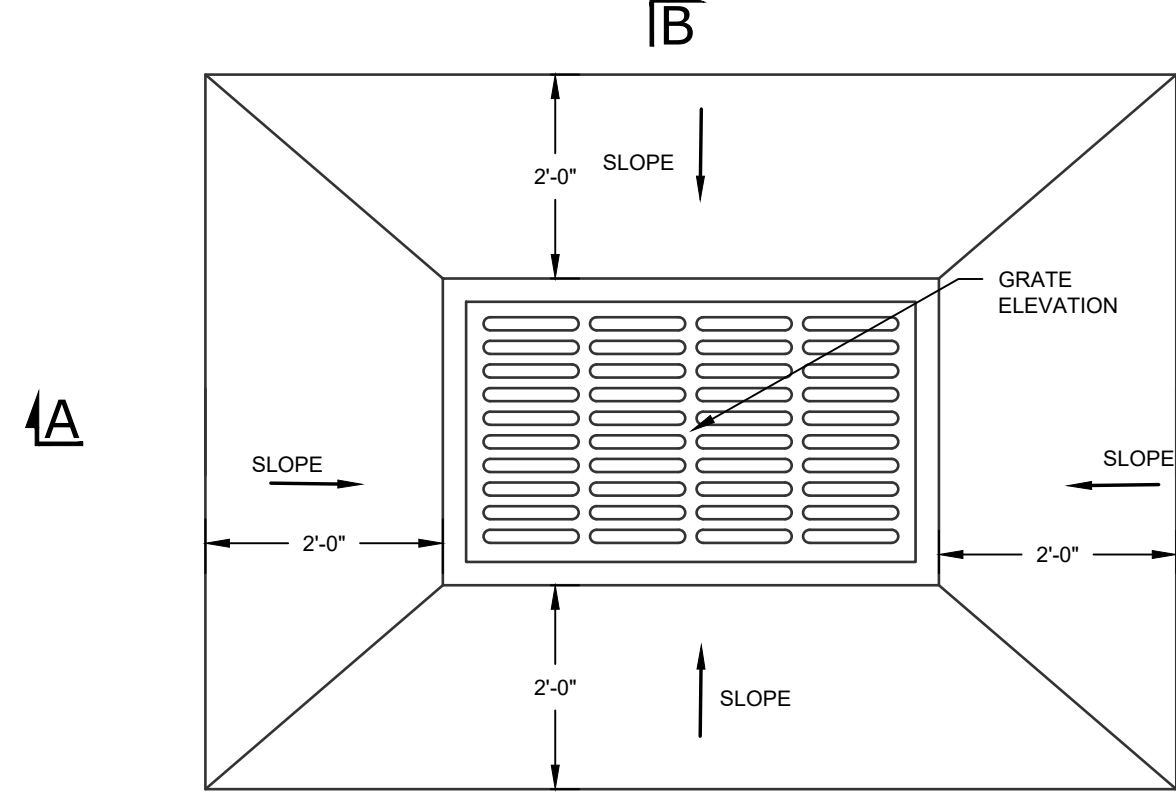
- NOTES:**
- BACKFILL AROUND CATCH BASIN SHALL BE NYSDOT ITEM 4 TO BE COMPACTED IN MAX 8" LIFTS.
 - STEPS SHALL BE PROVIDED FOR ALL BASINS GREATER THAN FOUR FEET IN DEPTH.
 - ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - PRECAST CONCRETE BASIN SHALL BE H2O LOAD RATED AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
 - THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE OF CATCH BASIN.

CATCH BASIN
SCALE: NTS



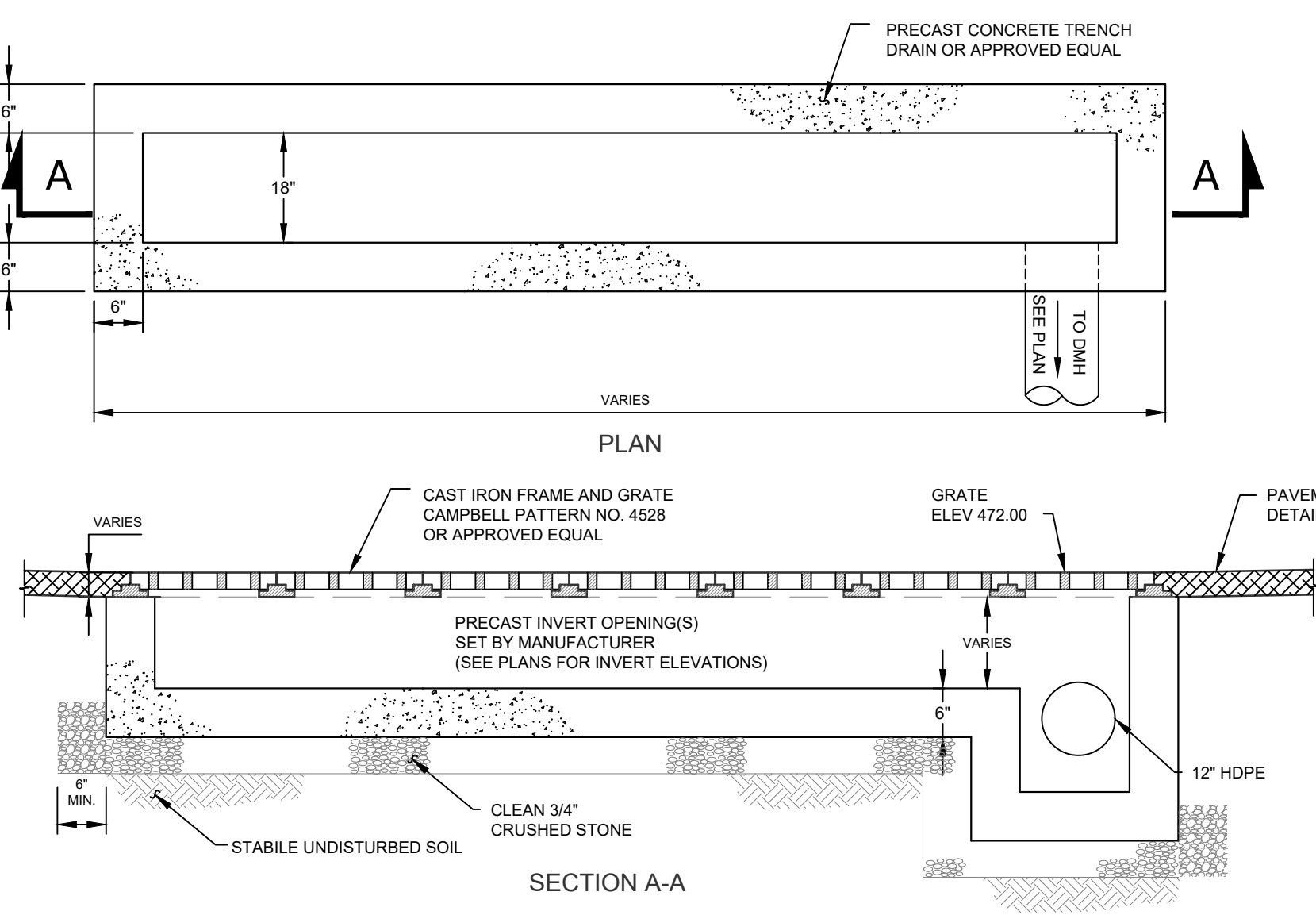
- NOTES:**
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 - REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
 - CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
 - ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
 - PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
 - FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

DRAINAGE MANHOLE
SCALE: N.T.S.

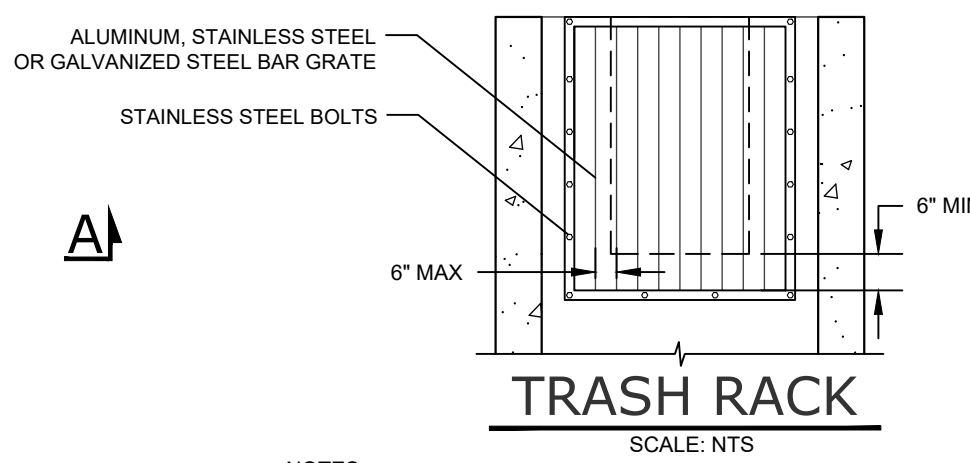


- NOTES:**
- BACKFILL AROUND CATCH BASIN SHALL BE NYSDOT ITEM 4 TO BE COMPACTED IN MAX 8" LIFTS.
 - STEPS SHALL BE PROVIDED FOR ALL BASINS GREATER THAN FOUR FEET IN DEPTH.
 - ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - PRECAST CONCRETE BASIN SHALL MEET ALL H2O LOAD RATINGS AND AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS OR AN APPROVED EQUAL.
 - THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE OF CATCH BASIN.

CATCH BASIN (FLAT GRATE)
SCALE: NTS

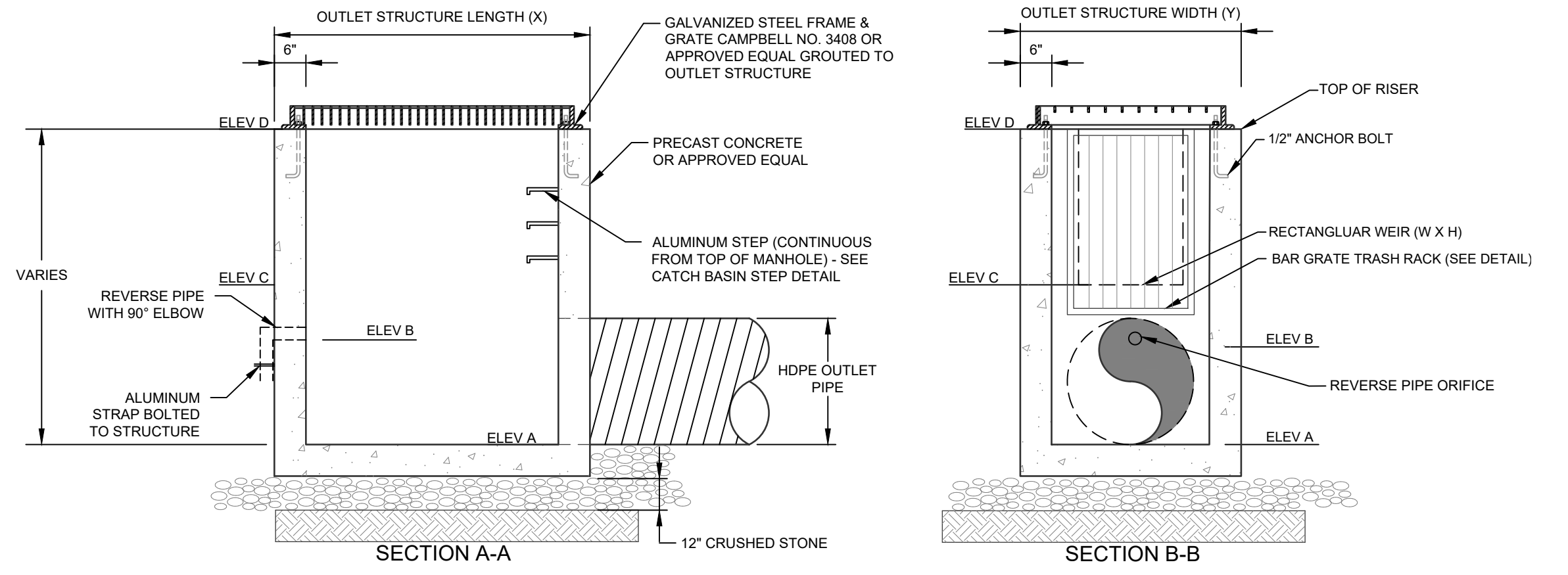
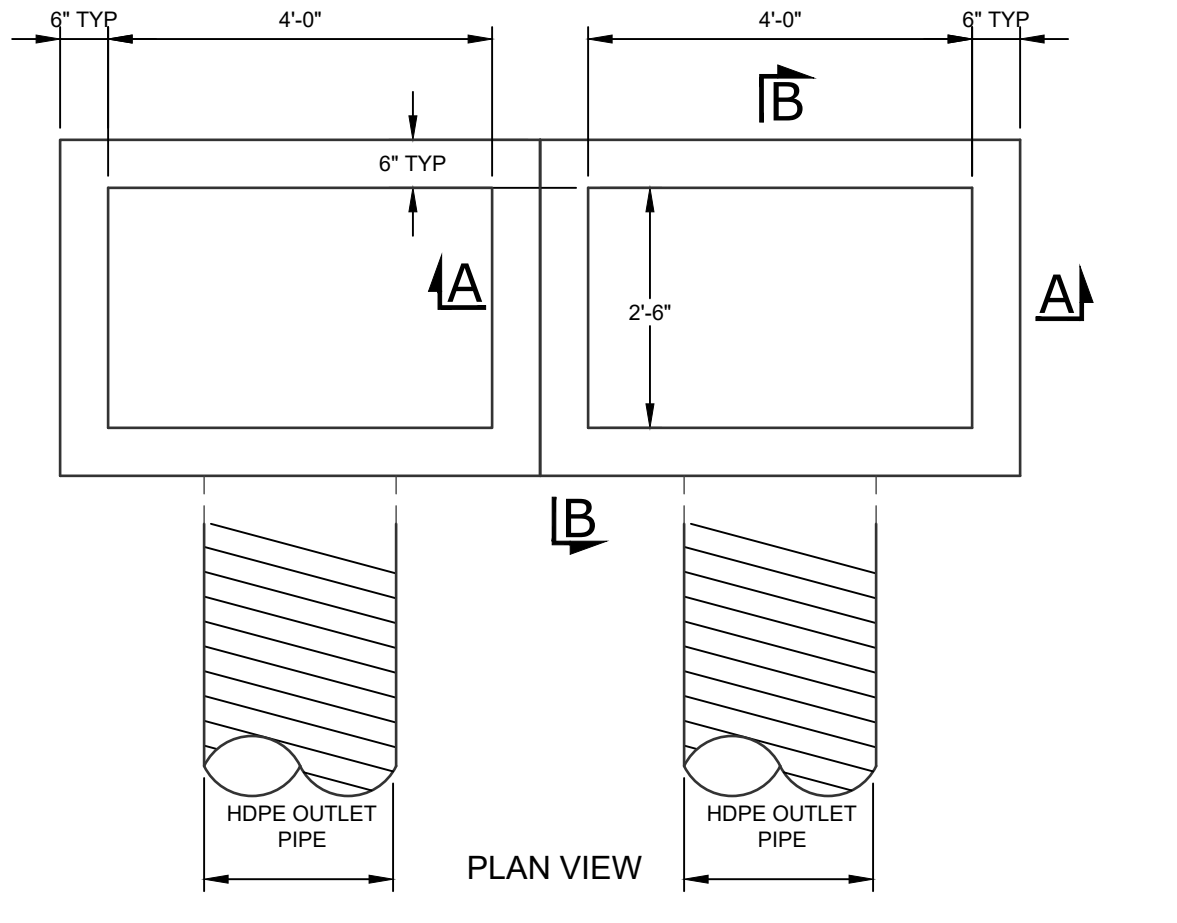


TRENCH DRAIN
SCALE: NTS



- NOTES:**
- BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
 - TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.

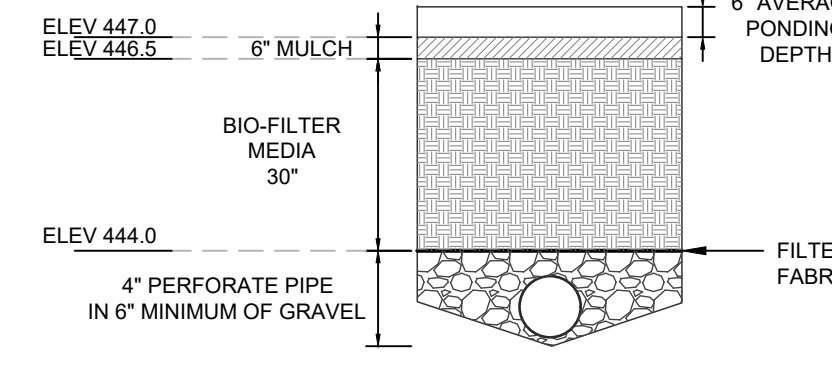
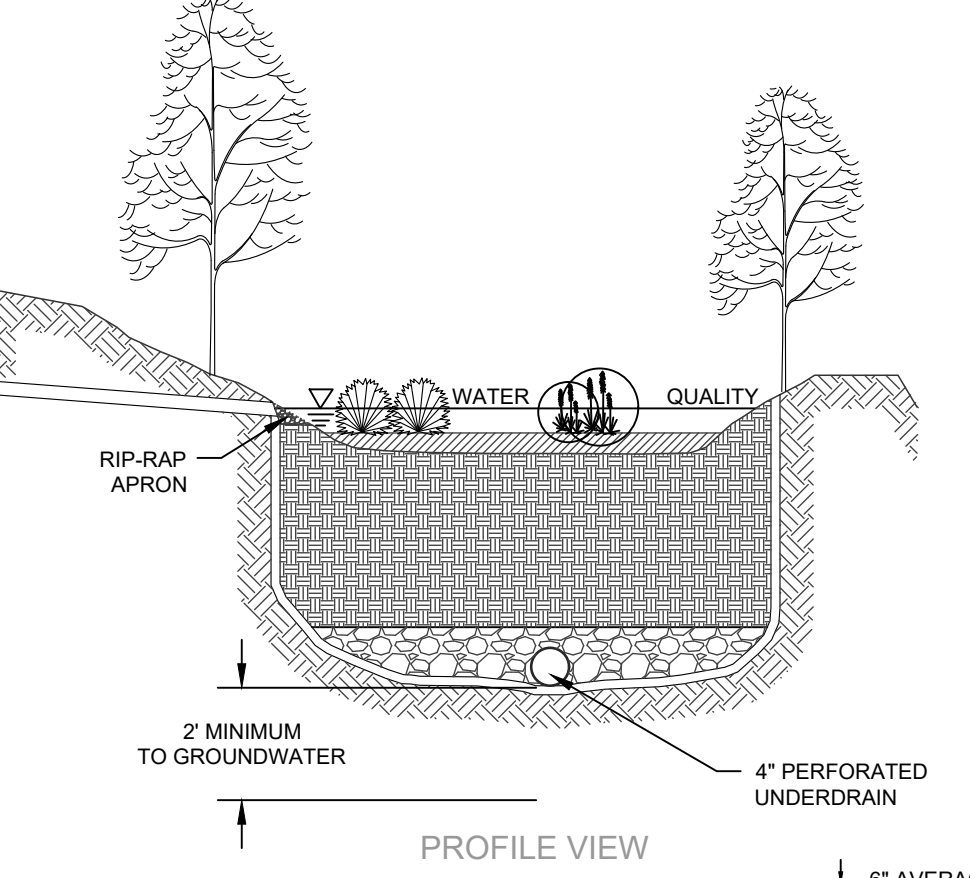
TRASH RACK
SCALE: NTS



POND	CULVERT / ORIFICES ELEV A (Ø)	WEIR ELEV C (WIDTH)	RISER ELEV D	SPILLWAY ELEVATION	SPILLWAY LENGTH	OUTLET STRUCTURE LENGTH (X)	OUTLET STRUCTURE WIDTH (Y)
(OS 101) POND A3	440.00 (12")	N/A	443.00	443.50	20'	5'-0"	3'-6"
(OS 144) POND A4-A (BIO)	443.50 (24")	N/A	448.00	N/A	N/A	5'-0"	3'-6"
(OS 146) POND A4-B	444.00 (24") (2)	444.01 (3")	445.33 (24"WX22"H) (2)	448.00 (2)	449.50	25'	9'-0"

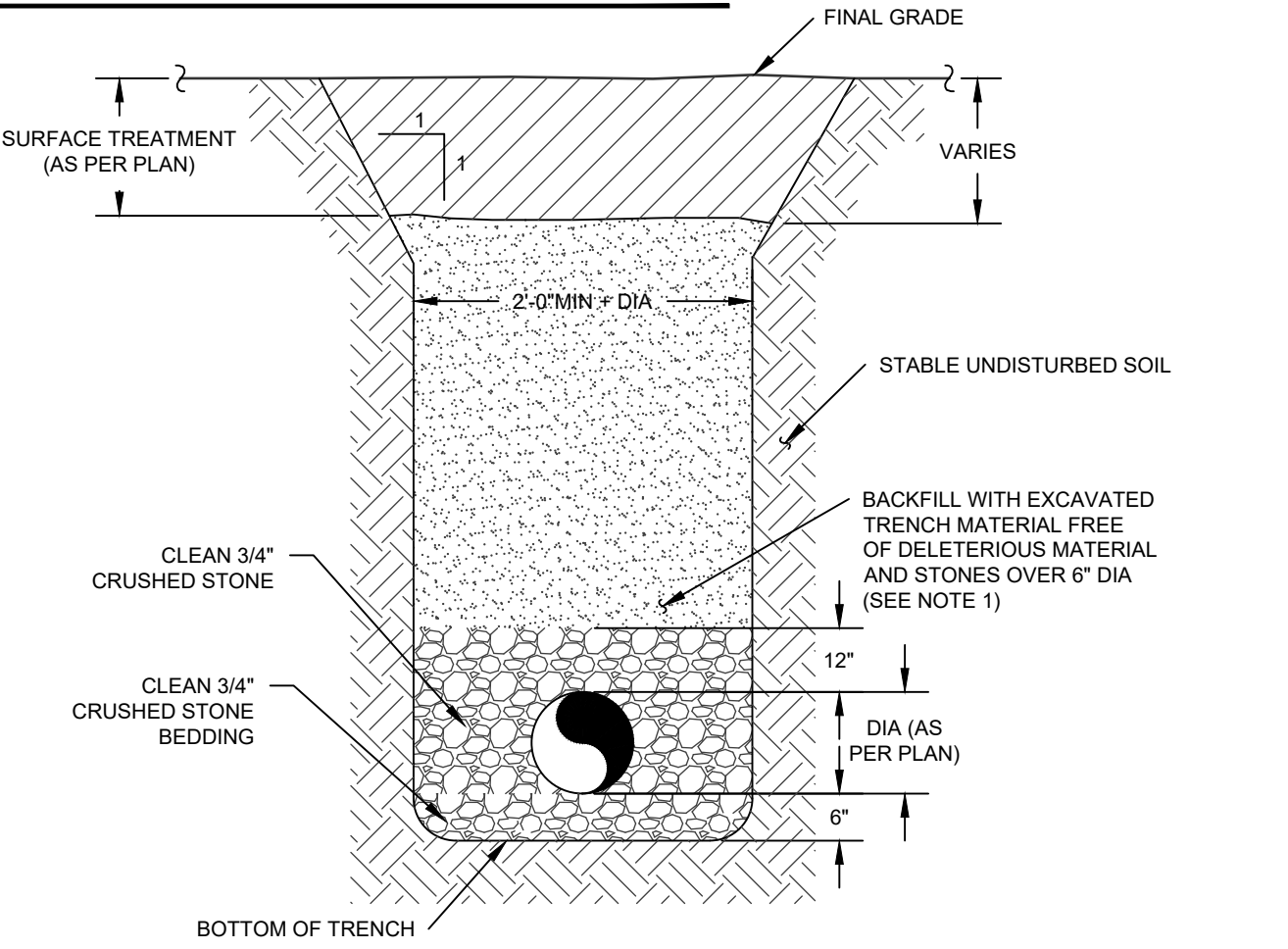
- NOTES:**
- FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.
 - OS 146 SHALL HAVE A MINIMUM SUMP OF 30".

DETENTION POND OUTLET STRUCTURE
SCALE: NTS



BIO-FILTER MEDIA SPECIFICATIONS:
BIO-FILTER MEDIA SHALL CONSIST OF A MINIMUM OF 75% CONCRETE SAND AND A MAXIMUM OF 25% TOPSOIL.

BIORETENTION FACILITY
SCALE: NTS



- NOTES:**
- ALL BACKFILL WITHIN THE ROAD RIGHT-OF-WAY SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.
 - ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.

DRAINAGE PIPE TRENCH
SCALE: NTS

No.	DATE	DESCRIPTION
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15	02/22/22	REVISED PER OCOOF COMMENTS
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19	01/18/23	REVISED HEADWALL
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DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	05/08/2023	OF 22
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	18	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	N/A	OF 9
<input checked="" type="checkbox"/> NYSDOT APPROVAL	18	OF 22
<input checked="" type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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DETAILS

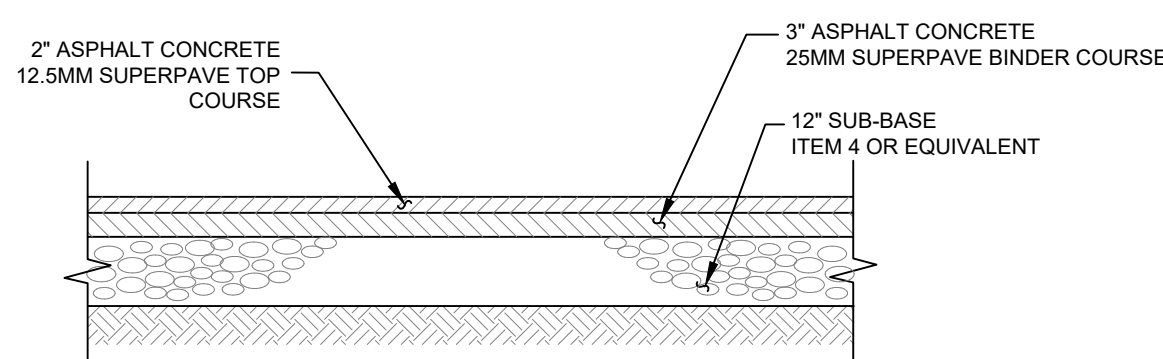
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: AS NOTED
TAX LOT: 78-1-94.1

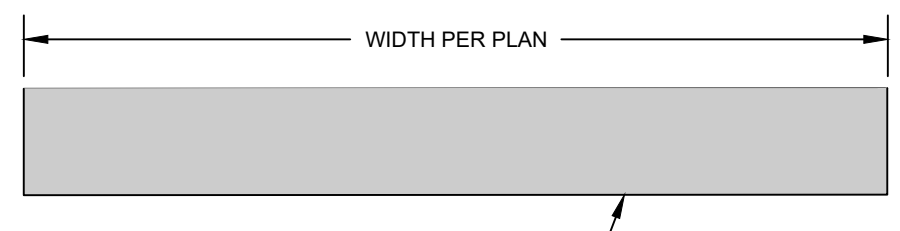
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TOWN OF WALKKILL PB SHEET 18 OF 27

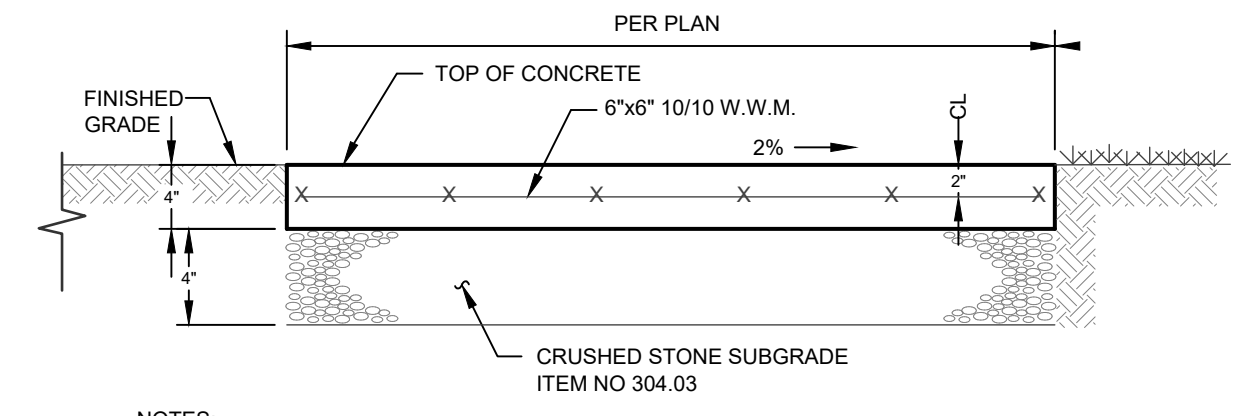


- NOTES:**
- TO BE INSTALLED FOR PARKING LOT AREA.
 - ALL SUB-GRADE AND SUB-BASE SHALL BE PROOF ROLLED WITH TOWN ENGINEER PRESENT PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.

ON-SITE PAVEMENT SECTION
SCALE: N.T.S.

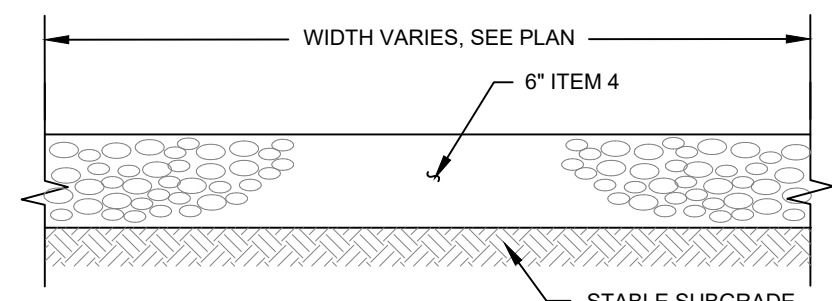


STOP BAR
SCALE: N.T.S.

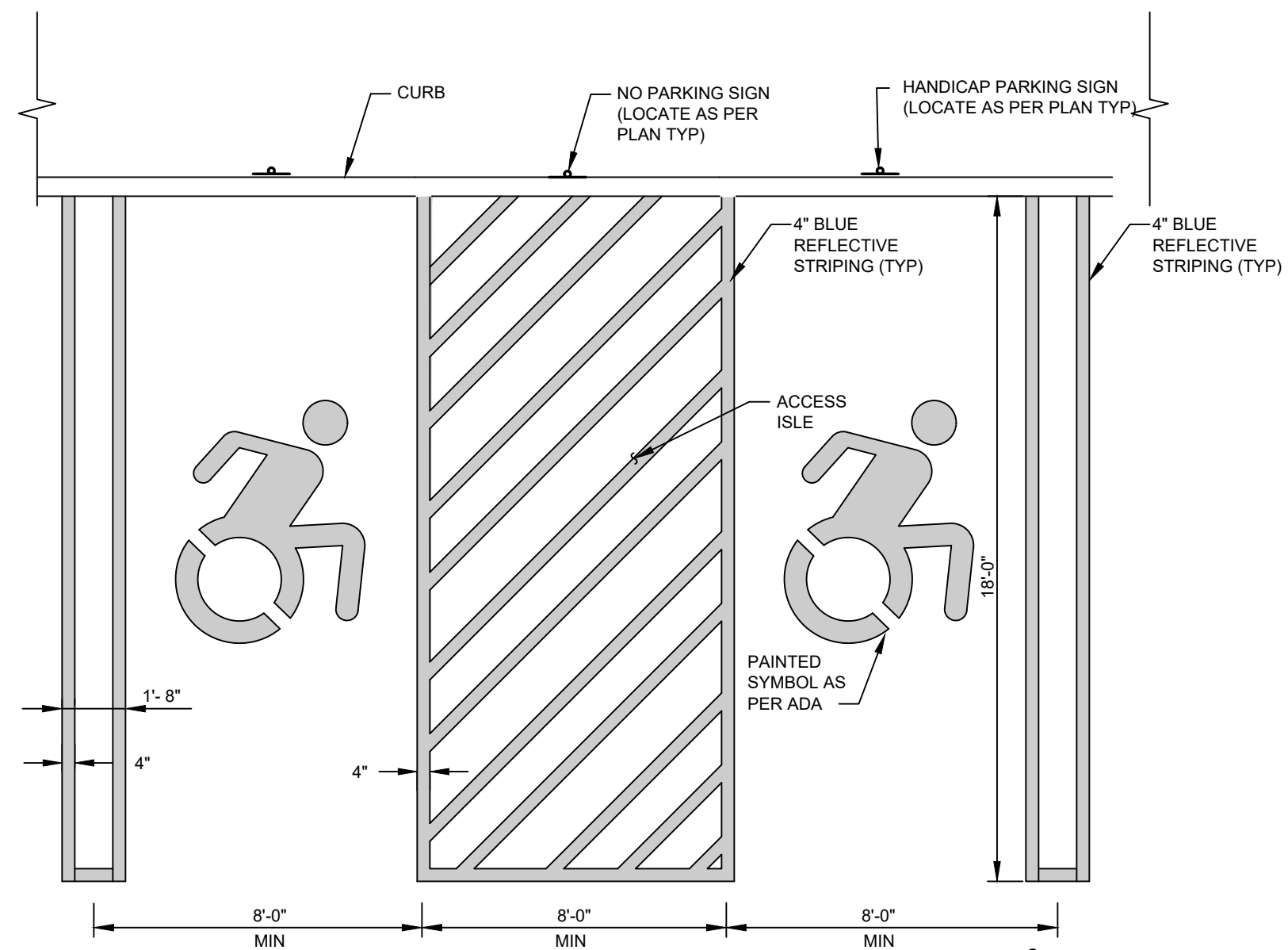


- NOTES:**
- CURB EXPANSION JOINTS OF 1/4" PREFORMED BITUMINOUS COATED CELLULOSE OR SIMILAR MATERIAL AT TEN FOOT INTERVALS.
 - SIDEWALK EXPANSION JOINTS SHALL BE SPACED AT 20' INTERVALS AND SHALL BE 4" DEEP, EDGED WITH 1/4" RADIUS.
 - ALL CONCRETE FOR SIDEWALKS SHALL BE 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND CROSS SLOPE.
 - ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA STANDARDS. ANY SIDEWALKS GREATER THAN 8% IN GRADE SHALL BE STEPPED IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE REQUIREMENTS.

SIDEWALK DETAIL
SCALE: N.T.S.

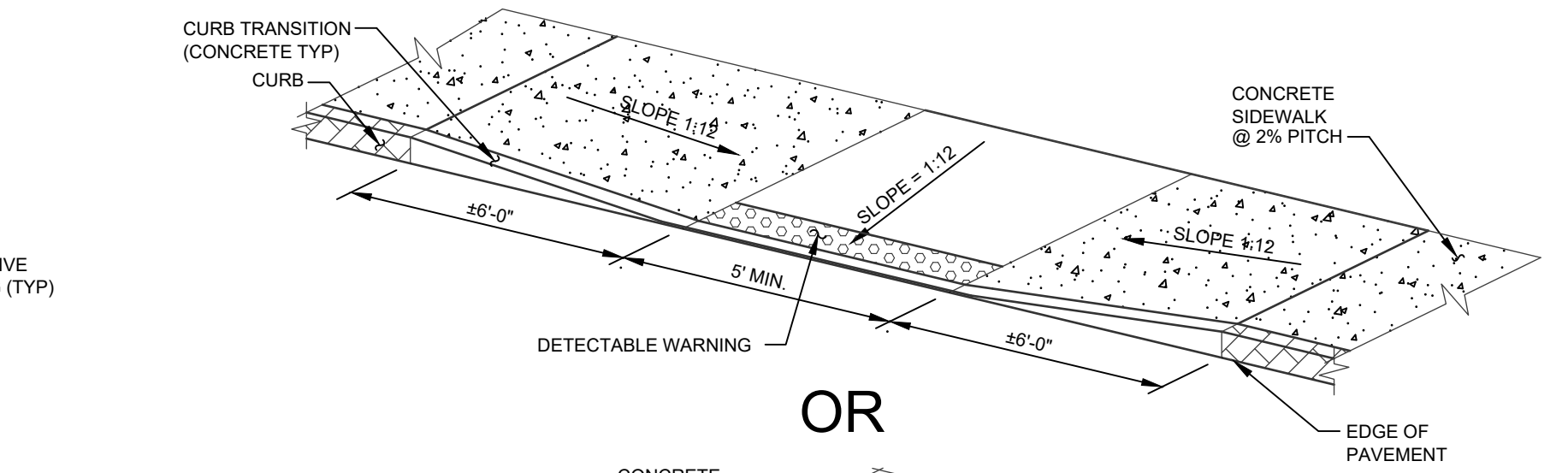


GRAVEL POND ACCESS ROAD
SCALE: N.T.S.



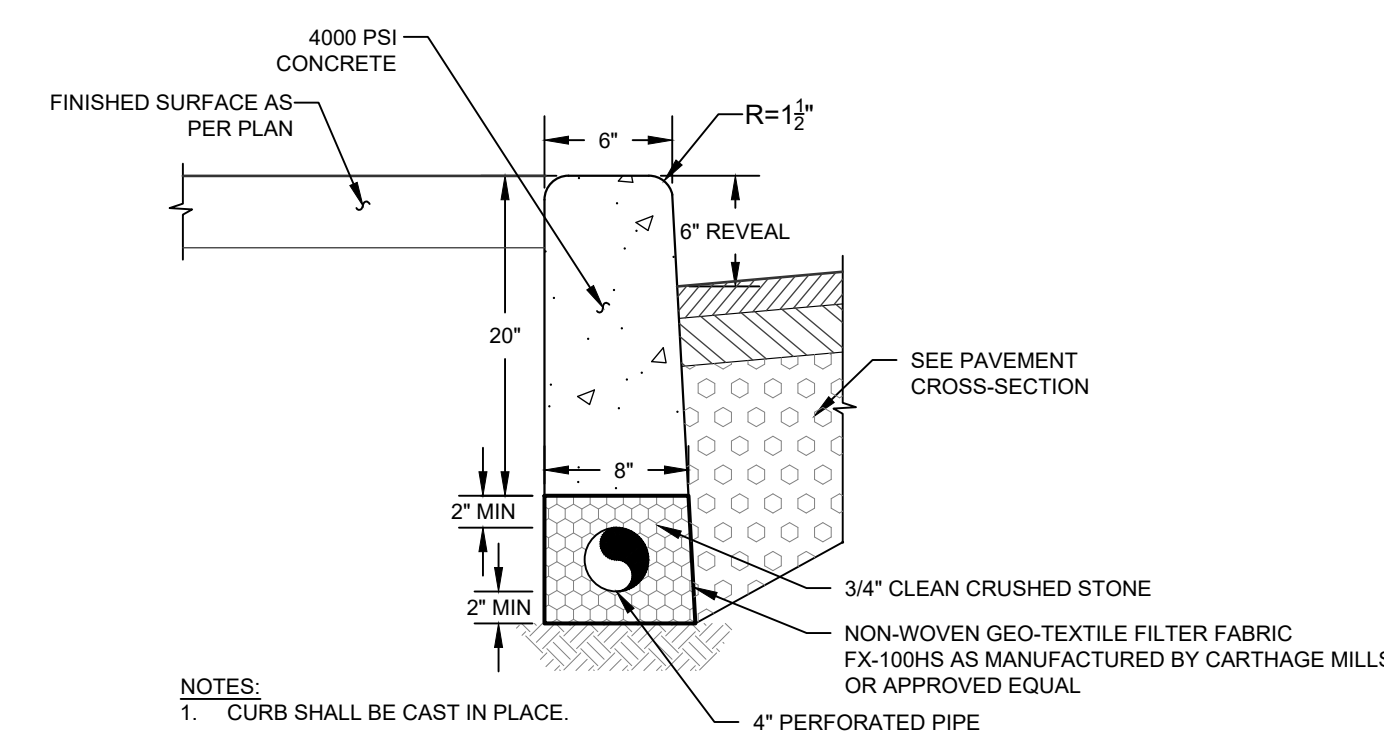
- NOTES:**
- MAX SLOPE OF 2% IN ALL DIRECTIONS WITHIN ALL HANDICAP PARKING SPACES.

HANDICAP PARKING SPACES
SCALE: N.T.S.



- NOTES:**
- ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA STANDARDS.
 - CURB SHALL BE CAST IN PLACE CONCRETE WITH A STRENGTH OF 4,000 PSI AT 28 DAYS

HANDICAP RAMP
SCALE: N.T.S.

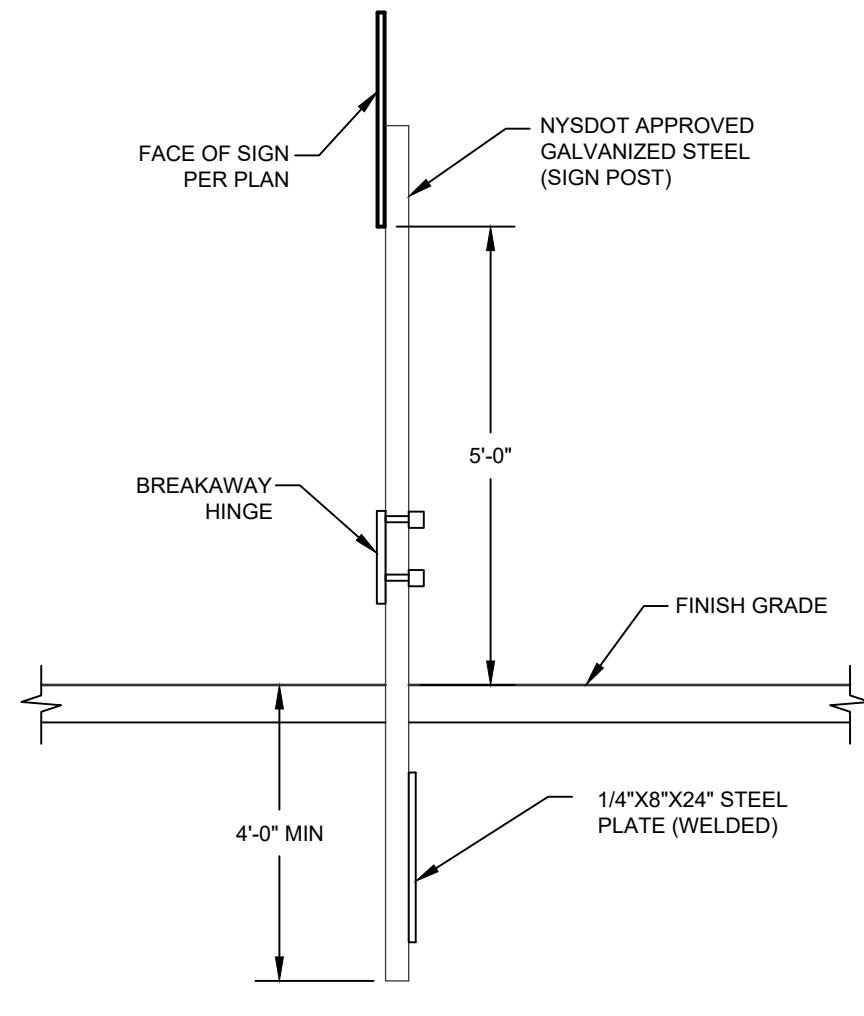


- NOTES:**
- CURB SHALL BE CAST IN PLACE.
 - EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS AND WHERE REQUIRED (i.e. CURB BOXES, CATCH BASINS, ETC.)
 - ALL UNDERDRAINS SHALL BE CONNECTED TO NEAREST CATCHBASIN.
 - 6" REVEAL CURB TO BE USED FOR CURBS OUTSIDE THE TOWN OF WALLKILL RIGHT OF WAY ONLY.

ON-SITE CONCRETE CURB
SCALE: N.T.S.

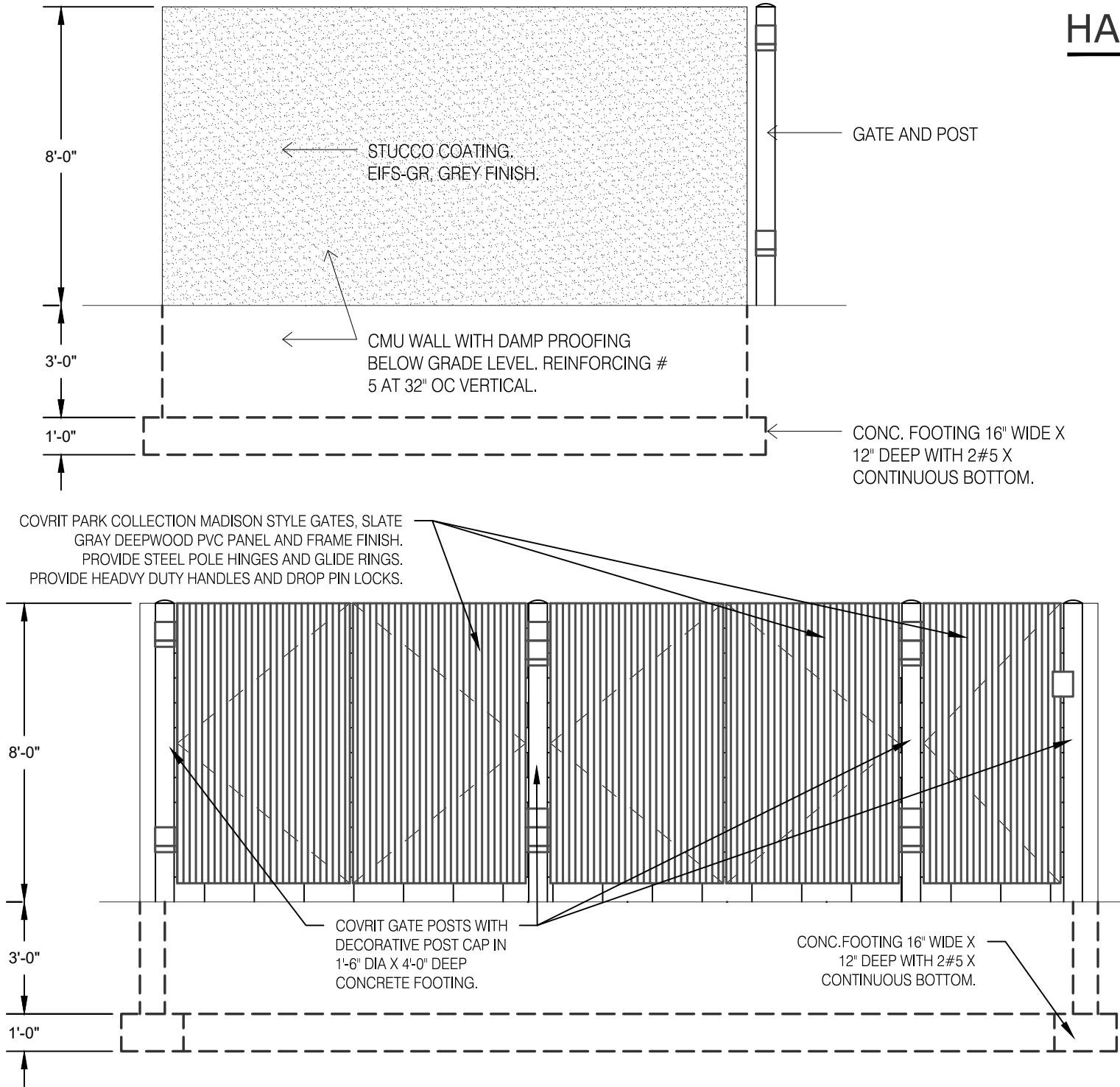
SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP	NO PARKING ANY TIME	P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP	STOP	R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC	RESERVED PARKING	M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING

SIGN SCHEDULE
SCALE: N.T.S.

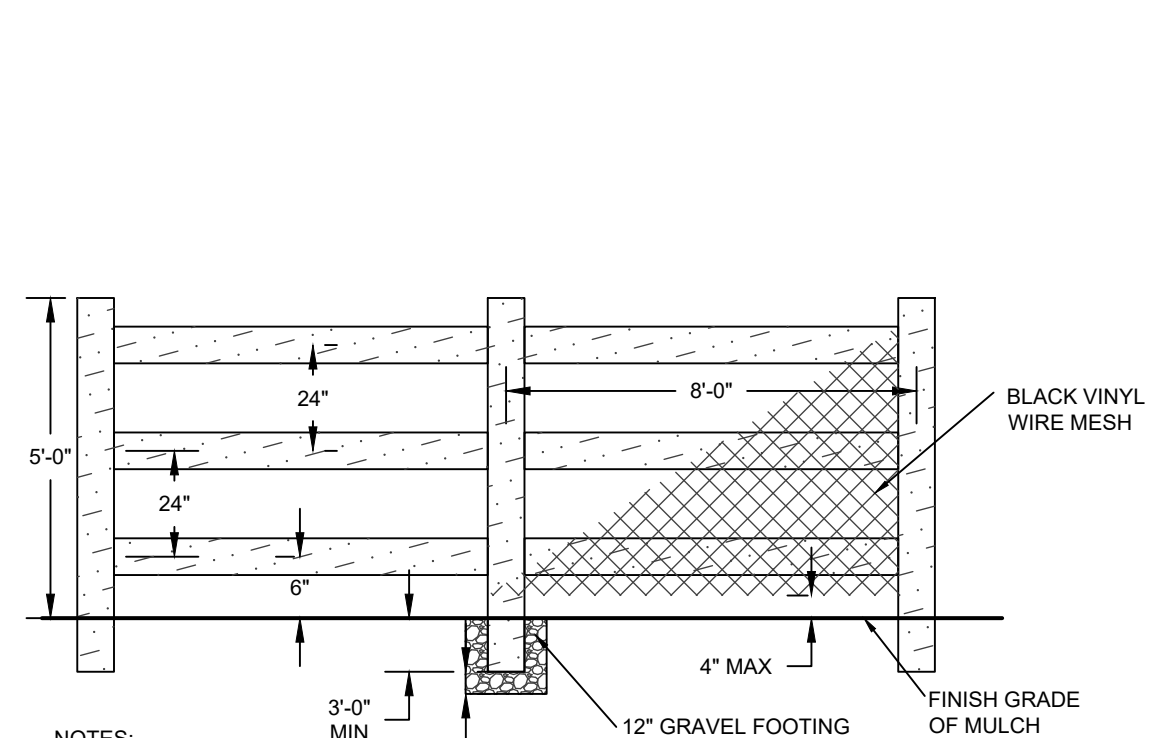
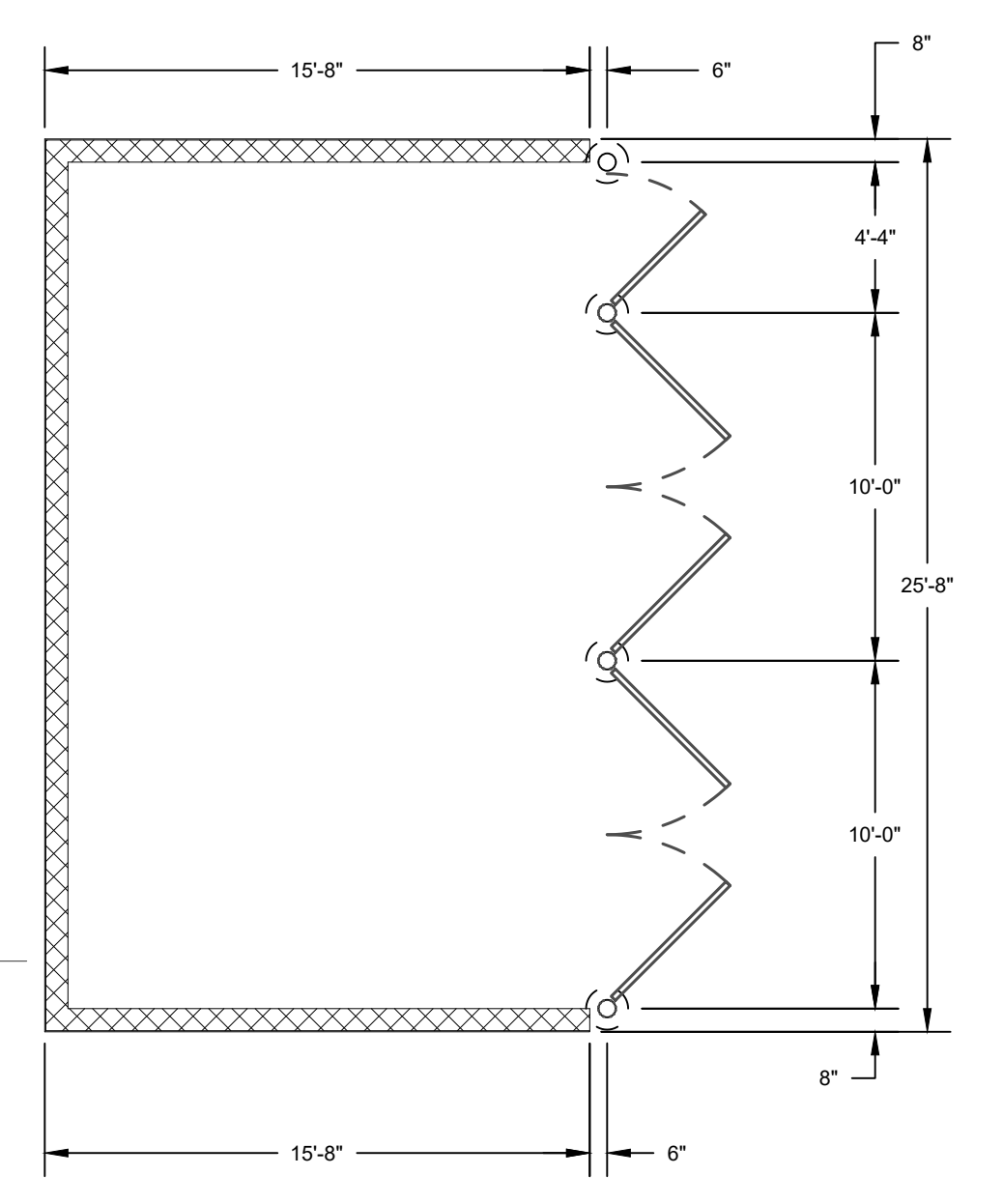


- NOTES:**
- ALL ASSEMBLY HARDWARE TO BE CAST ALUMINUM WITH ALUMINUM BOLTS.
 - ALL SIGNS SHALL CONFORM TO ALL NYSDOT AND MUTCD REQUIREMENTS.

SIGN POST
SCALE: N.T.S.

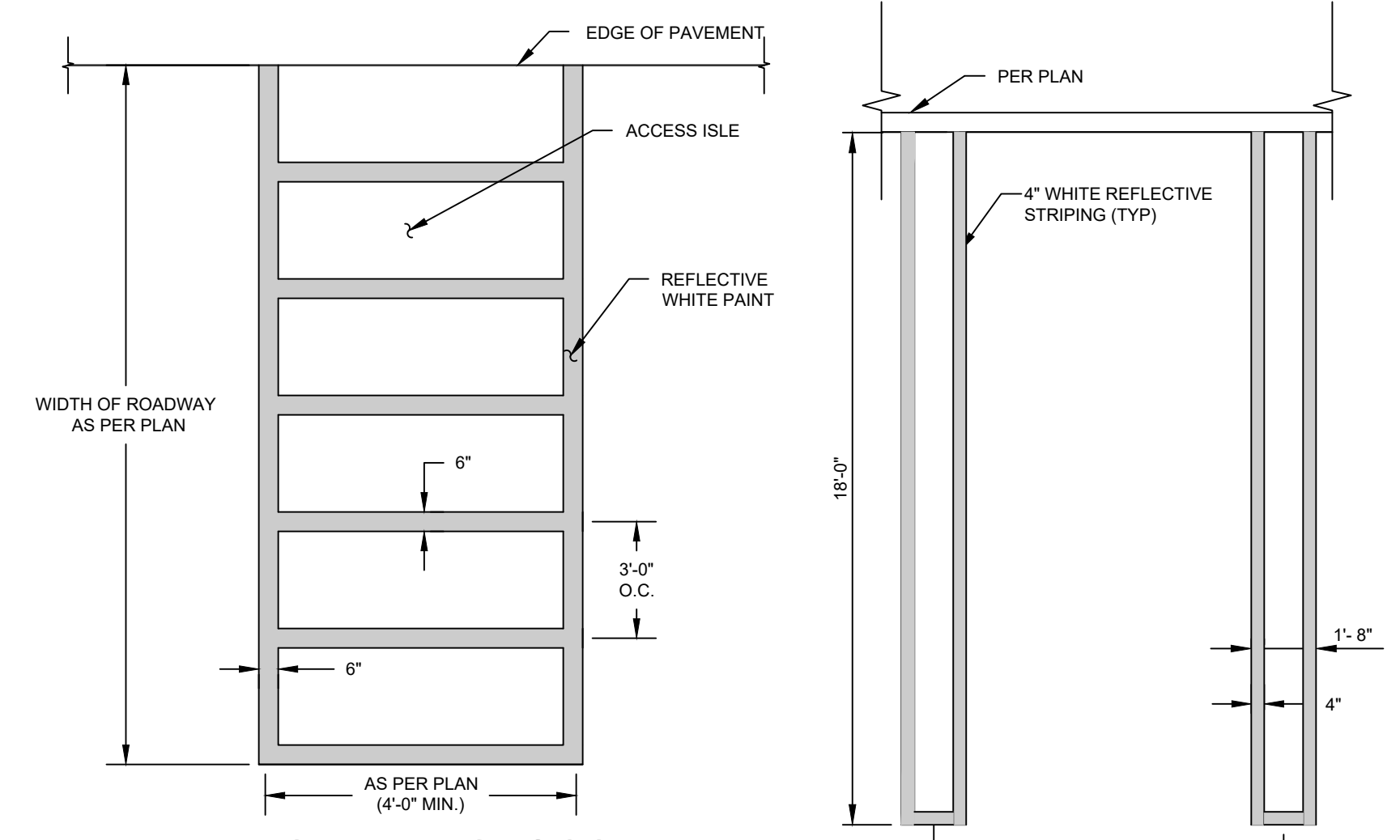


STUCCO DUMPSTER ENCLOSURE
SCALE: N.T.S.

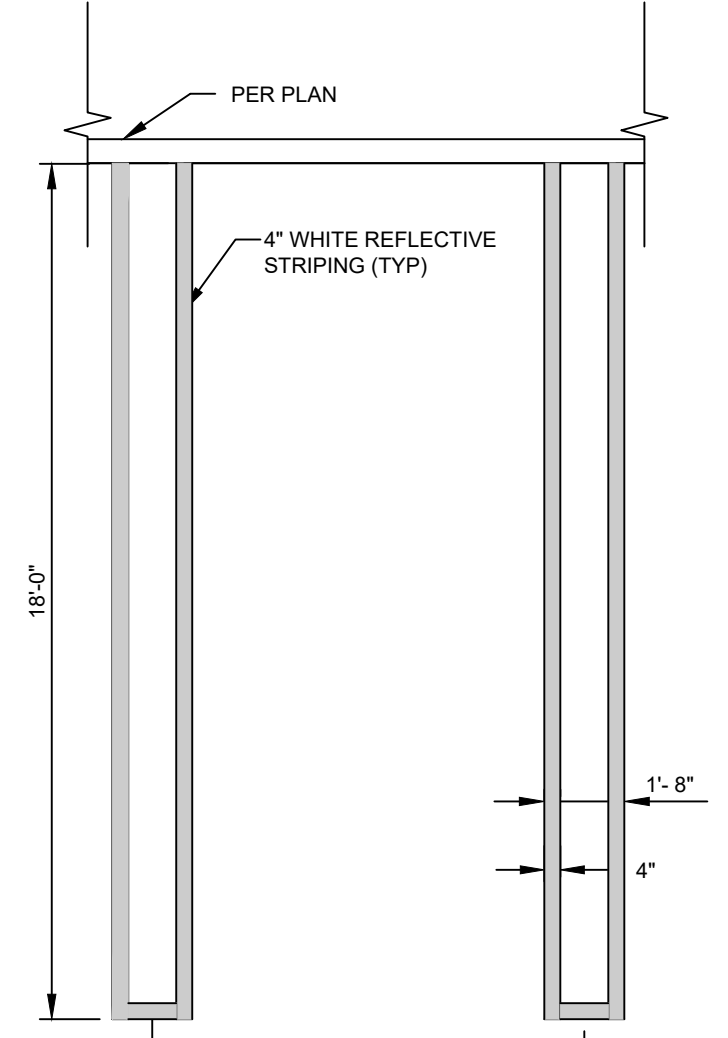


- NOTES:**
- BLACK WIRE MESH CAN BE EXTENDED TO A HEIGHT OF 8' IF NECESSARY FOR PROTECTION FROM WILDLIFE.
 - TO BE INSTALLED AROUND PLAYGROUND AND AT TOP OF THE PROPOSED RETAINING WALL BEHIND UNITS 55 THROUGH 60.

SPLIT-RAIL FENCE
SCALE: N.T.S.



PEDESTRIAN CROSSWALK
SCALE: N.T.S.



PARKING SPACE
SCALE: N.T.S.

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
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9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/08/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS	ISSUE DATE:	SHEET NUMBER
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	05/08/2023	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	19	OF 22
<input type="checkbox"/> OCOOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCOOH WATERMAIN EXTENSION APPROVAL	N/A	OF 9
<input checked="" type="checkbox"/> NYSDOT APPROVAL	19	OF 22
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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DETAILS

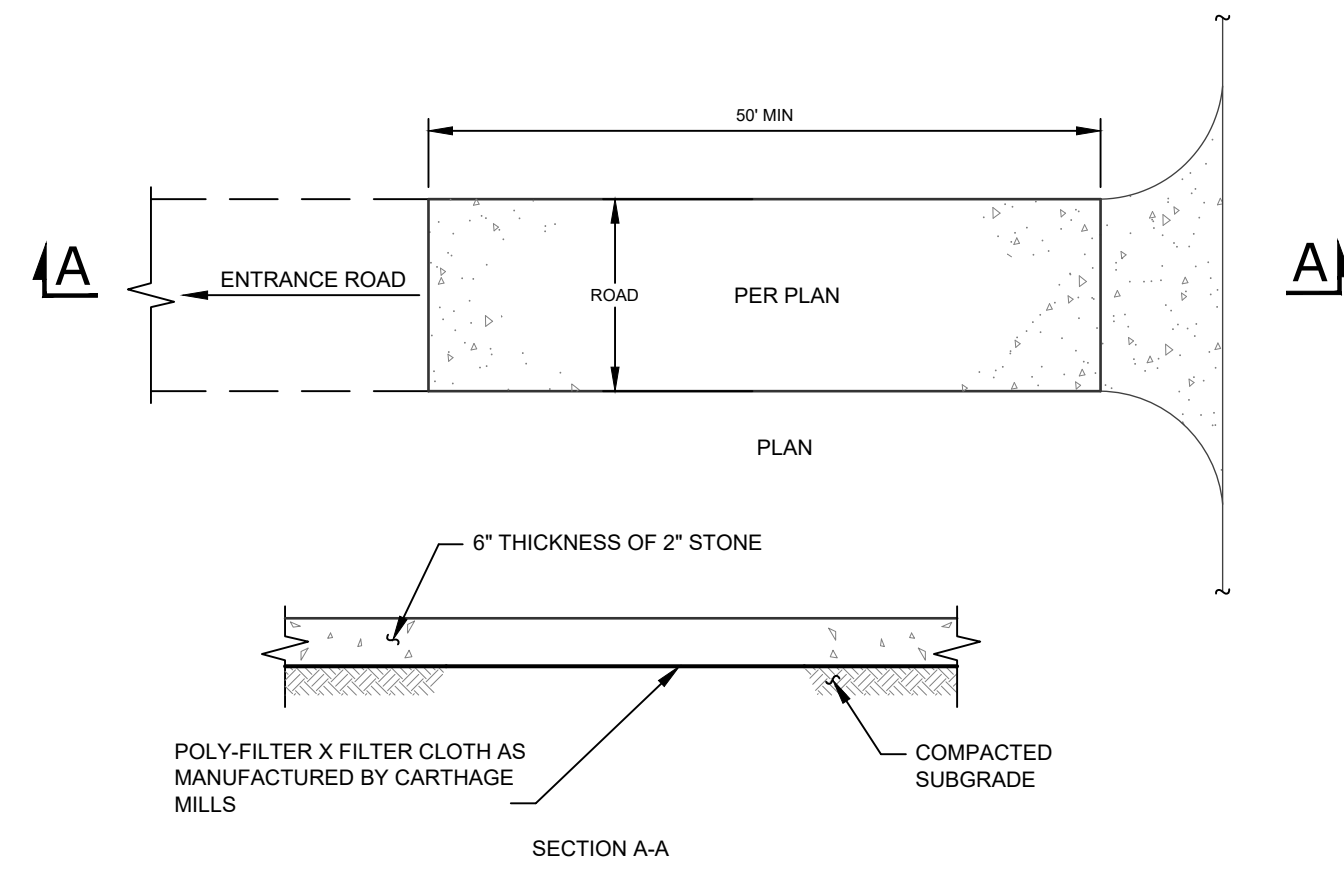
599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: AS NOTED
TAX LOT: 78-1-94.1

C-304

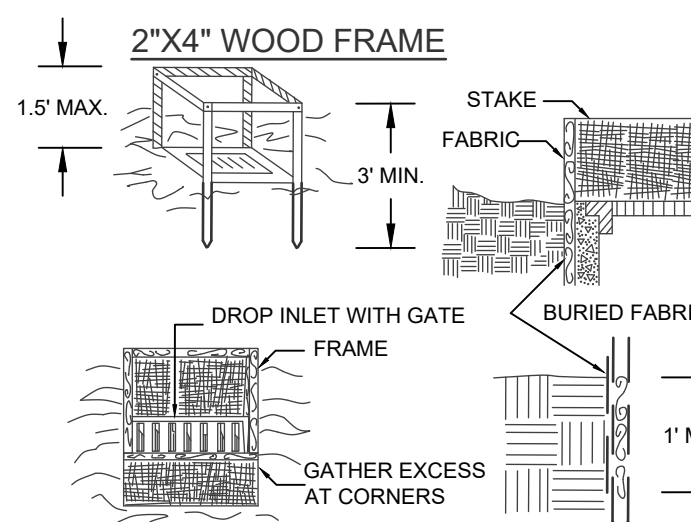
TOWN OF WALLKILL PB SHEET 19 OF 27



- NOTES:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

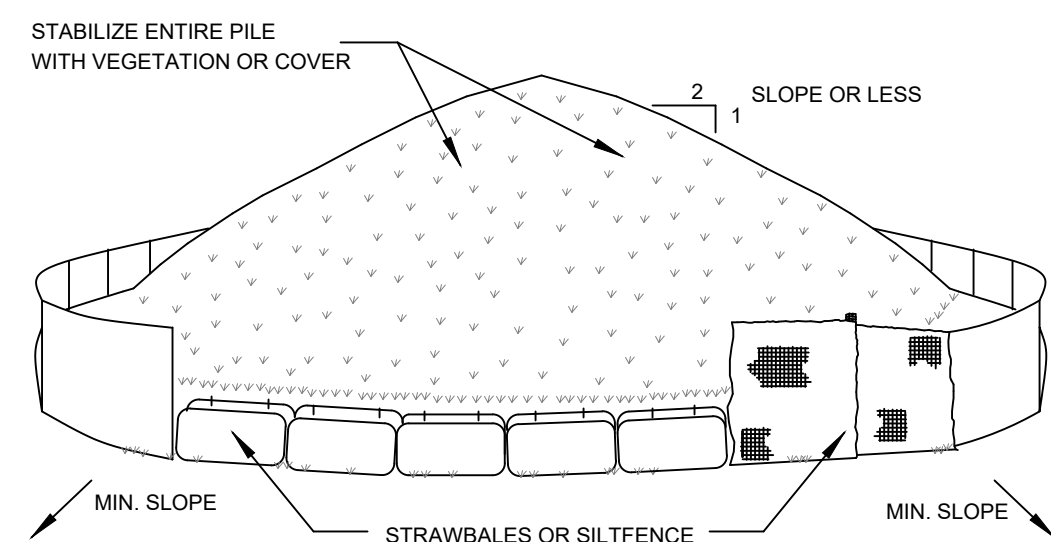
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- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

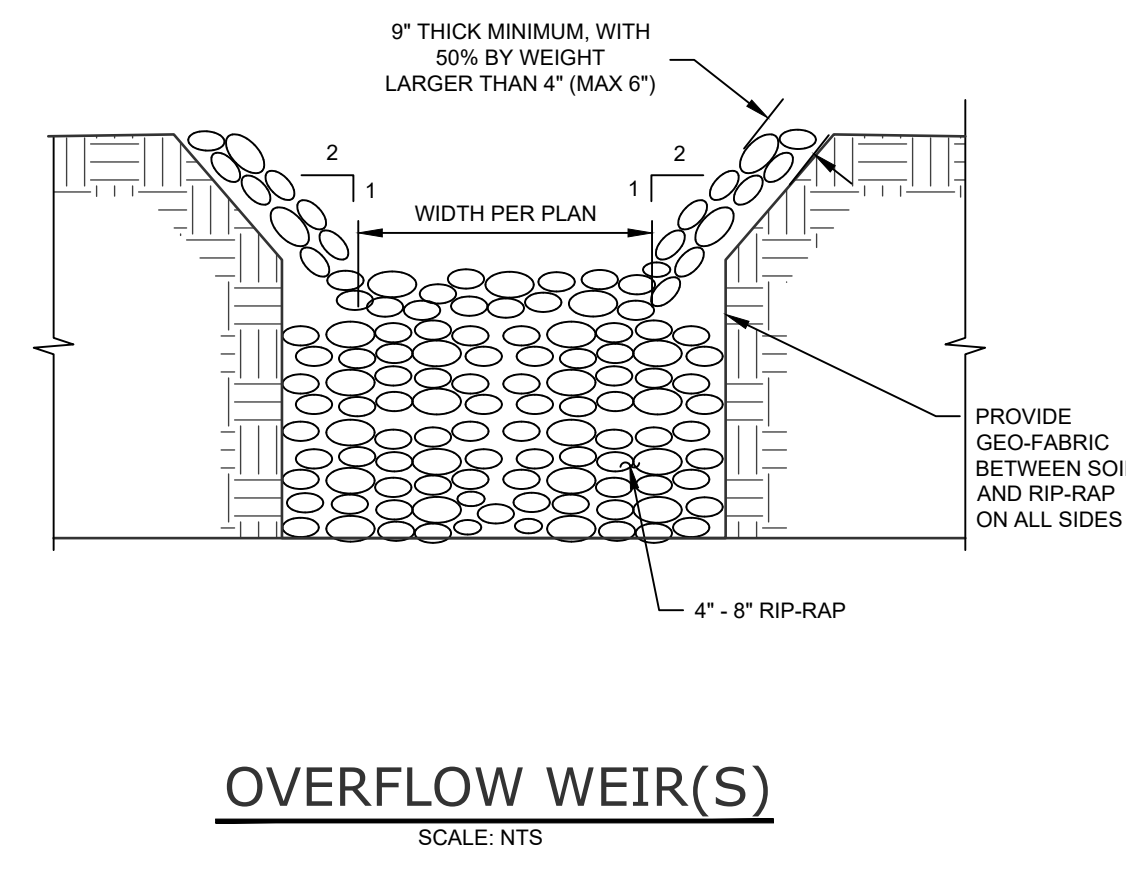
NOT TO SCALE



- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

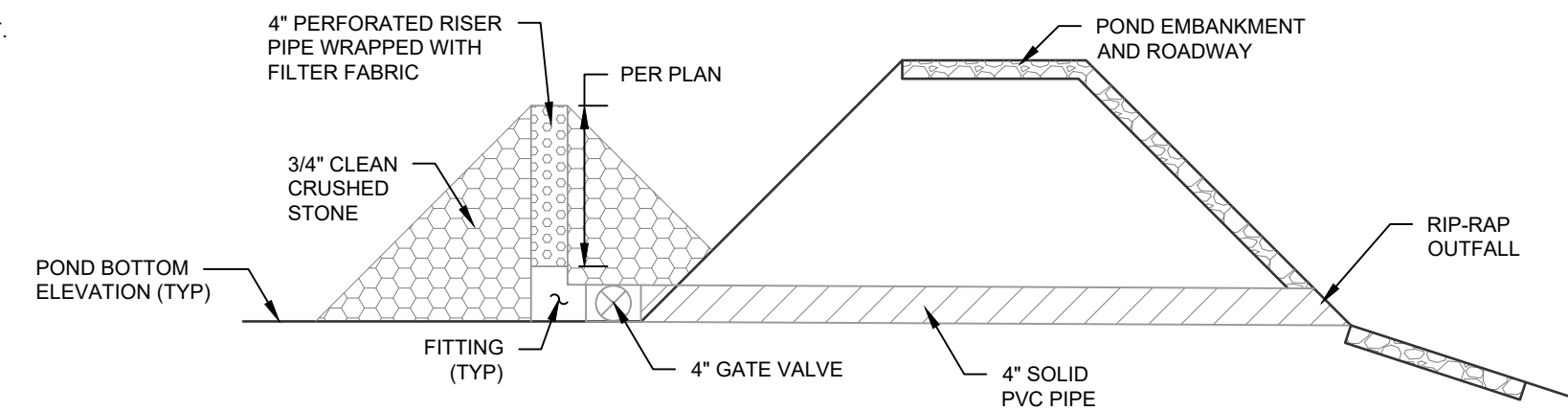
SOIL STOCKPILING

SCALE: NTS



OVERFLOW WEIR(S)

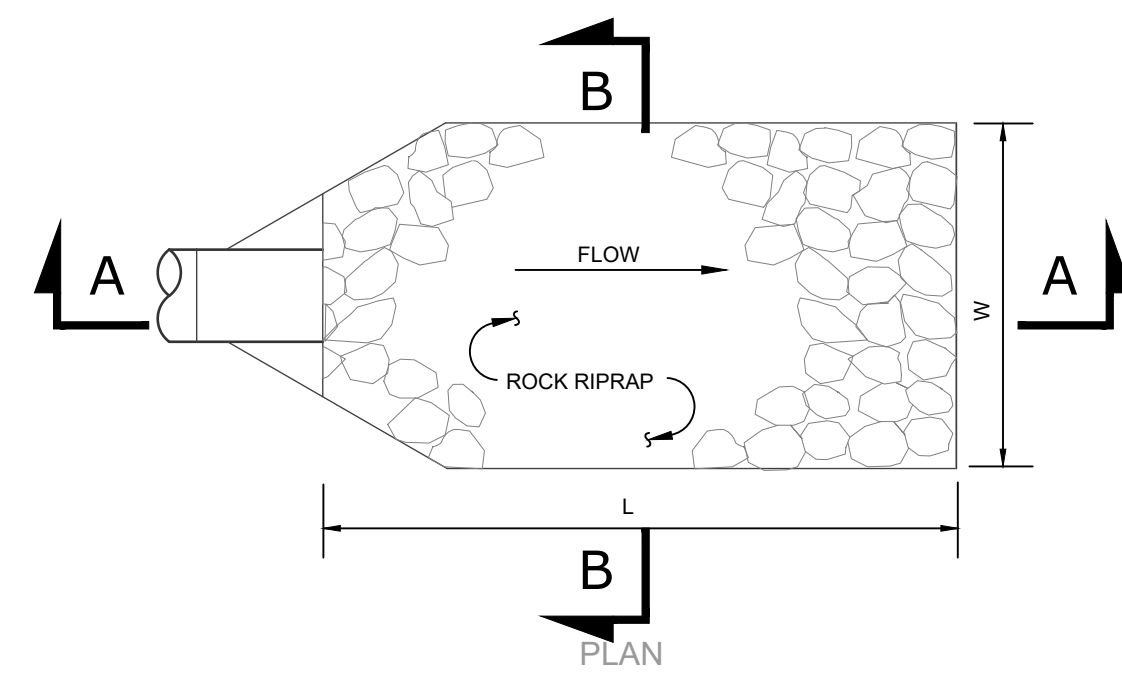
SCALE: NTS



- NOTES:**
- 4" SOLID PVC PIPE AND 4" GATE VALVE SHALL BE INSTALLED FIRST TO ALLOW CONTRACTOR TO DRAIN THE POND IN ORDER TO COMPLETE THE CONSTRUCTION OF THE STORMWATER MANAGEMENT POND. IN THE EVENT THE STORMWATER DETAINED BY THE POND IS SEDIMENT LADEN, THE CONTRACTOR SHALL CLOSE THE VALVE AND PUMP THE STORMWATER TO A SUITABLE BMP.
 - ONCE THE CONSTRUCTION OF THE ENTIRE PROJECT IS COMPLETE AND EXPOSED AREAS ARE STABILIZED, THE RISER PIPE AND SOLID PIPE SHALL BE REMOVED OR PERMANENTLY ABANDONED FOR POND A4A.

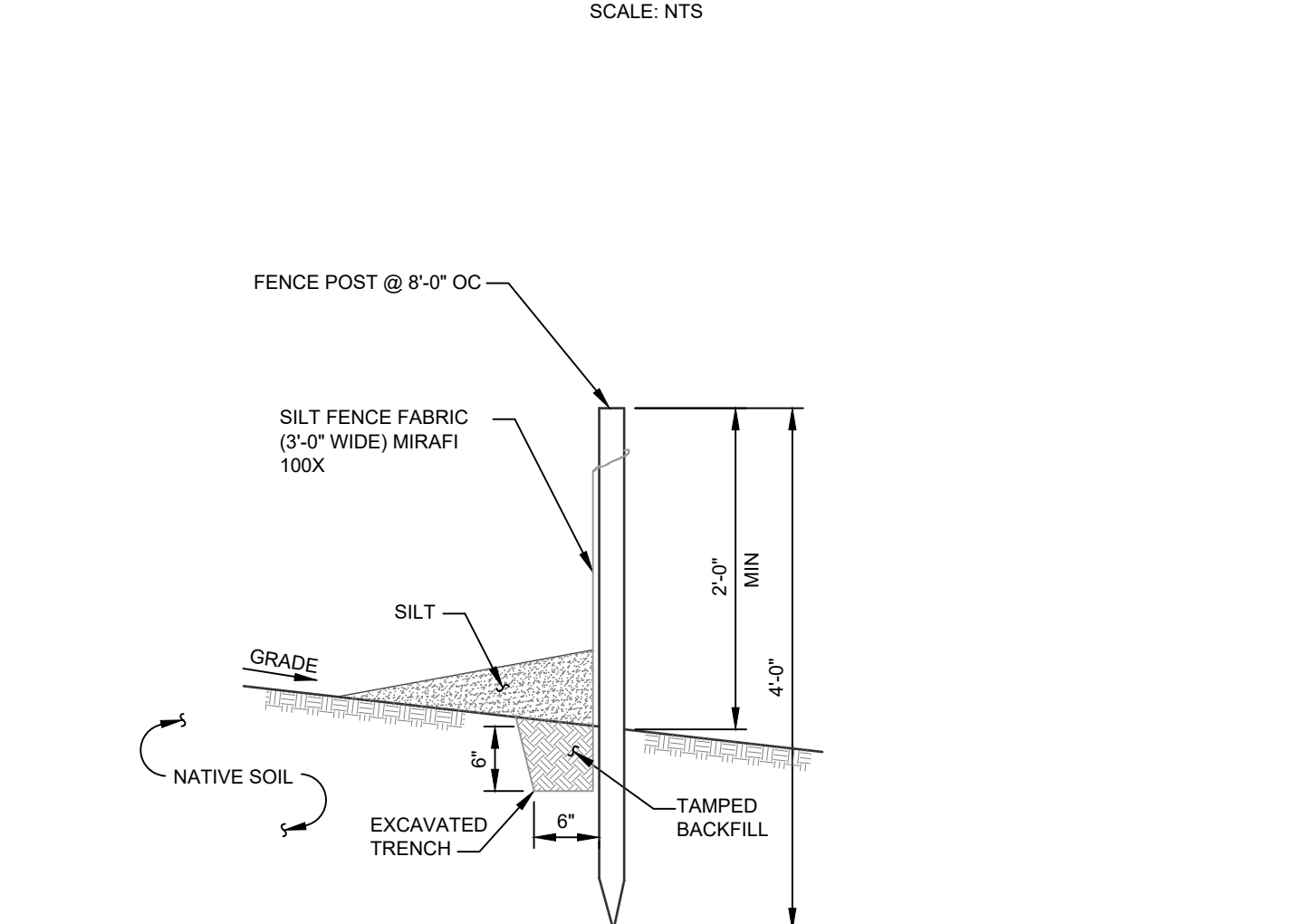
PERFORATED RISER PIPE

SCALE: NTS



SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)

SCALE: NTS



SILT FENCE

SCALE: N.T.S.

- NOTES:**
- SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.

OUTLET PROTECTION SIZING CALCULATIONS

END SECTION	DIA. (in)	Q _{max} (cfs)	V _{max} (ft/s)	D ₅₀ (in)	D _{max} (in)	L (ft)	W (ft)	T (in)	H (in)
FES 102	15	2.2	1.8	4	6	8	9.25	12	15
FES 111	15	8.5	6.9	4	6	11	12.25	12	15
FES 112	24	32.6	10.4	9	15	20	22	24	24
FES 134	24	34.6	11	9	15	20	22	24	24
FES 145	24	26.7	8.4	9	15	16	18	24	24
FES 153	18	14.0	7.9	6	9	12	13.5	18	18
FES 200	12	4.7	5.9	4	6	11	12.25	12	15

EROSION AND SEDIMENTATION CONTROL NOTES

- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION AND IN ACCORDANCE WITH THE ACREAGE LISTED ON THE PLANS PER PHASE (IF APPLICABLE).
- SITE DISTURBANCE GREATER THAN ONE (1) ACRE WILL REQUIRE COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-0-20-001 FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - GP-0-20-001 REQUIRES DAILY INSPECTIONS BY THE CONTRACTOR (TRAINING & CERTIFICATION REQUIRED) AS WELL AS WEEKLY INSPECTIONS BY A QUALIFIED PROFESSIONAL ENGINEER.
 - A WAIVER HAS BEEN APPLIED FOR THE MSA FOR DISTURBANCE GREATER THAN 5 ACRES FOR ONE OR MORE OF THE PROPOSED CONSTRUCTION PHASES. THE FOLLOWING ADDITIONAL ITEMS ARE A REQUIREMENT OF THE 5-ACRE DISTURBANCE LIMIT WAIVER.
 - 2.2.1 THE INSPECTIONS BY THE QUALIFIED PROFESSIONAL SHALL BE 2 TIMES EVERY 7 DAYS.
 - 2.2.2 IN AREAS OF TEMPORARY OR PERMANENT DISTURBANCE, STABILIZATION (IN ACCORDANCE WITH NOTES AND PROCEDURES IN THIS PLAN SET) SHALL BE IMPLEMENTED WITHIN 7 DAYS FROM THE CEASING OF SOIL DISTURBANCE FOR THAT AREA.
 - ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND AND IN AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED. ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS. THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCE LINE.
 - TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALES DIKES, DRAINAGE STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED AS SOON AS PRACTICAL. FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION:
 - 5.1 AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - 5.2 LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - 5.3 FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 800 LBS. PER ACRE.
 - 5.4 DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE; DURING THE WINTER, USE 100 LBS. CERTIFIED "AROGOSTOOK" WINTER RYE (GENERAL RYE) PER ACRE.
 - 5.5 PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE: 8 LBS EMPIRE BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER PER ACRE PLUS 20 LBS TALL FESCUE PER ACRE PLUS 2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE.
 - ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
 - OPTIMUM SEEDING PERIODS ARE 3/15-4/1 AND 8/1-10/15.
 - ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
 - TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
 - ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES. MULCH NETTING SUCH AS PAPER, JUTE, EXCELBIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

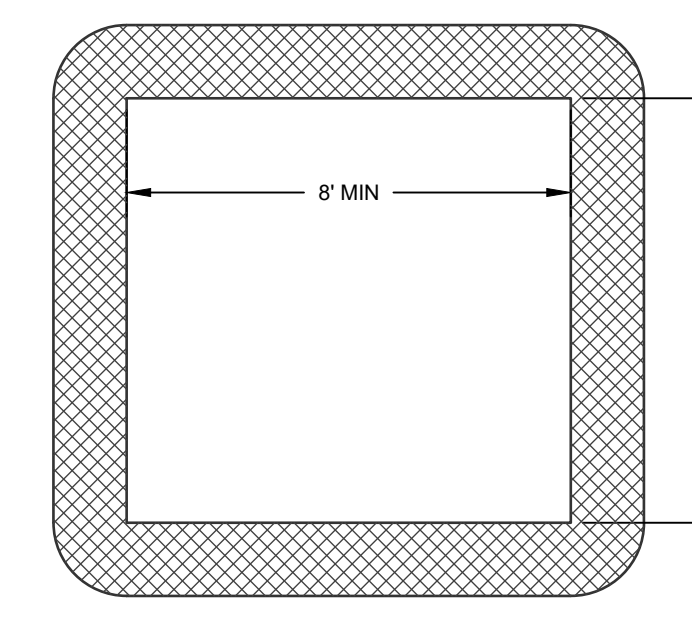
MATERIAL	Lbs/Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
 - FOR CONSTRUCTION THAT OCCURS DURING WINTER MONTHS (I.E. NOVEMBER 15 - APRIL 1) ADDITIONAL MEASURES SHALL BE TAKEN IN ACCORDANCE WITH THE STANDARD & SPECIFICATIONS FOR WINTER STABILIZATION SECTION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL, LATEST VERSION AS PUBLISHED BY THE NYSDEC SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - ENSURING COMPLIANCE WITH SNOW STORAGE STOCKPILE AREAS
 - SNOW STOCKPILES AT CONSTRUCTION ENTRANCE SHALL BE OUTSIDE THE STABILIZED CONSTRUCTION ENTRANCE TO ENSURE THE FUNCTIONALITY OF THE EROSION CONTROL MEASURE.
 - MAINTAIN BUFFERS TO ALL PERIMETER SILT FENCES.
 - INSTALL ADDITIONAL SILT FENCE AS NECESSARY FOR ANY DISTURBED AREAS UPGRADIENT OF A WATER BODY.
 - PROVIDE MAINTENANCE OF ALL DRAINAGE STRUCTURE TO KEEP CLEAR OF SNOW, ICE, DEBRIS, ETC.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ROLLED EROSION CONTROL BLANKETS MUST BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR STEEPER.
 - IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE.
 - TO ENSURE ADEQUATE STABILIZATION OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL SHOULD BE STABILIZED AT THE END OF EACH WORK DAY UNLESS:
 - WORK WILL RESUME WITHIN 24 HOURS IN THE SAME AREA AND NO PRECIPITATION IS FORECAST OR;
 - THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, FOUNDATIONS, EXCAVATIONS, OR WATER MANAGEMENT AREAS.
 - USE STONE PATHS TO STABILIZE ACCESS PERIMETERS OF BUILDINGS UNDER CONSTRUCTION AND AREAS WHERE CONSTRUCTION VEHICLE TRAFFIC IS ANTICIPATED. STONE PATHS SHOULD BE A MINIMUM 10 FEET IN WIDTH BUT WIDER AS NECESSARY TO ACCOMMODATE EQUIPMENT.

SEQUENCE OF CONSTRUCTION ACTIVITY

- A MEETING WITH TOWN REPRESENTATIVES, INCLUDING TOWN ENGINEER, AS WELL AS CONTRACTORS, PROJECT MANAGER AND FOREMAN, IS TO TAKE PLACE A MINIMUM OF ONE WEEK PRIOR TO CONSTRUCTION.
- CONSTRUCTION STAGING - STAKE OUT LIMIT OF DISTURBANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND STABILIZED CONSTRUCTION ROAD(S). INSTALL TEMPORARY SEDIMENT TRAP. INSTALL PERMANENT/TEMPORARY GRASSED SWALES.
- CLEARING AND GRUBBING - REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
- ROUGH GRADING - CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
- ROADBUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF ROADWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. COMPLETE DRAINAGE INLET AND OUTLET PROTECTION AS EACH INLET/OUTLET IS CONSTRUCTED. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
- FINAL GRADING AND LANDSCAPING - REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL PERMANENT WATER QUALITY/QUANTITY FACILITIES. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
- POST CONSTRUCTION - UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.

EARTHWORK CONSTRUCTION NOTES

- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF WALKKILL.
- ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
- ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
- COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
- ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH. EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 2H:1V SIDE SLOPES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH. EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
- ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
- SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER. MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.



CONCRETE WASHOUT

SCALE: N.T.S.

- NOTE:**
- PLASTIC LINER SHALL BE INSPECTED DAILY TO ENSURE THAT THERE ARE NO HOLES OR TEARS. IF ANY HOLES OR TEARS ARE FOUND THE LINER SHALL BE REPLACED AND CLEANED IMMEDIATELY. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 - WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.
 - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL.

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
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DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALKKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504
DATE: 01/06/20
REVISION: 21 - 05/08/2023

DRAWN BY: JS
SCALE: AS NOTED
TAX LOT: 78-1-94.1

C-305

TOWN OF WALKKILL PB SHEET 20 OF 27

WETLAND PLANTINGS

- NOTES:
- THE GRASSES AND WILDFLOWERS LISTED BELOW ARE ACCEPTABLE TYPES THAT CAN BE UTILIZED IN THE SPECIFIED AREAS AS NOTED.
 - A RANDOM MIX OF THE TREES AND SHRUBS LISTED BELOW SHALL BE UTILIZED WITHIN THE MITIGATION AREA.
 - THE MITIGATION SITE SHOULD BE MONITORED DURING CONSTRUCTION AND PRIOR TO VEGETATION INSTALLED TO CONFIRM HYDROLOGY IN DETERMINING INSTALLATION LOCATIONS.
 - ALL GRASS AND WILDFLOWER MIXES SHALL BE PLANTED DURING SPRING OR FALL PLANTING SEASONS WITH THE EXCEPTION OF SWITCHGRASS. SWITCHGRASS SHOULD BE OVERSEED DURING LATE WINTER WHEN FREEZE-THAW ACTION WILL ASSURE ADEQUATE SEED TO SOIL CONTACT.
 - STRAW MULCH SHALL BE ADDED AT 1 TON PER ACRE IN ALL PLANTING AREAS.

GRASSED & WILDFLOWERS FLAT AREAS MIX (±43,850 SF) (WITHIN MITIGATION AREA)

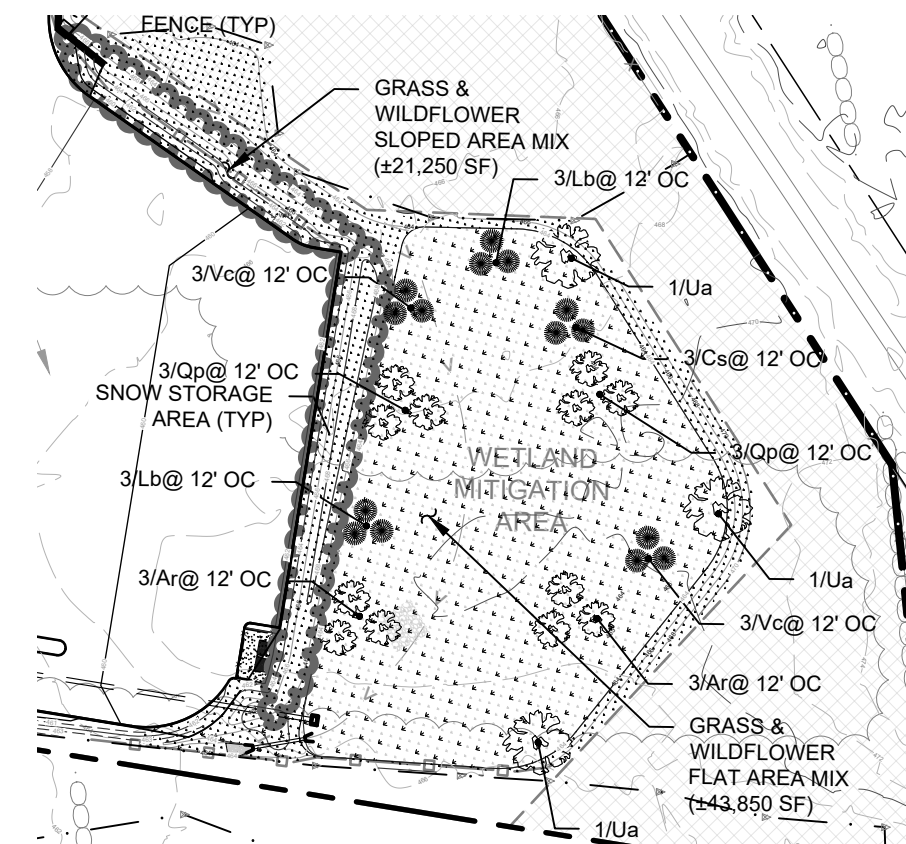
Scientific name	Common Name	Qty (Bulk)
<i>Agrostis stolonifera</i>	Creeping Bentgrass	1 lb/acre
<i>Alopecurus pratensis</i>	Meadow Foxtail	2 lb/acre
<i>Asclepias incarnata</i>	Swamp Milkweed	0.2 lb/acre
<i>Aster novae-angliae</i>	New England Aster	0.05 lb/acre
<i>Aster puniceus</i>	Purple-stemmed Aster	0.05 lb/acre
<i>Bromus altissimus</i>	Wild Brome Grass	0.25 lb/acre
<i>Carex crinita</i>	Fringed Sedge	0.5 lb/acre
<i>Carex vulpinoidea</i>	Fox Sedge	2 lb/acre
<i>Elymus virginicus</i>	Virginia Wild Rye	2 lb/acre
<i>Eupatorium perfoliatum</i>	Boneset	0.1 lb/acre
<i>Glyceria striata</i>	Fowl Mannagrass	0.25 lb/acre
<i>Leeria oryzoides</i>	Rice Cut-Grass	1 lb/acre
<i>Panicum virgatum</i>	Switchgrass	2 lb/acre
<i>Scirpus atrovirens</i>	Green Bulrush	0.25 lb/acre
<i>Scirpus cyperinus</i>	Wood Grass	0.3 lb/acre
<i>Scirpus polyphyllus</i>	Many-leaved Bulrush	0.2 lb/acre
<i>Scirpus pungens</i>	Common Three Square	0.1 lb/acre
<i>Verbena hastata</i>	Blue Vervain	0.1 lb/acre
<i>Vernonia noveboracensis</i>	New York Ironweed	0.1 lb/acre
	Annual Ryegrass	10 lb/acre

GRASSED & WILDFLOWER SLOPED AREAS MIX (±21,250 SF) (OUTSIDE MITIGATION AREA ON SLOPES)

Scientific name	Common Name	Variety	Qty (Bulk)
<i>Andropogon virginicus</i>	Broomsedge		0.5 lb/acre
<i>Bouteloua curtipendula</i>	Side Oats Grama	Trailway	2 lb/acre
<i>Bouteloua gracilis</i>	Blue Grama		2 lb/acre
<i>Festuca longifolia</i>	Hard Fescue	SR 3100	1 lb/acre
<i>Festuca ovina</i>	Sheep's Fescue		5 lb/acre
<i>Festuca rubra var. commutata</i>	Chewings Fescue	SR5100	0.5 lb/acre
<i>Koeleria cristata (pyramidalis)</i>	Prairie Junegrass		0.5 lb/acre
<i>Panicum clandestinum</i>	Tioga Deertongue		2 lb/acre
<i>Schizocharum scoparium</i>	Little Blue Stem	Camper	4 lb/acre
<i>Panicum virgatum</i>	Annual Ryegrass*		5 lb/acre

TREES AND SHRUBS

TREE AND SHRUB SPECIES	QUANTITY	SOURCE & DIAMETER
<i>Acer rubrum</i> (Red Maple, FAC)	6	3 - 3 1/2" cal
<i>Quercus palustris</i> (Pin Oak, FACW)	3	2 1/2 - 3" cal
<i>Ulmus americana</i> (American Elm, FACW-)	6	3 - 3 1/2" cal
<i>Lindera benzoin</i> (Spice-Bush, FACW)	6	24" - 30"
<i>Cornus stolonifera</i> (Red Osier Dogwood, FACW)	3	24" - 30"
<i>Vaccinium corymbosum</i> (Highbush Blueberry, FACW-)	6	24" - 30"



MITIGATION PLANTING PLAN
SCALE: 1"=100'

TEST PIT RESULTS

TEST HOLE #	SURFACE ELEVATION	DEPTH	DESCRIPTION
A	469.20	0'-18" 18"-54" 54"-108" 108"	TOPSOIL BROWN MOIST SILT LOAM WITH CLAY & COBBLES DENSE WET CLAY WITH SAND & GRAVEL, SEEPAGE @ ±65" END OF TEST PIT
B	467.16	0'-15" 15"-39" 39"-96" 96"	TOPSOIL BROWN MOIST SILT LOAM WITH CLAY & COBBLES DENSE WET CLAY WITH SAND & GRAVEL, SEEPAGE @ ±41" END OF TEST PIT

LEGEND

- LIMIT OF ACOE WETLAND PER 2008 JURISDICTIONAL DETERMINATION
- LIMIT OF ACOE WETLAND PER DECEMBER 2019 JOINT FIELD WALK
- EXISTING STREAM WITHIN ACOE WETLAND
- ACOE WETLAND PER 2008 JURISDICTIONAL DETERMINATION
- ACOE WETLAND PER DECEMBER 2019 JOINT FIELD WALK
- PROPOSED ACOE WETLAND DISTURBANCE AREA

ACOE WETLAND DISTURBANCE AREAS

DESCRIPTION	WETLAND DISTURBANCE (AC.)	STREAM DISTURBANCE (LF)	PREVIOUSLY DISTURBED AREA
AREA "1"	0.062	60	NO
AREA "2"	0.047	0	NO
AREA "3"	0.322	550	NO
AREA "4"	0.036	0	NO
AREA "A"	0.012	65	YES
AREA "B"	0.017	0	YES
TOTAL	0.496	675	

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: 78-1-94.1
- BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A MAP "COMMERCIAL REALTY SUBDIVISION & LOT LINE CHANGE PLAN" BY ENGINEERING & SURVEYING PROPERTIES, PC DATED JULY 2, 2019.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD.
- OWNER/APPLICANT: 599 E MAIN PROJECT, LLC
86 ROUTE 59
SPRING VALLEY, NY, 10977
- THE WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD DELINEATION PERFORMED BY PETER D. TORGERSEN ON SEPTEMBER 2019, AND GPS LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC ON SEPTEMBER 2019, AND FILED VERIFIED BY BRIAN ORZEL FROM ARMY CORPS OF ENGINEERS ON DECEMBER 10, 2019.
- ADDITIONAL WETLANDS FROM THE JURISDICTIONAL DETERMINATION OF 2008 WHICH WERE COMPLETED FOR THE PROPOSED QUICK CHECK DEVELOPMENT AT THAT TIME. THERE WAS NO DISTURBANCE OF THE WETLANDS ASSOCIATED WITH THE QUICK CHECK PROJECT. THERE ARE AREAS OF PREVIOUS DISTURBANCE OF THE WETLANDS WHICH INCLUDE ROAD CONSTRUCTION ASSOCIATED WITH THE HOLIDAY INN EXPRESS AND FILL PLACED FOR A PARKING & LOADING EXPANSION OF MICHAEL'S APPLIANCE. THESE DISTURBANCES ARE SHOWN ON THE PLAN AND INCLUDED IN THE TOTAL DISTURBANCE AREA.
- THE DEVELOPMENT SHOWN ON LOTS 1, 4 & 5 ARE CONCEPTUAL WHICH MAY CHANGE AND ARE SHOWN PER THE ACOE REQUEST ONLY.
- ANY FUTURE DEVELOPMENT ON LOTS 1, 4 & 5 SHALL NOT BE PERMITTED TO DISTURB ANY ADDITIONAL WETLANDS.
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO KNOWN NORTHERN LONG-EARED BAT HIBERNACULUM, POTENTIAL ROOST TREES SHALL ONLY BE CUT AND REMOVED DURING KNOWN HIBERNATION MONTHS BETWEEN THE DATES OF NOVEMBER 1ST THROUGH MARCH 31ST, IN ORDER TO AVOID DIRECT ADVERSE IMPACTS TO THE SPECIES.
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO KNOWN INDIANA BAT HIBERNACULUM, POTENTIAL ROOST TREES SHALL ONLY BE CUT AND REMOVED DURING KNOWN HIBERNATION MONTHS BETWEEN THE DATES OF OCTOBER 1ST THROUGH MARCH 31ST, IN ORDER TO AVOID DIRECT ADVERSE IMPACTS TO THE SPECIES.

No.	DATE	DESCRIPTION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020
4	03/03/21	REVISED PER MHE SWPPP COMMENTS 02/19/21
5	03/16/21	REVISED PER MHE SWPPP COMMENTS 03/12/21
6	04/12/21	REVISED BIO-RETENTION DETAIL
7	04/21/21	REVISED PER MHE COMMENTS
8	05/10/21	REVISED PER MHE COMMENTS
9	06/21/21	REVISED FOR OUTSIDE AGENCY SUBMISSION
10	09/17/21	REVISED PER OUTSIDE AGENCY COMMENTS
11	10/12/21	REVISED PER MHE COMMENTS
12	11/09/21	REVISED PER ACOE COMMENTS
13	11/23/21	REVISED PER ACOE COMMENTS
14	12/14/21	REVISED PER OCOOH COMMENTS
15	02/22/22	REVISED PER OCOOH COMMENTS
16	07/11/22	REVISED PER MHE COMMENTS
17	08/10/22	REVISED PER MHE COMMENTS
18	08/24/22	REVISED PER MHE COMMENTS
19	01/18/23	REVISED HEADWALL
20	01/27/23	REVISED UTILITIES
21	05/08/23	REVISED PER NEW BUILDING LAYOUT

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		05/08/2023
CONCEPT APPROVAL		N/A OF N/A
PLANNING BOARD APPROVAL		21 OF 22
OCDOH REALTY SUBDIVISION APPROVAL		N/A OF N/A
OCDOH WATERMAIN EXTENSION APPROVAL		N/A OF 9
NYSDEC APPROVAL		N/A OF 22
NYS DOT APPROVAL		N/A OF N/A
OTHER		1 OF 2
FOR BID		N/A OF N/A
FOR CONSTRUCTION		N/A OF N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

ENGINEERING & SURVEYING PROPERTIES
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71 CLINTON STREET
MONTGOMERY, NY 12549
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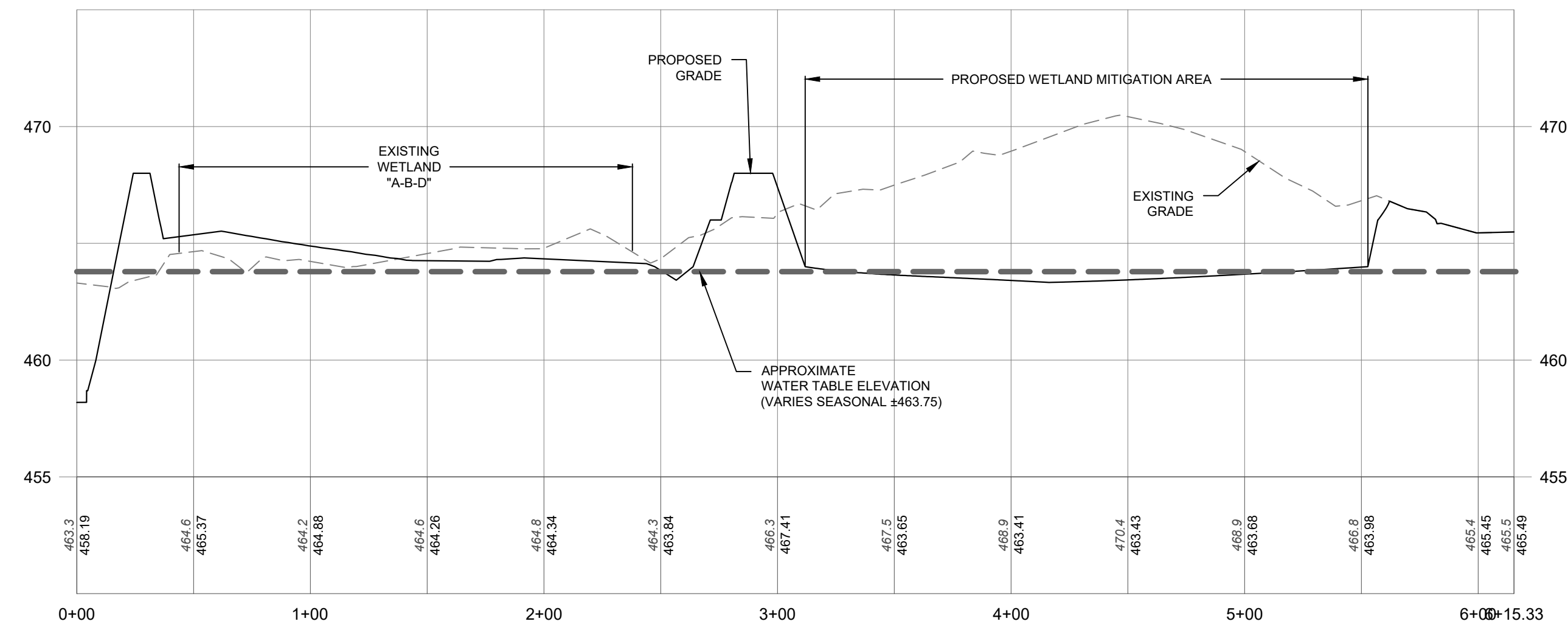
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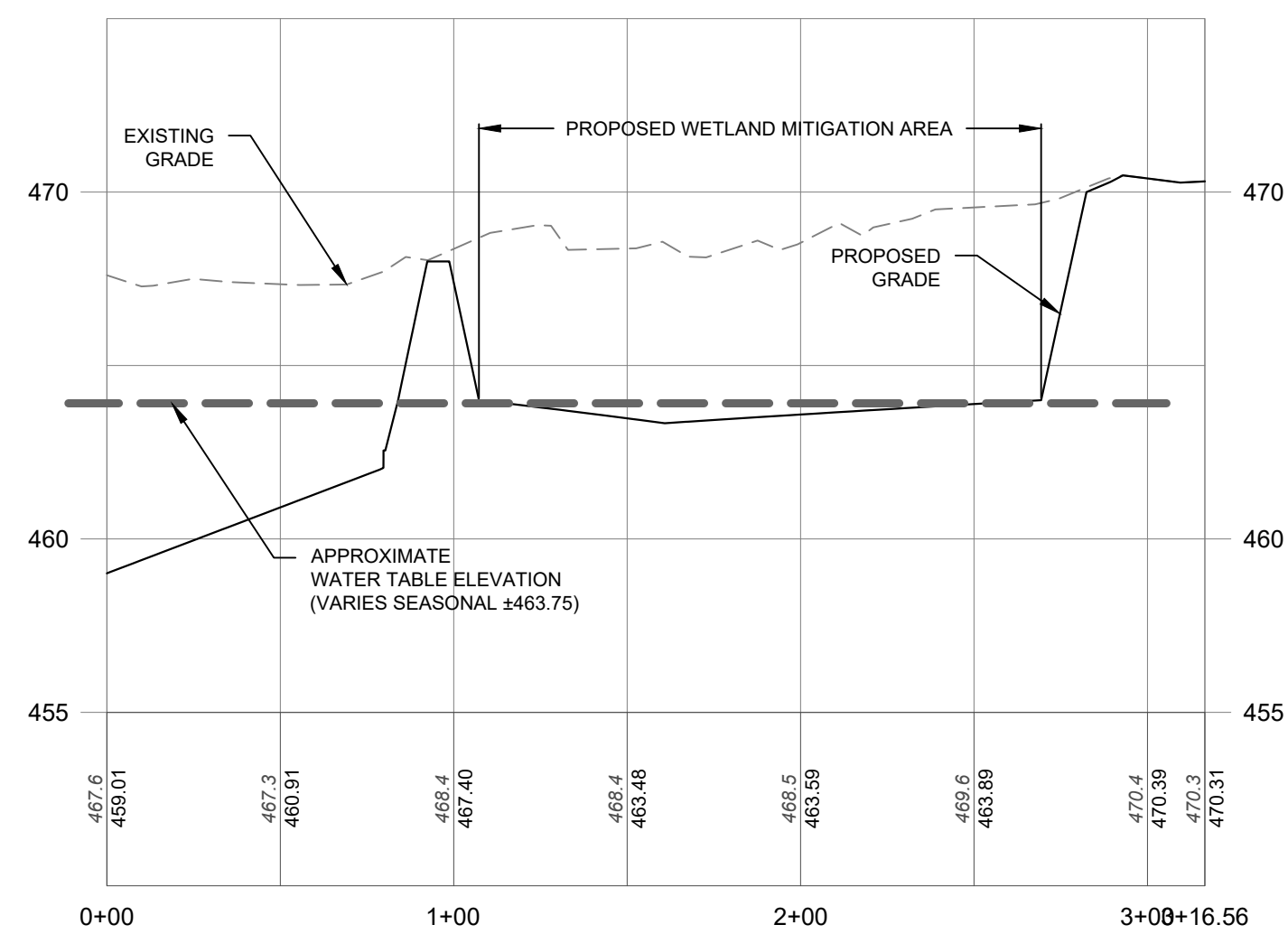
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TOWN OF WALKKILL PB SHEET 26 OF 27



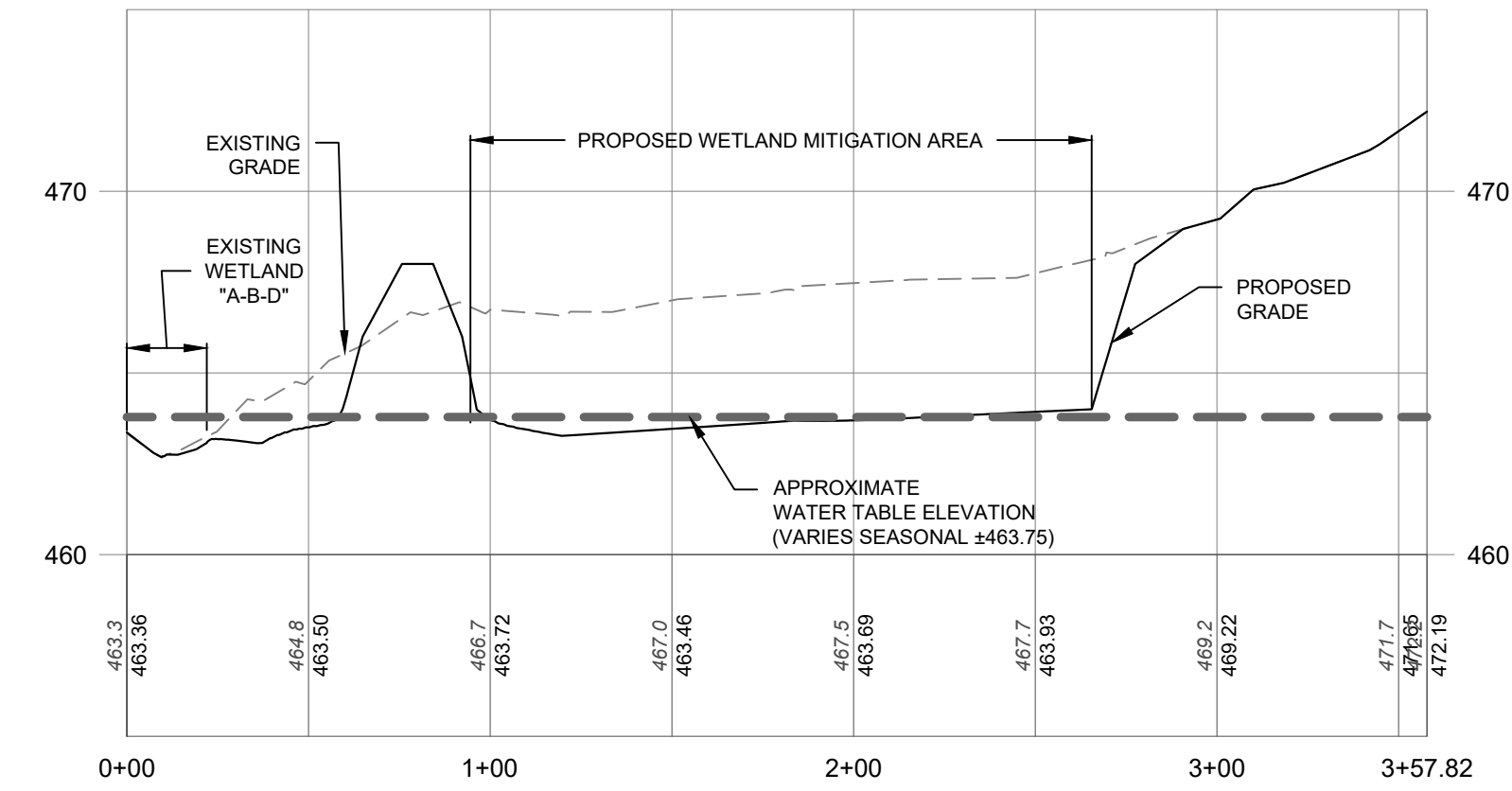
WETLAND MITIGATION CROSS SECTION "A-1"

SCALE: 1" = 50' H
1" = 5' V



WETLAND MITIGATION CROSS SECTION "B-2"

SCALE: 1" = 50' H
1" = 5' V



WETLAND MITIGATION CROSS SECTION "C-3"

SCALE: 1" = 50' H
1" = 5' V

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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	22	OF 22
<input type="checkbox"/> OCCDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OCCDH WATERMAIN EXTENSION APPROVAL	N/A	OF 9
<input checked="" type="checkbox"/> NYSDEC APPROVAL	N/A	OF 22
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OTHER	2	OF 2
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ACO-E-2

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